



Special Meeting **AGENDA**

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March 8, 2021 - 4:00 PM

1. ROLL CALL AND PLEDGE OF ALLEGIANCE

2. AUDIENCE COMMENTS ON NON-AGENDA ITEMS

The City Council welcomes input from the audience. If there is a matter of business on the agenda that you are interested in, you may address the Council when this matter is considered. If you wish to speak on a matter that is not on this agenda, you may do so at this time. In order for everyone to be heard, please limit your comments to three (3) minutes per person and not more than ten (10) minutes per subject. The Brown Act regulations do not allow action to be taken on audience comments in which the subject is not listed on the agenda.

3. UNFINISHED BUSINESS

- 3.a. Consideration and Possible Introduction by Title Only of Proposed Ordinance Amending the Official Zoning Map for the City of Ukiah Establishing the East Gobbi Housing Overlay Zone "HOZ" at 210 East Gobbi Street; APNs 003-040-77, 78 & 79; and Adding Section 5.5 to the Ukiah City Zoning Code.

Recommended Action: Introduce the Ordinance by title only, and schedule the item for possible adoption at the March 17, 2021 City Council meeting, based on the Findings in Attachment 5.

Attachments:

1. Housing Plan w Goals, Policies and Measures (Section 7)
2. 210 E Gobbi St_Draft Ordinance
3. Objective Design and Development Standards
4. PC Staff Report and Attachments
5. 210 E Gobbi St_Findings_Draft

4. NEW BUSINESS

5. ADJOURNMENT

Please be advised that the City needs to be notified 72 hours in advance of a meeting if any specific accommodations or interpreter services are needed in order for you to attend. The City complies with ADA requirements and will attempt to reasonably accommodate individuals with disabilities upon request. Materials related to an item on this Agenda submitted to the City Council after distribution of the agenda packet are available for public inspection at the front counter at the Ukiah Civic Center, 300 Seminary Avenue, Ukiah, CA 95482, during normal business hours, Monday through Friday, 8:00 am to 5:00 pm.

I hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda was posted on the bulletin board at the main entrance of the City of Ukiah City Hall, located at 300 Seminary Avenue, Ukiah, California, not less than 24 hours prior to the meeting set forth on this agenda.

Kristine Lawler, City Clerk
Dated: 3/5/21



AGENDA SUMMARY REPORT

SUBJECT: Consideration and Possible Introduction by Title Only of Proposed Ordinance Amending the Official Zoning Map for the City of Ukiah Establishing the East Gobbi Housing Overlay Zone "HOZ" at 210 East Gobbi Street; APNs 003-040-77, 78 & 79; and Adding Section 5.5 to the Ukiah City Zoning Code.

DEPARTMENT: Community
Development

PREPARED BY: Mireya Turner, Planning Manager

PRESENTER: Craig Schlatter, Community Development Director;
Mireya Turner, Planning Manager

ATTACHMENTS:

1. Housing Plan w Goals, Policies and Measures (Section 7)
2. 210 E Gobbi St_Draft Ordinance
3. Objective Design and Development Standards
4. PC Staff Report and Attachments
5. 210 E Gobbi St_Findings_Draft

Summary: The City Council will review the draft Ordinance establishing the East Gobbi Housing Overlay Zone "HOZ" at 210 East Gobbi Street, and possibly introduce the Ordinance by title only, and schedule it for possible adoption at a future City Council meeting.

Background: Since adoption of the 2019-2027 City of Ukiah General Plan Housing Element, and given the Council focus on the creation of housing opportunities, Staff has immediately moved forward the implementation programs within Section 7 (Attachment 1). To further accelerate these efforts, the City also applied for and was awarded \$160,000 in SB 2 Planning Grant Program funds and has received a preliminary award of \$65,000 in Local Early Action Planning (LEAP) grant funds from the State Department of Housing and Community Development (HCD).

The 2019-2027 Housing Element Implementation Task 2h states that the City will create a "by-right housing program for select parcels. Specific to APNs 003-040-77, 78 & 79, rezone these parcels at the default density of 15 du/ac. Also rezone these parcels to allow residential use by-right developments with at least 20% of the units affordable to lower income households." If the proposed ordinance is adopted, developers could apply for a multi-family residential development project at this location with only a building permit, rather than the currently required Major Use Permit and Major Site Development Permit. To qualify to build these by-right standards, the proposed project would need to meet the minimum affordable housing requirement (at least 20% of total units) and comply with the Objective Design and Development Standards (approved by Council on November 4, 2020). The proposed Ordinance is included as Attachment 2, and the Objective Design and Development Standards are included as Attachment 3.

Review by City Departments and Planning Commission

The draft Ordinance establishing the East Gobbi Housing Overlay Zone "HOZ" was reviewed by City Divisions and Departments including the Building Division, Public Works Department, Electric Utility Department, Ukiah

Police Department, and Ukiah Valley Fire Authority. No changes were suggested.

On February 24, 2021, the Planning Commission unanimously approved making a recommendation to the City Council of approval of the ordinance, as well as the proposed Findings. The Staff Report for the February 24, 2021, Planning Commission is included as Attachment 4.

Application of the California Environmental Quality Act

This project is subject to the California Environmental Quality Act (CEQA). The proposed ordinance is categorically exempt from the provisions of CEQA pursuant to CEQA Guidelines Article 19 §15332, Class 32, In-fill Development Projects for the following reasons: a) The Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as with applicable zoning designations and regulations; b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; c) The project site has no value as habitat for endangered, rare or threatened species; d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and e) The site can be adequately served by all required utilities and public services.

The proposed ordinance is also exempt from further environmental review based on CEQA Guidelines §15183, Projects Consistent with a Community Plan or Zoning. The above described reasons, including Staff's response, can be found in the draft Findings, included as Attachment 5.

Discussion: Although identified in the 2019-2027 Housing Element, this Housing Overlay Zone is the first such zone identified in the city. The purpose of the HOZ is to facilitate the production of housing at these three parcels, which were identified as part of the City's vacant and underutilized sites inventory.

If the ordinance is introduced by Council, it will enable a project proposed at the location to meet a critical funding deadline. Since the City's purchase of the three parcels in 2019 and entrance into an Exclusive Negotiation Agreement with Danco Communities for a future mixed-use project, Staff has been working through the predevelopment stages with the developer.

Staff recommends the Council introduce the Ordinance by title only, establishing the East Gobbi Housing Overlay Zone, and schedule its possible adoption at the March 17, 2021 Council meeting.

Recommended Action: Introduce the Ordinance by title only, and schedule the item for possible adoption at the March 17, 2021 City Council meeting, based on the Findings in Attachment 5.

BUDGET AMENDMENT REQUIRED: N/A

CURRENT BUDGET AMOUNT: N/A

PROPOSED BUDGET AMOUNT: N/A

FINANCING SOURCE: N/A

PREVIOUS CONTRACT/PURCHASE ORDER NO.: N/A

COORDINATED WITH: Darcy Vaughn, Assistant City Attorney; Craig Schlatter, Community Development Director

Approved: 
Sage Sangiacomo, City Manager

SECTION 7: HOUSING PLAN

The Housing Plan identifies the City's housing goals, policies, and implementing programs. It consolidates existing strategies and policies into one Plan and presents a balanced and diverse array of policies that cover housing needs identified through this Update, input from the public, and four overall areas of concern: construction, rehabilitation, conservation, and administration. The goals and policies of the Housing Element were organized into concise goal and policy directives. A review of the 2014-2019 Housing Element accomplishments is included in Appendix G and a summary of the below 2019-2027 Goals, Policies and Implementing Programs can be found in Appendix H.

A. Goals, Policies, and Implementing Programs

Goal H-1

Conserve, rehabilitate, and improve the existing housing stock to provide adequate, safe, sustainable, and decent housing for all Ukiah residents.

Policies to Support Goal H-1

- Policy 1-1:** Encourage the rehabilitation of existing residential units.
- Policy 1-2:** Promote the use of sustainable and/or renewable materials and energy technologies (such as solar and wind) in rehabilitated housing and new housing construction; and reduce greenhouse gas emissions.
- Policy 1-3:** Preserve at-risk housing units.
- Policy 1-4:** Promote increased awareness among property owners and residents of the importance of property maintenance to long-term housing quality.
- Policy 1-5:** Continue to implement effective crime prevention activities.

Implementing Programs

- 1a: Implement a residential rehabilitation program.** Emphasize rehabilitation of mobile homes, detached single-family dwelling units, and lower-income multifamily housing projects. Prioritize funding for health and safety repairs, energy efficiency improvements, and ADA accommodations. Assist in completing the rehabilitation of at least 25 lower income housing units in the planning period.

Responsibility: Community Development Department, Housing Services Division

Funding: CDBG, HOME, and/or other local, state or federal sources

Schedule: Ongoing, as funding is available

- 1b: Continue the City's Energy Efficiency Public Benefits Fund and renewable energy and energy efficiency rebate programs.**

Responsibility: Electric Utility Department

Funding: Energy efficiency and renewable energy rebate program funds

Schedule: Ongoing, as funding is available

1c: **Support funding or other applications that would preserve/conserv**
mobile home parks. This might include programs such as the Mobile Home Park
Rehabilitation and Resident Ownership Program.

Responsibility: Community Development Department, Housing Services Division.

Funding: N/A – application support through technical assistance.

Schedule: Ongoing, as needed.

1d: **Continue providing informational materials to the public through the Green
Building Information Center and at the public counter.** Provide updated information
regarding sustainable and green building practices and materials, and provide
information on the maintenance of residential units.

Responsibility: Community Development Department, Building Services Division

Funding: Departmental budget

Schedule: Ongoing, as new and relevant information is available.

1e: **Develop standards and design guidelines for residential development in the
Medium Density Residential (R-2) and High Density Residential (R-3), Community
Commercial (C-1) and Heavy Commercial (C-2) zoning districts.** Given the
significant increase in the City's RHNA over the next eight years, the City proposes to
create development standards and design guidelines that would both facilitate
development at the allowable densities and provide guidance and certainty in design
standards to ensure quality housing is developed in the community.

Responsibility: Community Development Department, Planning Services Division

Funding: General Funds and/or other funding if available.

Schedule: Establish development standards and design guidelines by the end of
calendar year 2020.

1f: **Develop an At-Risk Units Program.** Maintain an inventory of at-risk affordable housing
units and work with property owners and non-profit affordable housing organizations to
preserve these units by identifying and seeking funds from Federal, State, and local
agencies to preserve the units.

Responsibility: Community Development Department, Housing Services Division

Funding: Ukiah Housing Trust Fund, CDBG, HOME, and/or other funding sources
as available and as needed

Schedule: Develop At-Risk Program by the end of calendar year 2020.

- 1g: **Tenant Education and Assistance for Tenants of At-Risk Projects.** Require property owners to give notice to tenants of their intent to opt out of low-income use restrictions. Provide tenants of at-risk units with education regarding tenant rights and conversion procedures.

Responsibility: Community Development Department, Housing Services Division

Funding: Departmental budget

Schedule: Develop education program and notification procedures by June 30, 2020; implement program on an ongoing basis throughout the 2019-2027 planning period.

Goal H-2

Expand housing opportunities for all economic segments of the community, including special needs populations.

Policies to Support Goal H-2

Policy 2-1: Continue to allow placement of manufactured housing units on permanent foundations in residential zoning districts.

Policy 2-2: Encourage the development of a variety of different types of housing.

Policy 2-3: Ensure that adequate residentially designated land is available to accommodate the City's share of the Regional Housing Need. In order to mitigate the loss of affordable housing units, require new housing developments to replace all affordable housing units lost due to new development.

Policy 2-4: Pursue State and Federal funding for very low, low, and moderate income housing developments.

Policy 2-5: Facilitate the production of housing for all segments of the Ukiah population, including those with special needs.

Policy 2-6: Expand affordable housing opportunities for first time homebuyers.

Implementing Programs

- 2a: **Update the inventory of vacant and underutilized parcels.** Make copies of the inventory available on the City's website and at the public counter for distribution.

Responsibility: Community Development Department, Planning Services Division.

Funding: Departmental budget.

Schedule: Updated annually, by June 30 of each year; posted on the City's website and at the public counter.

- 2b: **Monitor the rate of conversion of primary residences to short-term rental units.** Research ordinances limiting short-term rentals and present report to City Council.

Responsibility: Community Development Department, Planning Services Division; City Council.

Funding: General Funds.

Schedule: Develop monitoring program by June 30, 2020; annually track number of short-term rentals and present information along with annual progress report to City Council each year; short-term rental ordinance research report due June 30, 2025.

2c: **Monitor the conversion of single family residential homes to commercial uses.** If conversions continue and the City's vacancy rate for homeownership is greater than three percent citywide, the City will design an ordinance that restricts the conversion of single family residences to commercial uses.

Responsibility: Community Development Department, Planning Services Division.

Funding: Departmental budget.

Schedule: Gather data and report findings to City Council by June 30, 2021.

2d: **Pursue additional funding sources to augment the Ukiah Housing Trust Fund, creating a permanent source of funding for affordable housing.** Utilize funding to develop and support affordable housing programs and projects, providing financial assistance to private developers and nonprofit agencies, principally for the benefit of extremely low-income, very low-income, and low-income households. Prepare and/or support the preparation of at least eight applications for additional funding within the 2019-2027 planning period.

Responsibility: Community Development Department, Housing Services Division.

Funding: Low and Moderate Income Housing Asset Fund; other local, State, and Federal funding sources as they become available.

Schedule: Ongoing.

2e: **Continually engage with a variety of housing developers who specialize in providing housing to each economic segment of the community.** This effort is designed to build long-term development partnerships and gain insight into specialized funding sources, particularly in identifying the range of local resources and assistance needed to facilitate the development of housing for extremely low-income (ELI) households and households with special needs, including persons with disabilities and persons with developmental disabilities. This policy is also designed to encourage the production of a variety of housing types, including multi-family supportive, single room occupancy, shared housing, and housing for the "missing middle."

Responsibility: Community Development Department, Housing Services Division; City Manager's Office- Economic Development Section

Funding: Departmental budget.

Schedule: Ongoing community and stakeholder outreach, occurring at least on a quarterly basis and continuing throughout the 2019-2027 planning period.

2f. **Amend the zoning code as follows:**

- **Emergency Shelters.** The City will amend the Zoning Code to redefine homeless facilities as emergency shelters, according to State Government Code.
- **Transitional/Supportive Housing.** Pursuant to SB 2, the City must explicitly allow both supportive and transitional housing in all zones that allow residential uses and supportive and transitional housing is to be only subject to those restrictions applicable to other residential dwellings of the same type in the same zone (note: this is not limited to residential zones). The City will amend the Zoning Code to specifically define transitional/supportive housing as defined in Government Code.
- **Single-Room Occupancy Housing.** The City will amend the Zoning Code to allow Single-Room Occupancy (SRO) units in the medium density residential (R-2) and high density residential (R-3) zoning districts for the purpose of increasing the number of units affordable to extremely low, very low, and low-income persons.
- **Manufactured/Factory-Built Homes.** The City will amend the Zoning Code to define and allow manufactured and factory-built homes in the same manner and use as all other types of residential dwellings in all zoning districts.

Responsibility: Community Development Department, Housing Services Division

Funding: Departmental budget

Schedule: Complete draft Zoning Code amendments by December 30, 2020; secure adoption by June 30, 2021.

2g: **Facilitate the consolidation of smaller, multi-family parcels by providing technical assistance to property owners and developers in support of lot consolidation.** Research and present a report on possible lot consolidation incentives to the Planning Commission and City Council.

Responsibility: Community Development Department, Planning Services Division

Funding: Departmental budget

Schedule: Present report to Planning Commission and City Council, with recommendations, by June 30, 2026.

2h: **Ensure capacity of adequate sites for meeting RHNA.** The City of Ukiah has been assigned a Regional Housing Needs Allocation (RHNA) of 239 units for the 2019-2027 Housing Element. To accomplish this mandate by the State, the City will:

- **Update C1 and C2 Zones to allow by-right housing development, with objective design and development standards.** Units allowed by-right will include multifamily, SROs, duplexes, triplexes, and fourplexes.

- **Update the R-2 Zone to allow up to 15 dwelling units per acre instead of 14 dwelling units per acre.**
- **Update the C-N Zone to increase residential density and allow similar housing types as those allowed in R-2.**
- **By-right housing program for select parcels.** Specific to APNs 00304077, 00304078, and 00304079, rezone these parcels at the default density of 15 du/ac. Also rezone these parcels to allow residential use by-right for developments with at least 20% of the units affordable to lower income households.

Responsibility: Community Development Department, Planning Services Division; Planning Commission; City Council

Funding: Departmental budget

Schedule: Develop objective design and development standards per schedule associated with Implementing Program 1e; pursue amendments to the Zoning Code as outlined above by June 30, 2021.

2i: **Monitor residential capacity (no net loss).** Proactively monitor the consumption of residential acreage to ensure an adequate inventory is maintained for the City's RHNA obligations. Implement a project evaluation procedure pursuant to Government Code 65863. Should residential capacity fall below the remaining need for lower income housing, the City will identify and if necessary rezone sufficient sites to accommodate the shortfall and ensure "no net loss" in capacity to accommodate the RHNA.

Responsibility: Community Development Department, Planning Services Division

Funding: Departmental budget

Schedule: Ongoing, with annual reports to HCD and the City Council; develop and implement a project evaluation procedure pursuant to Government Code 65863, by June 30, 2021.

2j: **First Time Homebuyer Assistance.** The City of Ukiah offers assistance to eligible first-time homebuyers to purchase new or existing single-family or condominium units in the City. The program utilizes a combination of HOME, CalHome, CDBG, and/or other resources as they become available- through the Ukiah Housing Trust Fund. Restrictions apply and funds are available on a first-come, first-served basis.

Responsibility: Community Development Department, Housing Services Division

Funding: CDBG, HOME, Low and Moderate Income Housing Assets Funds, CalHome, and/or other funding sources as available

Schedule: Ongoing

2k: **Collaborate with local service providers on addressing homelessness.** Continue participation in the Mendocino County Continuum of Care.

Responsibility: City Manager's Office

Funding: N/A

Schedule: Ongoing

2l: **Review existing City processes for compliance with AB 2162.** Revise zoning codes/processes to allow supportive housing by right in zones where multifamily and mixed uses are permitted, including nonresidential zones permitting multifamily uses.

Responsibility: Community Development Department, Planning Services Division

Funding: Departmental budget

Schedule: Complete review of existing City processes by June 30, 2020; revise zoning codes/processes by December 31, 2020

2m: **Housing Units Replacement Program.** The City will require replacement housing units subject to the requirements of Government Code, section 65915, subdivision (c)(3) on sites identified in the site inventory when any new development (residential, mixed-use or non-residential) occurs on a site that has been occupied by or restricted for the use of lower-income households at any time during the previous five years. This requirement applies to 1) non-vacant sites; and 2) vacant sites with previous residential uses that have been vacated or demolished.

Responsibility: Community Development Department, Planning Services Division

Funding: Departmental budget

Schedule: The replacement requirement will be implemented immediately and applied as applications on identified sites are received and processed.

2n: **Homeless Shelter Overlay District Evaluation.** Evaluate the Homeless Shelter Overlay District to determine suitability for accommodating the identified number of homeless persons. At the minimum, this evaluation will include an analysis of environmental conditions, physical features, location, and capacity of the zone to accommodate the identified number of homeless persons. Depending on the results of this evaluation, the City will consider options including possible amendment of the District to maintain compliance with SB 2.

Responsibility: Community Development Department, Planning Services Division

Funding: Departmental budget

Schedule: Complete evaluation of overlay district on a bi-annual basis, with the first report due to Planning Commission by June 30, 2020. Depending on results of evaluation(s), make recommendations to Planning Commission and/or City Council for options including possible amendment of the District within 6 months of the date the report is due.

Goal H-3	Remove governmental constraints to infill housing development.
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Policies to Support Goal H-3

Policy 3-1: Improve building and planning permit processing for residential construction.

Policy 3-2: Encourage the use of density bonuses and provide other regulatory concessions to facilitate housing development.

Policy 3-3: Encourage the development of mixed residential and commercial uses in the commercial zoning districts where the viability of the commercial activities would not be adversely affected.

Implementing Programs

3a: **Research, review and amend the development standards in the zoning code for opportunities to maximize housing development.** Specific areas of research and amendments may include the following:

- **Increasing maximum allowable height for new residential buildings.**
- **Increasing density.**
- **Reducing yard setbacks.**
- **Reducing minimum site area.**
- **Upzoning R-1 (Single-family Residential) and R-1-H (Single-family Residential-Hillside Combining) zoning districts to allow by-right and/or permit other residential building types and densities.**

Responsibility: Community Development Department, Planning Services Division; Planning Commission; City Council

Funding: Departmental budget

Schedule: Complete draft Zoning Code amendments by December 30, 2021; secure adoption by June 30, 2022

3b: **Develop flexible parking policies for new residential development.** The intent of this policy is to reduce parking requirements, especially in zoning districts that allow for lower-income housing developments.

Responsibility: Community Development Department, Planning Services Division; Planning Commission; City Council

Funding: Departmental budget and other funding sources as available

Schedule: Complete draft policy by June 30, 2020

3c: **Explore other policies and regulations that facilitate new infill housing development.** Produce report with recommendations and present to Planning Commission and City Council. Possible areas of research include, but are not limited to, the following:

- Temporary housing options.
- Low Impact Development offsite mitigation.
- Community benefit zoning.

Responsibility: Community Development Department, Planning Services Division; Planning Commission; City Council

Funding: Departmental budget

Schedule: Complete draft report by June 30, 2026

3d: **Facilitate improvements to permit processing to streamline housing development.**

- Continue to work on improving processing procedures and by June 30, 2021 develop a brochure to guide developers through City processes.
- Continue to offer a pre-application conference with project applicants to identify issues and concerns prior to application submittal.

Responsibility: Community Development Department, Planning Services Division, Building Services Division

Funding: Departmental budget

Schedule: Pre-application conferences ongoing; City processing procedures brochure developed by June 30, 2021

3e: **Continue to apply the CEQA infill exemption to streamline environmental review.**

Responsibility: Community Development Department, Planning Services Division

Funding: Departmental budget

Schedule: Ongoing

3f: **Review Site Development Permit and Use Permit Processes.** Produce report for City Council analyzing processes and making recommendations for how to revise processes and/or Ukiah City Code such that project approval process is accelerated.

Responsibility: Community Development Department, Planning Services Division

Funding: Departmental budget

Schedule: Report due to City Council by December 31, 2020; process and/or code improvements to be implemented immediately thereafter.

Goal H-4

Promote well-planned and designed housing opportunities and projects for all persons, regardless of race, gender, age, sexual orientation, marital status, or national origin.

Policies to Support Goal H-4

Policy 4-1: Promote fair housing practices in the sale or rental of housing with regard to race, color, national origin, ancestry, religion, disability/medical conditions, sex, age, marital status, familial status, source of income, sexual orientation/gender identify, or any other arbitrary factors.

Policy 4-2: Promote and facilitate community awareness of the City of Ukiah's goals, tools, available resources and programs for lower income households.

Implementing Programs

4a: Continue to collaborate with the Ukiah Police Department and property owners and managers to keep housing safe. Support the Crime Prevention through Environmental Design standards through continued referral of residential new construction projects to the Ukiah Police Department.

Responsibility: Community Development Department, Planning Services Division, Building Services Division; and Ukiah Police Department

Funding: General Funds

Schedule: Ongoing

4b: Continue to refer housing discrimination complaints to Legal Services of Northern California, State Fair Employment and Housing Commission, and the U.S. Department of Housing and Urban Development (HUD).

Responsibility: Community Development Department, Housing Services Division

Funding: Departmental budget

Schedule: Ongoing

4c: Develop project referral procedural for referral of all proposed General Plan amendments to the appropriate military office for review and comment. Revise the planning permit application form to include this step of referral.

Responsibility: Community Development Department, Planning Services Division

Funding: Departmental budget

Schedule: Develop referral procedure and revise planning permit application form by December 31, 2019; implement on January 1, 2020.

Policies to Support Goal H-5

- Policy 5-1:** Pursue annexation efforts that lead to an orderly expansion of growth, where services are adequate for future residential development.
- Policy 5-2:** Continue to encourage and facilitate public participation in the formulation and review of the City's housing and development policies.
- Policy 5-3:** Assume a leadership role in the development of all types of housing in the community.

Implementing Programs

- 5a: **Maintain a housing resources webpage.** Included on the webpage are resources such as funding sources and programs, affordable housing developers, and a list of publicly assisted housing providers.

Responsibility: Community Development Department, Housing Services Division

Funding: Departmental budget

Schedule: Updated regularly, as new and relevant information is available.

- 5b: **Complete the update of the 2020 Sphere of Influence, Municipal Service Review, and Ukiah 2040 General Plan.** Include an annexation policy.

Responsibility: Community Development Department, Planning Services Division

Funding: Departmental budget, other funding as available

Schedule: 2020- Sphere of Influence and Municipal Service Review; 2021- Ukiah 2040 General Plan.

- 5c: **Work collaboratively with stakeholder jurisdictions for opportunities to lessen or remove development constraints, and update the housing plan accordingly.**

Responsibility: Community Development Department, in conjunction with stakeholder jurisdictions.

Funding: Departmental budget, other funding as available

Schedule: Ongoing, at least on an annual basis.

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF UKIAH AMENDING THE OFFICIAL
ZONING MAP FOR THE CITY OF UKIAH TO ESTABLISH THE EAST GOBBI HOUSING OVERLAY
ZONE “HOZ” AND ADDING ARTICLE 5.5 TO THE UKIAH CITY ZONING CODE

The City Council of the City of Ukiah does hereby ordain as follows:

Section One – Findings and Declarations

1. The proposed Ukiah City Code amendment and zoning map amendment (“Amendments”) are consistent with the General Plan because they implement General Plan Housing Element Implementing Program 2h, establishing a by-right housing program for selected parcels, specific to APNs 003-040-77, 78 & 79, to apply to housing development projects with a minimum twenty percent (20%) of units affordable to lower income households.
2. The Amendments would implement the Program 2h, required to comply with the City’s portion of the Regional Housing Needs Allocation (RHNA) housing unit production goals, as required by GC §65583(a)(1).
3. Recognizing the need for housing in Ukiah, the City Council has directed and supported the Department’s efforts to implement the Housing Element Tasks.
3. On November 4, 2020, the City Council approved the Objective Design and Development Standards for residential development (excluding single family residences); and directed Staff to integrate the adopted standards into the Ukiah Zoning Code as part of an overall Zoning Code Update.
4. The City of Ukiah as lead agency has prepared a Notice of Exemption, for in Infill Exemption (CEQA Guidelines 15195(a)(5)(A), according to the standards and requirements of the California Environmental Quality Act (CEQA).
5. The Notice of Exemption and notice of the rezoning was provided in the following manner:
 - Posted at the County Clerk on _____;
 - Mailed to property owners within 300 feet of the parcels included in the Project on _____;
 - Published in the Ukiah Daily Journal on _____;

ORDINANCE ESTABLISHING THE EAST GOBBI HOUSING OVERLAY ZONE (“HOZ”)

- Posted at the Civic Center (glass case) on _____;
- Posted on the City's website (www.CityofUkiah.com) on _____.

6. On _____, the Planning Commission held a public hearing as required by the Ukiah City Code to make a recommendation to the City Council for adoption of a Zoning Map Amendment and associated City Code amendments.

7. On _____, the City Council conducted a duly noticed public hearing and after receiving public testimony and conducting due deliberations, voted _____ to adopt the East Gobbi Housing Overlay Zone.

Section Two

Pursuant to the procedures set forth in Ukiah City Code Section 9009, the Official Zoning Map for the City of Ukiah is amended to include an East Gobbi housing overlay zone ("HOZ") as shown in Exhibit 1 attached herein.

Section Three

This amendment to the Official Zoning Map for the City of Ukiah and City Code amendments set forth herein are necessary to comply with General Plan Housing Element Implementation Program 2h, establishing a by-right housing program for selected parcels, specific to APNs 003-040-77, 78 & 79, in order to ensure capacity of adequate residential development sites for meeting the RHNA.

Section Four

Residential development projects within the HOZ must comply with the Objective Design and Development Standards as shown in Exhibit 2, in order to qualify for by-right ministerial permits, with no discretionary approvals.

Section Five

On _____, the Planning Commission held a duly noticed public hearing as required by the Ukiah City Code to make a recommendation to the City Council for adoption of a Zoning Map Amendment and associated City Code amendments. The Commission voted _____ to recommend the City Council approve the Zoning Map Amendment and City Code amendments.

Section Six

ORDINANCE ESTABLISHING THE EAST GOBBI HOUSING OVERLAY ZONE ("HOZ")

A new Article 5.5 shall be added to Division 9, Chapter 2 of the Ukiah City Code and shall read as follows:

ARTICLE 5.5. REGULATIONS IN EAST GOBBI HOUSING OVERLAY ZONE “HOZ”

§9055 PURPOSE AND INTENT

A. This Section establishes the East Gobbi Housing Overlay Zone (“HOZ”). The purpose of this Housing Overlay Zone is to allow by-right housing development with a minimum of twenty percent (20%) of the units affordable to lower income households, with objective design and development standards, in order to streamline the housing development permit process.

B. All new multifamily residential development proposed within the HOZ will be subject only to ministerial review for all applicable permits, provided the proposed development complies with the Objective Design and Development Standards, and includes a minimum of twenty percent (20%) of the units affordable to lower income households. The Objective Design and Development Standards to be used for ministerial review of new multifamily residential development projects are set forth in Section X of this Code.

Section Seven

This Ordinance shall be published as required by law in a newspaper of general circulation.

Section Eight

This Ordinance shall become effective thirty (30) days after adoption.

Introduced by title only on _____ by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Passed and adopted on _____ by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

ORDINANCE ESTABLISHING THE EAST GOBBI HOUSING OVERLAY ZONE (“HOZ”)

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Juan V. Orozco, Mayor

ATTEST:

Kristine Lawler, City Clerk



Objective Design and Development Standards

FOR NEW RESIDENTIAL CONSTRUCTION

Informational Icons



The following design and development standards with the leaf logo indicate alignment with sustainability practices.



The following design and development standards with the law enforcement logo indicate alignment with Crime Prevention Through Environmental Design (CPTED) practices.

California is in the midst of a housing crisis in which communities throughout the State are challenged with accommodating their fair share of housing production. The housing shortage has prompted the State legislature and Governor to enact new laws requiring cities and counties to streamline housing approval by establishing a by-right, ministerial approval process for all new residential construction, excluding single-family homes. Key to ministerial approval is the replacement of subjective design guidelines and discretionary review with objective design standards and ministerial approval.

In October of 2019, the City of Ukiah adopted an updated Housing Element for the 2019-2027 planning cycle. This update brought about substantive changes in format and content from the previously adopted Element to address the multitude of State law changes. Following Housing Element adoption, Ukiah has prepared objective design standards that remove barriers to and reduce costs for new residential construction, excluding single-family homes, while still protecting the residential character of its neighborhoods.

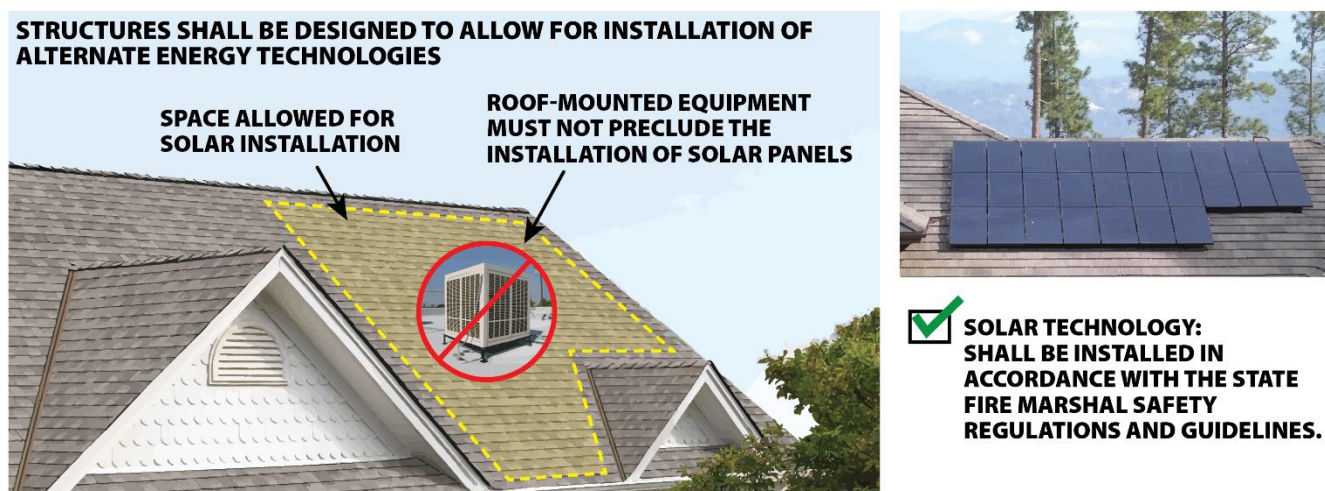
A. Development Standards.

1. Setbacks.

- a. **Front.** The front setback shall comply with the base zone front setback requirements.
 - b. **Setback Landscaping.** Areas between the required setback and street improvements shall be landscaped per the landscaping requirements in Subsection (A)(11).
 - c. **Side (Interior).**
 - (1) **Minimum Side Setbacks.** There is no minimum interior side setback, provided that structures comply with the Building and Fire Code standards for structure separation.
 - (2) **Zero Setback.** If zero setbacks are proposed, the side setback opposite the zero setback shall be a minimum of five feet.
 - d. **Rear.** The rear setback shall comply with the base zone rear setback requirements.
2. **Property Access.** There shall be vehicular access from a dedicated and improved street, easement, or alley to off-street parking areas.

3. **Street Frontage.** Every primary residential structure shall have frontage on a public street or an access-way which has been approved for residential access by the City.
4. **Structure Orientation.** Structures shall incorporate site design that reduces heating and cooling needs by orienting structures (both common facilities and dwelling units) on the parcel to reduce heat loss and gain, depending on the time of day and season of the year. 🌿
5. **Structure Height.** Structure height shall comply with the base zone maximum allowable height.
6. **Alternative Energy Applications.** All structures shall be designed to allow for the installation of alternative energy technologies including but not limited to active solar, wind, or other emerging technologies, and shall comply with the following standards: 🌿
 - a. Installation of solar technology on structures such as rooftop photovoltaic cell arrays shall be installed in accordance with the State Fire Marshal safety regulations and guidelines.
 - b. Roof-mounted equipment shall be located in such a manner so as to not preclude the installation of solar panels, as shown in Figure 1-1.

Figure 1-1
Application of Roof-Mounted Equipment



7. **Utility Lines.** All utility lines from the service drop to the structure shall be placed underground.
8. **HVAC Systems.** All HVAC systems shall be located on the roof of the structure to minimize noise impacts to adjacent properties.
9. **Mail and Package Delivery Location.** For multi-family development projects greater than four dwelling units, mailboxes and package delivery areas shall be in locations that are visible by residents at the interior of a structure entrance, elevator lobby, or stairwell. 🏠
10. **Primary Entrances.**
 - a. **Entry Lighting.** All primary structure entrances shall include dusk to dawn lighting for safety and security per Subsection A(15). 🏠
 - b. **Interior-Facing Structures.**
 - (1) The primary entrance of each interior-facing structure shall be oriented toward paseos, courtyards, pathways, and active landscape areas.

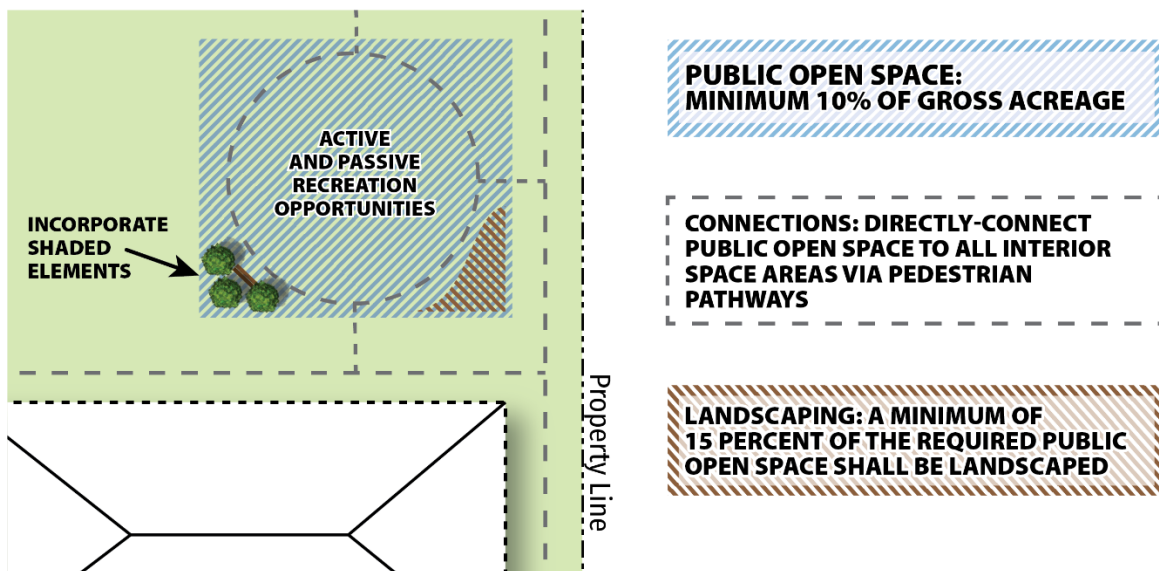
- (2) For safety, units not facing the street shall be oriented to provide visual access to entryways, pedestrian pathways, recreation areas, and common facilities from dwelling units. 🏠

11. Open Space. The following development standards apply to multi-family developments greater than four dwelling units.

a. Public Open Space.

- (1) **Public Open Space.** Not less than 10 percent of the gross acreage of the total project shall be set aside as public open space to allow for active and passive recreation opportunities and that includes shading elements to benefit all residents of the project, as shown in Figure 1-2. Open space ownership and maintenance shall be the responsibility of the property owner(s).

Figure 1-2
Configuration of Public Open Space



- (2) **Connections.** Public open space areas shall be directly connected to all interior space areas (i.e., community room, recreation room, exercise center), trash and recycling enclosures, laundry facilities (if applicable), structure entrances, parking areas, and mail delivery areas by pedestrian-oriented pathways.
- (3) **Landscaping.** A minimum of 15 percent of the required public open space shall be landscaped with materials and plantings consistent with the standards in Subsection (A)(12) (Landscaping) and the subject parcels underlying base zone landscaping requirements.
- (4) **Lighting.** In addition to the Exterior Lighting standards in Subsection (A)(15), public open space areas shall incorporate accent lighting. Accent lighting may include string lighting in trees or crisscrossed over pedestrian area via, courtyards, or plazas; lighting in fountains; or lighting of significant structures or architectural design features.
- (5) **Public Gathering Space.** Public open space areas shall include a minimum of two of the following public gathering spaces:

- a) Patio seating area for a minimum of eight people. Patio seating can be fixed chairs and tables, table/bench combination, or landscape materials (i.e., slabs of stone or rock);
- b) Garden space;
- c) Water feature in the form of a fountain, bubblers, or water play pad;
- d) BBQ area no smaller than 200 square feet with a minimum of three BBQs and tables; or
- e) Pedestrian plaza no smaller than 200 square feet with a minimum of four benches.

(6) Recreation Facilities. A maximum of 25 percent of the required public open space area may be paved for recreation facilities including but not limited to basketball courts, tennis courts, common playground, or swimming pools.

b. Private Open Space.

- (1) Ground Floor Units.** Each ground floor dwelling unit shall include a minimum of 40 square feet of private open space in the form of a covered or uncovered patio to allow for light, air, and privacy.
- (2) Above Ground Floor Units.** Each above ground floor dwelling unit shall include a minimum of 40 square feet of private open space in the form of a terrace, balcony, or rooftop patio to allow for light, air, and privacy.

12. Landscaping (see Figure 1-3).

a. Landscaping Plans. Existing features, such as trees, creeks, and riparian habitats shall be incorporated into landscaping plans.

b. Site Landscaping.

- (1)** All street trees shall be planted consistent with the Standard Planting Detail on file with the City Engineer.
- (2)** Vegetation (i.e., bushes, shrubs, flowers) shall be maintained at a height of no more than three feet when located adjacent to pedestrian pathways and building facades and placed in such a manner that does not obstruct lighting. 🌿

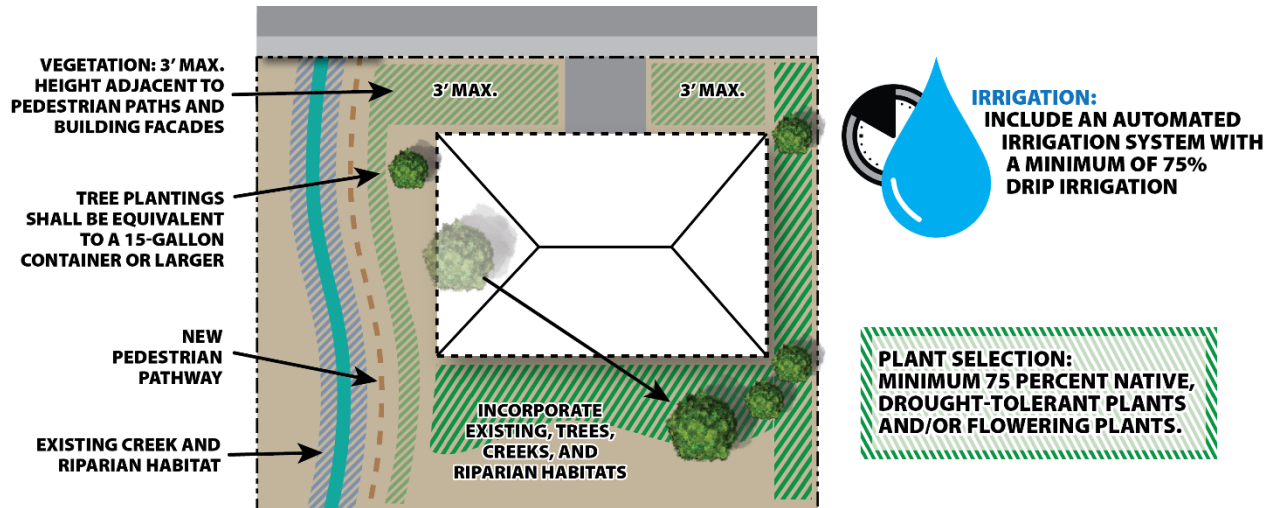
c. Irrigation. Site landscaping shall include an automated irrigation system with a minimum of 75 percent of system being drip irrigation to reduce water consumption.

d. Maintenance. All trees and onsite landscaping shall be maintained by the property owner.

e. Landscaping Plant Selection.

- (1)** Landscape planting shall consist of at least 75 percent native, drought-tolerant plants and/or flowering plants. 🌿
- (2)** All tree plantings shall be equivalent to a 15-gallon container or larger.
- (3)** Street trees shall be selected from the approved species on the Ukiah Master Tree List – Required Street Tree List.

**Figure 1-3
Landscaping**



13. Personal Outdoor Storage Spaces. A minimum of 10 square feet (80 cubic feet) of personal outdoor storage space shall be provided for each dwelling unit. Personal outdoor storage areas shall be covered and able to be locked.

14. Bicycle Parking (see Figure 1-4).

- a. Class I Bicycle Parking.** One Class I bicycle parking space (i.e., bicycle locker) is required for every 15 dwelling units. The Class I bicycle space shall be located within or directly adjacent to the required public open space area.
- b. Class II Bicycle Parking.** For multi-family development projects greater than four dwelling units, one Class II bicycle parking space (i.e., inverted U-rack, ribbon rack, wave rack) is required for every three dwelling units. The Class II bicycle space shall be located within or directly adjacent to the required public open space area.

**Figure 1-4
Bicycle Parking**



15. Parking and Circulation.

a. Parking Areas.

(1) Parking Lot Design and Location.

- a) Parking is prohibited within required sight distance areas.
- b) Multi-family development projects greater than 15 dwelling units shall not site more than 50 percent of the total parking stalls in a single parking area.
- c) Multi-family development projects greater than four dwelling units shall not provide parking areas between the building(s) and the primary street frontage.
- d) Parking areas within a site shall be internally connected and use shared driveways.

(2) Parking Lot Landscaping. The following development standards apply to multi-family developments greater than four dwelling units.

- a) Parking areas with 12 or more parking stalls shall have a tree placed between every four parking stalls with a continuous linear planting strip, rather than individual planting wells, unless infeasible.
- b) Parking areas shall provide shade trees in landscaped areas and along pedestrian pathways. Parking areas shall be designed to provide a tree canopy coverage of 50 percent over all paved areas within 10 years of planting.
- c) Parking areas shall provide a minimum 10-foot buffer between the parking and structures. This buffer can include walkways and/or landscaping.
- d) Parking areas shall use concrete curbing or raised planting areas to protect landscaped areas from encroaching vehicles.
- e) At least 75 percent of parking lots trees shall be deciduous species.

(3) Parking Lot Lighting. The following development standards apply to multi-family development projects greater than four dwelling units.

- a) Parking lots shall include pole mounted lighting that shall be no more than 16 feet in height.
- b) Parking lot lighting shall be directed downward to minimize glare.

(4) Carports. Carports shall be reserved for vehicles and shall not be used as storage space.

(5) Individual Garage Parking. For multi-family development projects greater than four dwelling units, indoor vehicle parking in the form of garages is encouraged, but not required.

b. Required Parking.

(1) Guest Parking. A minimum of three guest parking spaces shall be provided for every six dwelling units.

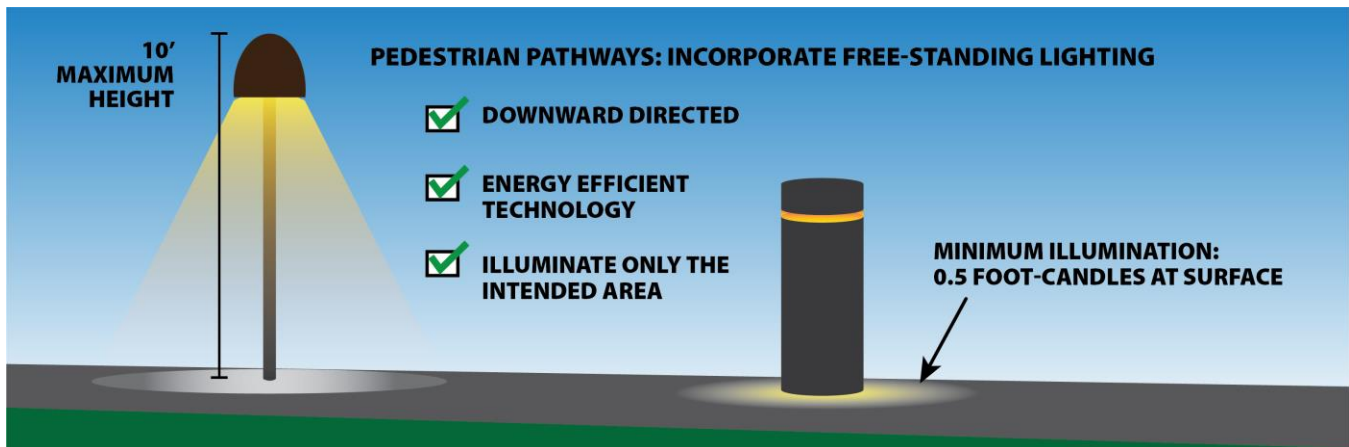
(2) Parking Standards. Multi-Family dwelling parking standards shall be consistent with the parking regulations in Article 17 (Off-Street Parking and Loading).

16. Exterior Lighting (see Figure 1-5).

- a. Pedestrian-oriented lighting shall be provided in active pedestrian areas (i.e., paseos, interior sidewalks, pathways, etc.) for safety and security. 🚶
- b. Pedestrian pathway (excluding street fronting sidewalks) lighting features shall not exceed 10 feet in height.

- c. Active pedestrian areas shall incorporate free-standing lighting separate from structures.
- d. Pedestrian pathways, elevator lobbies, parking areas, stairwells, and other common areas shall have minimum illumination levels of 0.5 foot-candles at the pathway surface to clearly show walking conditions. 🧑🏿
- e. Overhead sports court lighting shall illuminate only the intended area. Light trespass onto neighboring parcels is prohibited.
- f. Outdoor lighting shall use energy efficient lighting technology and shall be shielded downward to reduce glare and light pollution. 🌿

Figure 1-5
Exterior Lighting



- 17. **Privacy.** Any balcony, window, or door shall use at least one of the following development approaches to lessen the privacy impacts onto adjacent properties. These techniques include, use of obscured glazing, landscaped/privacy buffer in the required setback with a minimum of five feet, window placement above eye level, or locating balconies, windows, and doors facing toward the street and backyard. Trees and landscaping used as a landscaped/privacy buffer shall be planted and maintained by the property owner to preserve the privacy of adjacent property owners.
- 18. **Trash and Recycling Enclosures.** The following trash and recycling enclosure development standards apply to multi-family development projects greater than four dwelling units.
 - a. Walls either made of masonry, metal, or wood with finished metal doors.
 - b. Vehicle and pedestrian access gates.
 - c. Downward lighting for safety and security. 🧑🏿
- 19. **Structure Identification.** Structure identification numbers shall be placed along pedestrian pathways and roads and shall be readable from a distance of at least 60 feet. 🧑🏿
- 20. **Signage and Information.** Developments shall comply with the Sign Standards in Division 3, Article 7 of the Municipal Code (Signs). In addition, all directional signage and informational kiosks (i.e., development maps) shall be located at the entrances of individual buildings and at convergences of main pedestrian pathways. 🧑🏿

B. Design Standards.

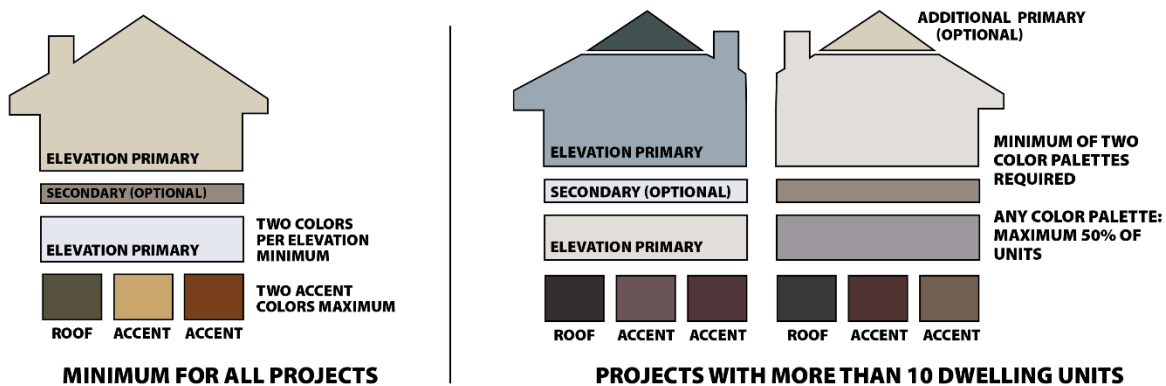
1. Carports.

- a. For multi-family development projects greater than four dwelling units, carports shall not be visible from the street.
- b. Carports shall include the approved color palette, materials, and design elements of the structure.

2. Color Palettes (see Figure 1-6).

- a. All structures shall include at least one primary color and a maximum of two accent colors, in addition to the color of the roofing material.
- b. Each structure elevation shall include two colors in the selected color palette.
- c. Projects that include more than 10 dwelling units shall include at least two-color palettes, where no single-color palette shall be used on more than 50 percent of the dwelling units.

Figure 1-6
Color Palettes



3. Fences and Walls. The following materials are prohibited for all fences and walls:

- a. Electrified;
- b. Barb wire/razor wire;
- c. Sharp objects such as spires and glass;
- d. Cyclone or chain link; and;
- e. Vinyl.

4. Glazing. Structures shall incorporate the use of energy efficient glazing to reduce heat loss and gain. 🌿

5. Common Mailboxes. Common mailboxes shall be painted using the approved color palette for the overall development.

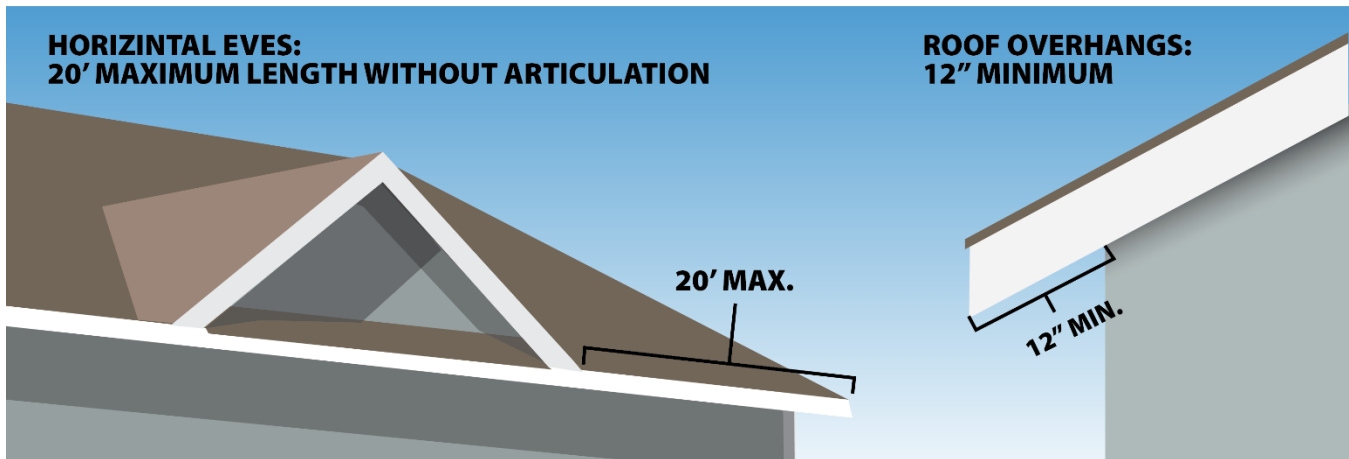
6. Trash and Recycling Enclosures. Trash and recycling enclosure walls and metal doors shall be painted in accordance with the approved color palette for the overall project.

7. Roof Design and Materials (see Figure 1-7).

- a. Horizontal eaves longer than 20 feet in length shall be broken up by gables, building projections, or other forms of articulation.

- b. Roof overhangs shall be a minimum of 12 inches.

Figure 1-7
Roof Design

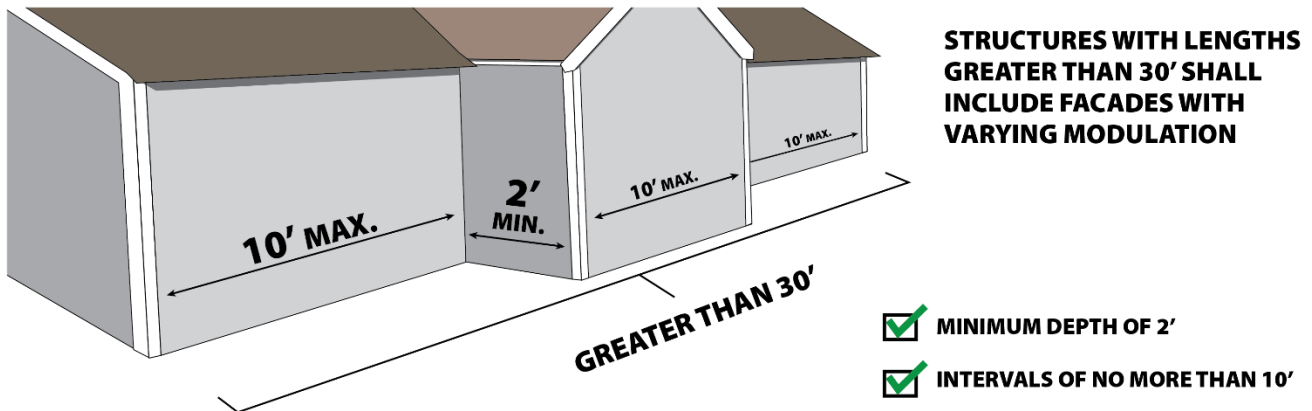


- c. The following are allowable roofing materials:

- (1) Non-reflective standing seam metal roofs in shades of tan, brown, black, light blue, red, and green;
- (2) Cool foam roofs (white);
- (3) Clay tile; and
- (4) Architectural composition shingles.

8. **Screening.** All screening of ground-mounted, wall-mounted, and roof-mounted equipment shall be painted in accordance with the approved color palette for the project. Visual screening shall be installed if ground-mounted or wall-mounted equipment faces the street.
9. **Stairways/Stairwells.** Exterior stairways/stairwells that are not enclosed shall not be visible from the public right-of-way. 🚶🚶
10. **Structure Massing.** Structures that have a length longer than 30 feet shall include facades with varying modulation with a minimum depth of 2 feet at intervals of no more than 10 feet, as shown in Figure 1-8.

**Figure 1-8
Structure Massing**



11. Structure Materials and Elements.

- a. Drainpipes, parapets, and ledges shall not be located near windows, corridors, and balconies. If such placement is not feasible, they shall face parking lots, public spaces, and roads. 🚰
- b. All structures shall include a minimum of two primary materials (i.e., stone, wood, masonry, or metal) on each structure elevation. Each material shall comprise at least 20 percent of the elevations excluding windows and railings.
- c. All structures that use exterior veneers shall ensure the edge of the veneer is not obvious by prohibiting the use of vertical joints at exterior corners.
- d. The following primary structure materials are prohibited:
 - (1) Heavy timber, exposed logs in their natural state;
 - (2) Stucco textured foam, synthetic stucco, vinyl or vinyl clad materials; and
 - (3) Unfinished galvanized metals.



Attachment 4

AGENDA ITEM NO. 12A Department
of Community Development Planning
Division
300 Seminary Ave.
Ukiah, CA 95482

DATE: February 6, 2021

TO: Planning Commission

FROM: Mireya G. Turner, Planning Manager

SUBJECT: Request for review and recommendation of City Council approval of Proposed Ordinance Amending the Official Zoning Map for the City of Ukiah Establishing the East Gobbi Housing Overlay Zone "HOZ" at 210 East Gobbi Street; APNs 003-040-77, 78 & 79, and adding Section 5.5 to the Ukiah City Zoning Code

SUMMARY

PROPERTY OWNER(S):	City of Ukiah
APPLICANT:	City of Ukiah Community Development Department – Planning Division
LOCATION:	Intersection of East Gobbi Street and Village Circle; Address: 210 East Gobbi Street; APNs 003-040-77, 78 & 79
TOTAL ACREAGE:	±2.12 acres (92,347.2 sf)
GENERAL PLAN:	Commercial
ZONING DISTRICT:	"C-1" Community Commercial and "C-2" Heavy Commercial
AIRPORT COMPATIBILITY ZONE	B2, Extended Approach/Departure Zone
ENVIRONMENTAL DETERMINATION:	Project is exempt, pursuant to CEQA Guidelines 15332, In-Fill Development Projects; and Article 19 Section 15183; Projects Consistent with a Community Plan or Zoning
RECOMMENDATION:	Approve a Recommendation of approval of the proposed ordinance to the City Council, included as Attachment 1 , applying to the Zoning Map included as Attachment 2

PROJECT DESCRIPTION AND BACKGROUND

Location. The location of the proposed East Gobbi Housing Overlay Zone “HOZ” consists of three parcels at the intersection of East Gobbi Street and Village Circle. Two of the parcels (APNs 003-040-77 & 78), closest to East Gobbi Street, are vacant. The third parcel (APN 003-040-79) contains the remnants of a former Community Garden. Adjacent to the Project area is Summercreek Village, a 64-unit Apartment Complex. Adjacent to the east are the railroad tracks.

Project Description. The City of Ukiah Community Development Department – Planning Division has initiated the Project in order to complete a portion of General Plan Housing Element Implementation Task 2h, which states that the City will create a “By-right housing program for select parcels. Specific to APNs 003-040-77, 78 & 79, rezone these parcels at the default density of 15 du/ac. Also rezone these parcels to allow residential use by-right for developments with at least 20% of the units affordable to lower income households. If the proposed ordinance is adopted, future multi-family residential projects at this location will be required to provide the minimum amount of lower income affordable units, and comply with the City of Ukiah’s Objective Design and Development Standards. These Objective Standards were reviewed and amended by the Design Review Board on June 25, 2020, further reviewed and amended by the Planning Commission on August 12, 2020, and reviewed, further amended, and approved in concept by the City Council on November 4, 2020. The Objective Standards are included as **Attachment 3**.

SURROUNDING LAND USE AND ZONING

The proposed project site is surrounded by the following uses.

	GENERAL PLAN:	ZONING:	USE:
NORTH	Commercial	Community Commercial “C-1”	Retail Commercial and Professional Office
EAST	Commercial	Community Commercial “C-1” and Heavy Commercial “C-2”	Railroad tracks and trail, Single-family Residential and Retail Commercial
SOUTH	High Density Residential	High Density Residential “R-3”	Multi-family Residential
WEST	MDR and Commercial (C)	Medium Density Residential “R-2” and Community Commercial “C-1”	Retail Commercial

Project referrals were sent to the following responsible or trustee agencies with interest or jurisdiction over the project: City Manager's Office, City Attorney's Office, City of Ukiah Community Development Department - Building Division, Public Works Department, Police Department, Electric Utility Department. In addition, the project was referred to the Ukiah Valley Fire Authority, and to Mendocino County Building and Planning Services. Agency comments and are contained in **Attachment 4**.

Staff Report

STAFF ANALYSIS

General Plan Consistency. The parcels have a General Plan designation of Commercial (C), which lists examples of allowable uses, including “*retail, service businesses, general commercial, shopping centers, shopping malls, public facilities, places of public assembly, parking lots, and residential uses.*” The General Plan also contains Land Use Goal LU-4: “*Balance the housing needs of the City and County.*”

The 2019-2027 General Plan Housing Element Implementation Task 2h states:

“Ensure capacity of adequate sites for meeting RHNA. The City of Ukiah has been assigned a Reginal Housing Needs Allocation (RHNA) of 239 units for the 2019-2027 Housing Element. To accomplish this mandate by the State, the City will:

- Update C1 and C2 Zones to allow by-right housing development, with objective design and development standards. Units allowed by-right will include multifamily, SROs, duplexes, triplexes, and fourplexes.*
- Update the R-2 Zone to allow up to 15 dwelling units per acre instead of 14 dwelling units per acre.*
- Update the C-N Zone to increase residential density and allow similar housing types as those allowed in R-2.*
- **By-right housing program for select parcels. Specific to APNs 003-040-77, 78 & 79, rezone these parcels at the default density of 15 du/ac. Also rezone these parcels to allow residential use by-right for developments with at least 20% of the units affordable to lower income households.***

Design Review Board, Planning Commission and City Council review and approval, in concept, of the Objective Design and Development Standards was the first step toward integrating these objective standards city-wide, with an update to the Ukiah City Zoning Code. Because the objective standards were vetted and approved by all three bodies, Staff proposes applying them to this project to ensure a future housing project that will reflect City design and development standards.

Zoning Ordinance Consistency. The Project Parcels are currently zoned “C-1” Community Commercial and “C-2” Heavy Commercial. Both zoning districts allow for multi-family residential development density of 1,500 sf/dwelling unit (du), or 29.04 du/acre. The Summercreek Apartments on the adjacent parcel are zoned “R-3” High Density Residential, which also allows for 1,500 sf/du. Since the purpose of Implementation Task 2h is to create the capacity to meet the RHNA assignment, Staff is not requesting a rezone to a default of 15 du/ac, which would be a reduction in density that is currently allowed by the two zoning districts.

According to Ukiah City Zoning Code §9265.A.3, zoning amendments may be initiated by Planning Division staff, “*for compliance with the City General Plan, or public health, safety, and general welfare.*” The proposed ordinance was initiated by Planning Division staff to complete a General Plan Housing Element Implementation Task, for the compliance with the City General Plan.

UCC §9265.E states, “*The City Council shall make findings supporting their action on zoning text, district, and planned development ordinance amendments applications, if advised to do so by the City Attorney.*” In anticipation of this direction, the draft Findings have been included for Planning Commission review, as **Attachment 5**.

Staff Report

Ordinance to Establish the East Gobbi Housing Overlay Zone “HOZ”210 East Gobbi Street; APNs 003-040-77, 78 &

79

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ENVIRONMENTAL DOCUMENTATION

The project is subject to the California Environmental Quality Act (CEQA). The proposed project is categorically exempt from the provisions of CEQA pursuant to CEQA Guidelines Article 19 §15332, Class 32, In-Fill Development Projects and §15183, Projects Consistent with a Community Plan or Zoning for the following reasons:

- a) *The Project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designations and regulations.*

The proposal is consistent with the 1,500 sf/du Commercial General Plan designation and satisfies General Plan Housing Element Implementation Task 2h. The project proposes the establishment of the East Gobbi Housing Overlay Zone ("HOZ"). The overlay zone requires compliance with the City of Ukiah Objective Design and Development Standards, in order to avoid the conditional permit process. If compliant with the objective standards, this overlay zone will make it possible for a multi-family housing new construction project, with a minimum of 20% of the units affordable to lower income residents, to avoid the conditional use permit and site development permit process, and apply for a (ministerial) building permit, saving approximately four to six months in the development process.

- b) *The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.*

The Project Area, 210 East Gobbi Street, consists of three separate parcels, totaling ±2.12 acres. The site is surrounded on all sides by existing urban uses, both commercial and residential in nature.

- c) *The project site has no value as habitat for endangered, rare or threatened species.*

Two of the project parcels are currently vacant, generally flat, and covered by invasive weeds and grasses which are routinely mowed. The third parcel was previously used as a community garden. The Project Site is surrounded on all sides by existing urban uses, both commercial and residential in nature.

- d) *Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.*

Development is not proposed with this project. Approval of the overlay zone would establish the three parcels as a location where development could take place in the future, either through the conditional permit process, or if meeting the required criteria of both the percentage of affordable housing required and compliance with the Objective Design and Development Standards, through the I building permit process. The Objective Design and Development Standards contain guidelines for residential development which address traffic, noise and air and water quality standards. Lastly, the objective design and development standards were reviewed by several departments and agencies to reduce potential impacts from traffic, noise, air quality and water quality.

- e) *The site can be adequately served by all required utilities and public services.*

The project site is within the City limits and is already served by City utilities and public safety agencies.

In addition, CEQA §15183 states, “CEQA mandates that projects which are consistent with the development density established by existing zoning, community plan, or general plan policies for which an EIR was certified shall not require additional environmental review, except as might be necessary to examine whether there are project-specific significant effects which are peculiar to the project or its site. This streamlines the review of such projects and reduces the need to prepare repetitive environmental studies.”

General Plan Housing Element Implementation Task 2h states:

“Ensure capacity of adequate sites for meeting RHNA. The City of Ukiah has been assigned a Regional Housing Needs Allocation (RHNA) of 239 unites for the 2019-2027 Housing Element. To accomplish this mandate by the State, the City will:

- Update C1 and C2 Zones to allow by-right housing development, with objective design and development standards. Units allowed by-right will include multifamily, SROs, duplexes, triplexes, and fourplexes.*
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The General Plan Housing Element Update and the Initial Study/Negative Declaration (IS/ND) were adopted by the City Council on October 23, 2019, and certified by the State Department of Housing and Community Development on December 5, 2019. The proposed ordinance accomplishes the fourth sub-task within Implementation Task 2h, and is therefore consistent with the Ukiah City General Plan and its timely environmental review.

NOTICE

Notice of the Public Hearing was provided in the following manner, in accordance with UCC §9262(C):

- Published in the Ukiah Daily Journal on February 13, 2021
- Posted on the Project site on February 12, 2021
- Posted at the Civic Center (glass case) 72 hours prior to the public hearing
- Mailed to property owners within 300 feet of the project parcels on February 12, 2021

RECOMMENDATION

Staff recommends Planning Commission 1) conduct a public hearing; 2) provide recommendation of approval to the City Council regarding the draft Ordinance Amending the Official Zoning Map for the City of Ukiah Establishing the East Gobbi Housing Overlay Zone “HOZ” at 210 East Gobbi Street (APNs 003-040-77, 78 & 79) and Adding Section 5.5 to the Ukiah City Code.

ATTACHMENTS

Staff Report
Ordinance to Establish the East Gobbi Housing Overlay Zone “HOZ” 210 East Gobbi Street; APNs 003-040-77, 78 &

1. Draft Ordinance Amending the Official Zoning Map for the City of Ukiah Establishing the East Gobbi Housing Overlay Zone "HOZ" at 210 East Gobbi Street (APNs 003-040-77, 78 & 79) and Adding Section 5.5 to the Ukiah City Code
2. Draft Official Zoning Map, as amended
3. City of Ukiah Objective Design and Development Standards
4. Agency Comments
5. Draft Findings for Approval of Ordinance

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF UKIAH AMENDING THE OFFICIAL ZONING MAP FOR THE CITY OF UKIAH TO ESTABLISH THE EAST GOBBI HOUSING OVERLAY ZONE “HOZ” AND ADDING ARTICLE 5.5 TO THE UKIAH CITY ZONING CODE

The City Council of the City of Ukiah does hereby ordain as follows:

Section One – Findings and Declarations

1. The proposed Ukiah City Code amendment and zoning map amendment (“Amendments”) are consistent with the General Plan because they implement General Plan Housing Element Implementing Program 2h, establishing a by-right housing program for selected parcels, specific to APNs 003-040-77, 78 & 79, to apply to housing development projects with a minimum twenty percent (20%) of units affordable to lower income households.
2. The Amendments would implement the Program 2h, required to comply with the City’s portion of the Regional Housing Needs Allocation (RHNA) housing unit production goals, as required by GC §65583(a)(1).
3. Recognizing the need for housing in Ukiah, the City Council has directed and supported the Department’s efforts to implement the Housing Element Tasks.
3. On November 4, 2020, the City Council approved the Objective Design and Development Standards for residential development (excluding single family residences); and directed Staff to integrate the adopted standards into the Ukiah Zoning Code as part of an overall Zoning Code Update.
4. The City of Ukiah as lead agency has prepared a Notice of Exemption, for in Infill Exemption (CEQA Guidelines 15195(a)(5)(A), according to the standards and requirements of the California Environmental Quality Act (CEQA).
5. The Notice of Exemption and notice of the rezoning was provided in the following manner:
 - Posted at the County Clerk on _____;
 - Mailed to property owners within 300 feet of the parcels included in the Project on _____;
 - Published in the Ukiah Daily Journal on _____;

ORDINANCE ESTABLISHING THE EAST GOBBI HOUSING OVERLAY ZONE (“HOZ”)

- Posted at the Civic Center (glass case) on _____;
- Posted on the City's website (www.CityofUkiah.com) on _____.

6. On _____, the Planning Commission held a public hearing as required by the Ukiah City Code to make a recommendation to the City Council for adoption of a Zoning Map Amendment and associated City Code amendments.

7. On _____, the City Council conducted a duly noticed public hearing and after receiving public testimony and conducting due deliberations, voted _____ to adopt the East Gobbi Housing Overlay Zone.

Section Two

Pursuant to the procedures set forth in Ukiah City Code Section 9009, the Official Zoning Map for the City of Ukiah is amended to include an East Gobbi housing overlay zone ("HOZ") as shown in Exhibit 1 attached herein.

Section Three

This amendment to the Official Zoning Map for the City of Ukiah and City Code amendments set forth herein are necessary to comply with General Plan Housing Element Implementation Program 2h, establishing a by-right housing program for selected parcels, specific to APNs 003-040-77, 78 & 79, in order to ensure capacity of adequate residential development sites for meeting the RHNA.

Section Four

Residential development projects within the HOZ must comply with the Objective Design and Development Standards as shown in Exhibit 2, in order to qualify for by-right ministerial permits, with no discretionary approvals.

Section Five

On _____, the Planning Commission held a duly noticed public hearing as required by the Ukiah City Code to make a recommendation to the City Council for adoption of a Zoning Map Amendment and associated City Code amendments. The Commission voted _____ to recommend the City Council approve the Zoning Map Amendment and City Code amendments.

Section Six

ORDINANCE ESTABLISHING THE EAST GOBBI HOUSING OVERLAY ZONE ("HOZ")

A new Article 5.5 shall be added to Division 9, Chapter 2 of the Ukiah City Code and shall read as follows:

ARTICLE 5.5. REGULATIONS IN EAST GOBBI HOUSING OVERLAY ZONE “HOZ”

§9055 PURPOSE AND INTENT

A. This Section establishes the East Gobbi Housing Overlay Zone (“HOZ”). The purpose of this Housing Overlay Zone is to allow by-right housing development with a minimum of twenty percent (20%) of the units affordable to lower income households, with objective design and development standards, in order to streamline the housing development permit process.

B. All new multifamily residential development proposed within the HOZ will be subject only to ministerial review for all applicable permits, provided the proposed development complies with the Objective Design and Development Standards, and includes a minimum of twenty percent (20%) of the units affordable to lower income households. The Objective Design and Development Standards to be used for ministerial review of new multifamily residential development projects are set forth in Section X of this Code.

Section Seven

This Ordinance shall be published as required by law in a newspaper of general circulation.

Section Eight

This Ordinance shall become effective thirty (30) days after adoption.

Introduced by title only on _____ by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Passed and adopted on _____ by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

ORDINANCE ESTABLISHING THE EAST GOBBI HOUSING OVERLAY ZONE (“HOZ”)

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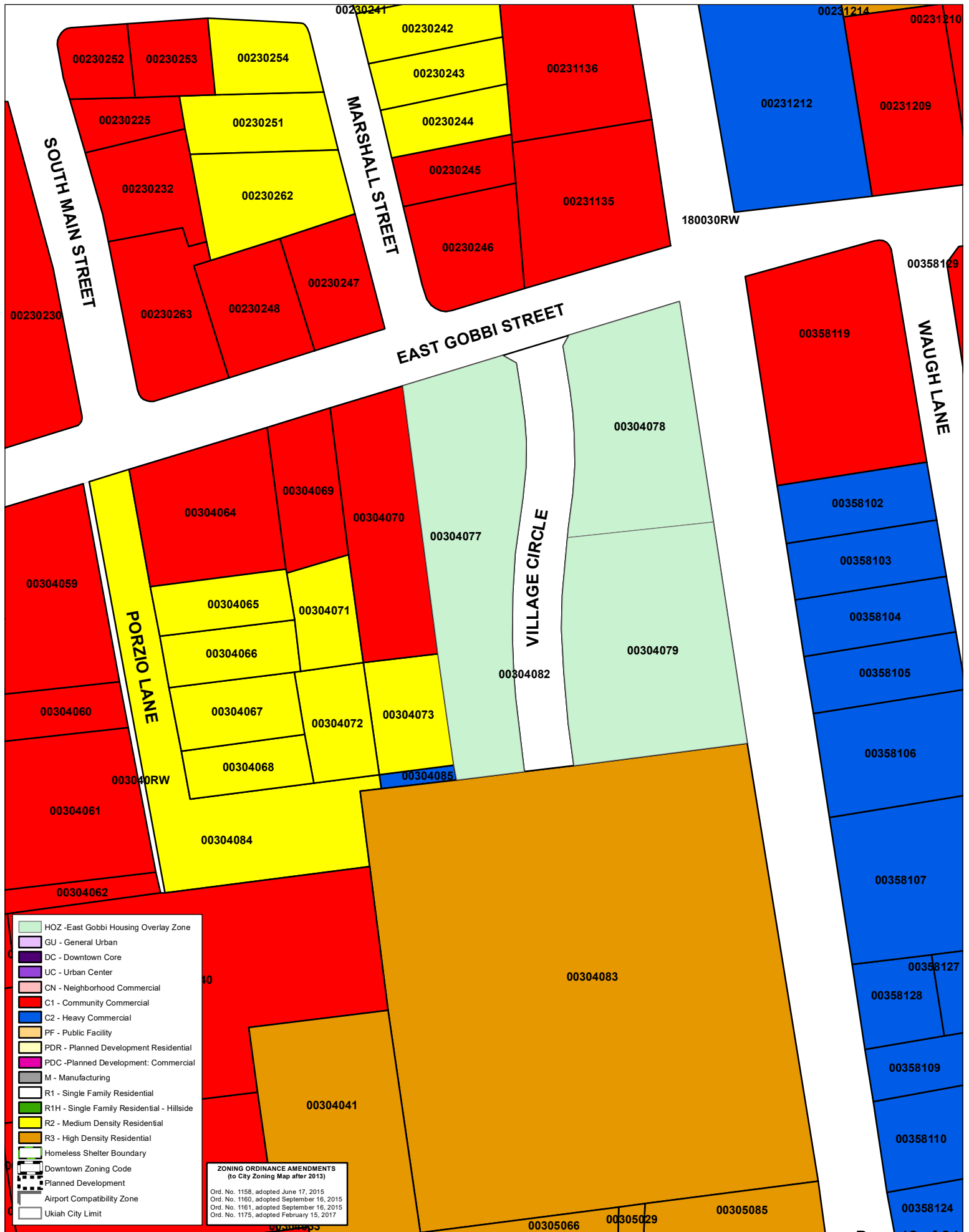
Juan V. Orozco, Mayor

ATTEST:

Kristine Lawler, City Clerk

CITY OF UKIAH ZONING MAP

Attachment 2





Objective Design and Development Standards

FOR NEW RESIDENTIAL CONSTRUCTION

Informational Icons



The following design and development standards with the leaf logo indicate alignment with sustainability practices.



The following design and development standards with the law enforcement logo indicate alignment with Crime Prevention Through Environmental Design (CPTED) practices.

California is in the midst of a housing crisis in which communities throughout the State are challenged with accommodating their fair share of housing production. The housing shortage has prompted the State legislature and Governor to enact new laws requiring cities and counties to streamline housing approval by establishing a by-right, ministerial approval process for all new residential construction, excluding single-family homes. Key to ministerial approval is the replacement of subjective design guidelines and discretionary review with objective design standards and ministerial approval.

In October of 2019, the City of Ukiah adopted an updated Housing Element for the 2019-2027 planning cycle. This update brought about substantive changes in format and content from the previously adopted Element to address the multitude of State law changes. Following Housing Element adoption, Ukiah has prepared objective design standards that remove barriers to and reduce costs for new residential construction, excluding single-family homes, while still protecting the residential character of its neighborhoods.

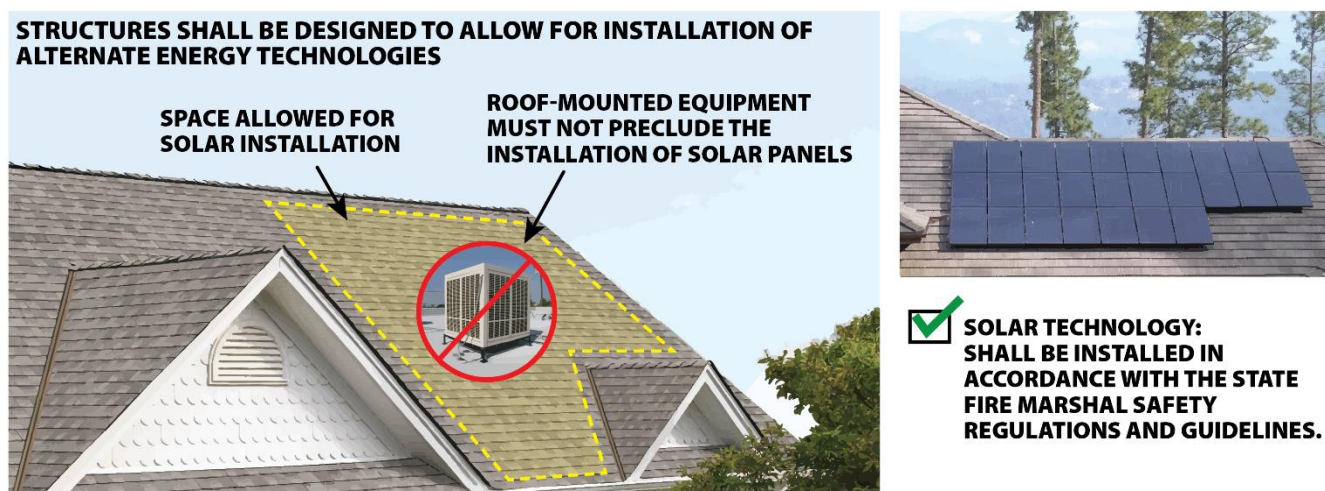
A. Development Standards.

1. Setbacks.

- a. **Front.** The front setback shall comply with the base zone front setback requirements.
 - b. **Setback Landscaping.** Areas between the required setback and street improvements shall be landscaped per the landscaping requirements in Subsection (A)(11).
 - c. **Side (Interior).**
 - (1) **Minimum Side Setbacks.** There is no minimum interior side setback, provided that structures comply with the Building and Fire Code standards for structure separation.
 - (2) **Zero Setback.** If zero setbacks are proposed, the side setback opposite the zero setback shall be a minimum of five feet.
 - d. **Rear.** The rear setback shall comply with the base zone rear setback requirements.
2. **Property Access.** There shall be vehicular access from a dedicated and improved street, easement, or alley to off-street parking areas.

3. **Street Frontage.** Every primary residential structure shall have frontage on a public street or an access-way which has been approved for residential access by the City.
4. **Structure Orientation.** Structures shall incorporate site design that reduces heating and cooling needs by orienting structures (both common facilities and dwelling units) on the parcel to reduce heat loss and gain, depending on the time of day and season of the year. 🌿
5. **Structure Height.** Structure height shall comply with the base zone maximum allowable height.
6. **Alternative Energy Applications.** All structures shall be designed to allow for the installation of alternative energy technologies including but not limited to active solar, wind, or other emerging technologies, and shall comply with the following standards: 🌿
 - a. Installation of solar technology on structures such as rooftop photovoltaic cell arrays shall be installed in accordance with the State Fire Marshal safety regulations and guidelines.
 - b. Roof-mounted equipment shall be located in such a manner so as to not preclude the installation of solar panels, as shown in Figure 1-1.

Figure 1-1
Application of Roof-Mounted Equipment



7. **Utility Lines.** All utility lines from the service drop to the structure shall be placed underground.
8. **HVAC Systems.** All HVAC systems shall be located on the roof of the structure to minimize noise impacts to adjacent properties.
9. **Mail and Package Delivery Location.** For multi-family development projects greater than four dwelling units, mailboxes and package delivery areas shall be in locations that are visible by residents at the interior of a structure entrance, elevator lobby, or stairwell. 🏠
10. **Primary Entrances.**
 - a. **Entry Lighting.** All primary structure entrances shall include dusk to dawn lighting for safety and security per Subsection A(15). 🏠
 - b. **Interior-Facing Structures.**
 - (1) The primary entrance of each interior-facing structure shall be oriented toward paseos, courtyards, pathways, and active landscape areas.

- (2) For safety, units not facing the street shall be oriented to provide visual access to entryways, pedestrian pathways, recreation areas, and common facilities from dwelling units. 🏠

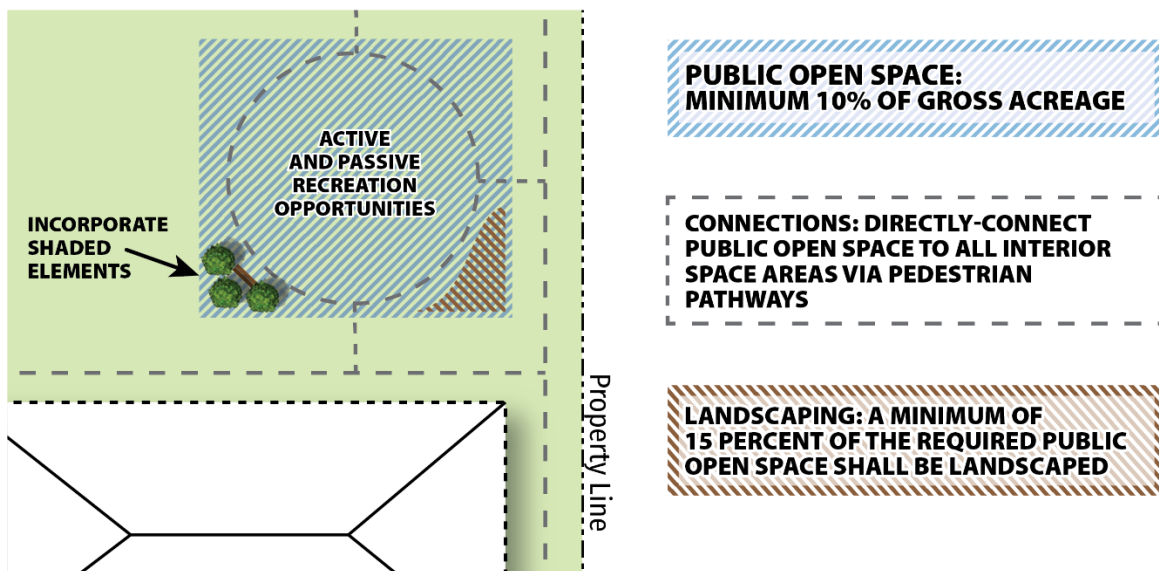
11. Open Space. The following development standards apply to multi-family developments greater than four dwelling units.

a. Public Open Space.

- (1) **Public Open Space.** Not less than 10 percent of the gross acreage of the total project shall be set aside as public open space to allow for active and passive recreation opportunities and that includes shading elements to benefit all residents of the project, as shown in Figure 1-2. Open space ownership and maintenance shall be the responsibility of the property owner(s).

Figure 1-2

Configuration of Public Open Space



- (2) **Connections.** Public open space areas shall be directly connected to all interior space areas (i.e., community room, recreation room, exercise center), trash and recycling enclosures, laundry facilities (if applicable), structure entrances, parking areas, and mail delivery areas by pedestrian-oriented pathways.
- (3) **Landscaping.** A minimum of 15 percent of the required public open space shall be landscaped with materials and plantings consistent with the standards in Subsection (A)(12) (Landscaping) and the subject parcels underlying base zone landscaping requirements.
- (4) **Lighting.** In addition to the Exterior Lighting standards in Subsection (A)(15), public open space areas shall incorporate accent lighting. Accent lighting may include string lighting in trees or crisscrossed over pedestrian area via, courtyards, or plazas; lighting in fountains; or lighting of significant structures or architectural design features.
- (5) **Public Gathering Space.** Public open space areas shall include a minimum of two of the following public gathering spaces:

- a) Patio seating area for a minimum of eight people. Patio seating can be fixed chairs and tables, table/bench combination, or landscape materials (i.e., slabs of stone or rock);
- b) Garden space;
- c) Water feature in the form of a fountain, bubblers, or water play pad;
- d) BBQ area no smaller than 200 square feet with a minimum of three BBQs and tables; or
- e) Pedestrian plaza no smaller than 200 square feet with a minimum of four benches.

(6) Recreation Facilities. A maximum of 25 percent of the required public open space area may be paved for recreation facilities including but not limited to basketball courts, tennis courts, common playground, or swimming pools.

b. Private Open Space.

- (1) Ground Floor Units.** Each ground floor dwelling unit shall include a minimum of 40 square feet of private open space in the form of a covered or uncovered patio to allow for light, air, and privacy.
- (2) Above Ground Floor Units.** Each above ground floor dwelling unit shall include a minimum of 40 square feet of private open space in the form of a terrace, balcony, or rooftop patio to allow for light, air, and privacy.

12. Landscaping (see Figure 1-3).

a. Landscaping Plans. Existing features, such as trees, creeks, and riparian habitats shall be incorporated into landscaping plans.

b. Site Landscaping.

- (1)** All street trees shall be planted consistent with the Standard Planting Detail on file with the City Engineer.
- (2)** Vegetation (i.e., bushes, shrubs, flowers) shall be maintained at a height of no more than three feet when located adjacent to pedestrian pathways and building facades and placed in such a manner that does not obstruct lighting. 🌿

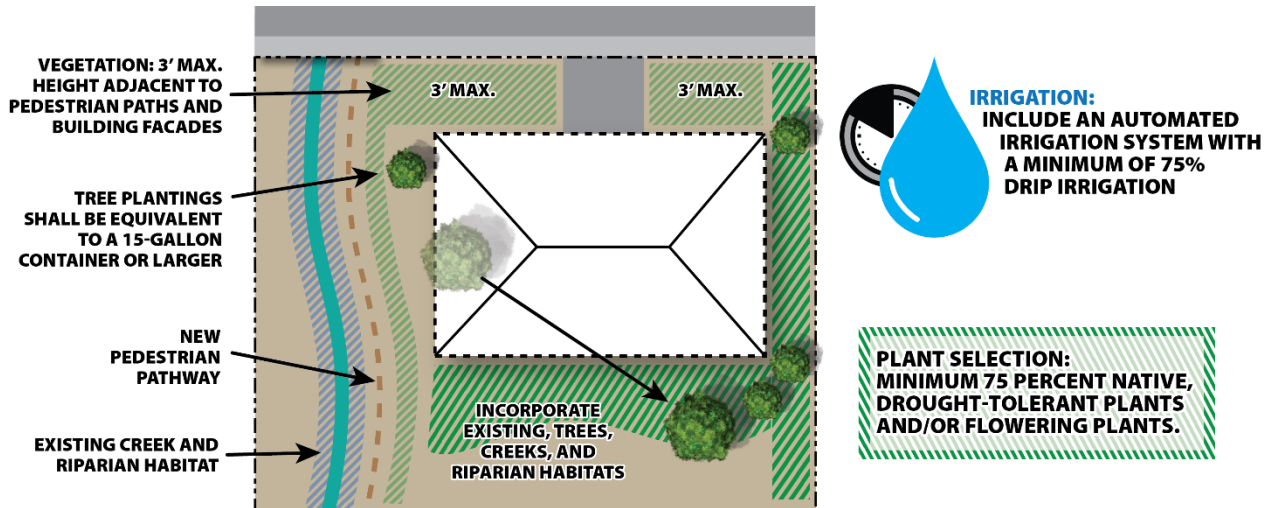
c. Irrigation. Site landscaping shall include an automated irrigation system with a minimum of 75 percent of system being drip irrigation to reduce water consumption.

d. Maintenance. All trees and onsite landscaping shall be maintained by the property owner.

e. Landscaping Plant Selection.

- (1)** Landscape planting shall consist of at least 75 percent native, drought-tolerant plants and/or flowering plants. 🌿
- (2)** All tree plantings shall be equivalent to a 15-gallon container or larger.
- (3)** Street trees shall be selected from the approved species on the Ukiah Master Tree List – Required Street Tree List.

Figure 1-3
Landscaping



13. Personal Outdoor Storage Spaces. A minimum of 10 square feet (80 cubic feet) of personal outdoor storage space shall be provided for each dwelling unit. Personal outdoor storage areas shall be covered and able to be locked.

14. Bicycle Parking (see Figure 1-4).

- a. Class I Bicycle Parking.** One Class I bicycle parking space (i.e., bicycle locker) is required for every 15 dwelling units. The Class I bicycle space shall be located within or directly adjacent to the required public open space area.
- b. Class II Bicycle Parking.** For multi-family development projects greater than four dwelling units, one Class II bicycle parking space (i.e., inverted U-rack, ribbon rack, wave rack) is required for every three dwelling units. The Class II bicycle space shall be located within or directly adjacent to the required public open space area.

Figure 1-4
Bicycle Parking



15. Parking and Circulation.

a. Parking Areas.

(1) Parking Lot Design and Location.

- a) Parking is prohibited within required sight distance areas.
- b) Multi-family development projects greater than 15 dwelling units shall not site more than 50 percent of the total parking stalls in a single parking area.
- c) Multi-family development projects greater than four dwelling units shall not provide parking areas between the building(s) and the primary street frontage.
- d) Parking areas within a site shall be internally connected and use shared driveways.

(2) Parking Lot Landscaping. The following development standards apply to multi-family developments greater than four dwelling units.

- a) Parking areas with 12 or more parking stalls shall have a tree placed between every four parking stalls with a continuous linear planting strip, rather than individual planting wells, unless infeasible.
- b) Parking areas shall provide shade trees in landscaped areas and along pedestrian pathways. Parking areas shall be designed to provide a tree canopy coverage of 50 percent over all paved areas within 10 years of planting.
- c) Parking areas shall provide a minimum 10-foot buffer between the parking and structures. This buffer can include walkways and/or landscaping.
- d) Parking areas shall use concrete curbing or raised planting areas to protect landscaped areas from encroaching vehicles.
- e) At least 75 percent of parking lots trees shall be deciduous species.

(3) Parking Lot Lighting. The following development standards apply to multi-family development projects greater than four dwelling units.

- a) Parking lots shall include pole mounted lighting that shall be no more than 16 feet in height.
- b) Parking lot lighting shall be directed downward to minimize glare.

(4) Carports. Carports shall be reserved for vehicles and shall not be used as storage space.

(5) Individual Garage Parking. For multi-family development projects greater than four dwelling units, indoor vehicle parking in the form of garages is encouraged, but not required.

b. Required Parking.

(1) Guest Parking. A minimum of three guest parking spaces shall be provided for every six dwelling units.

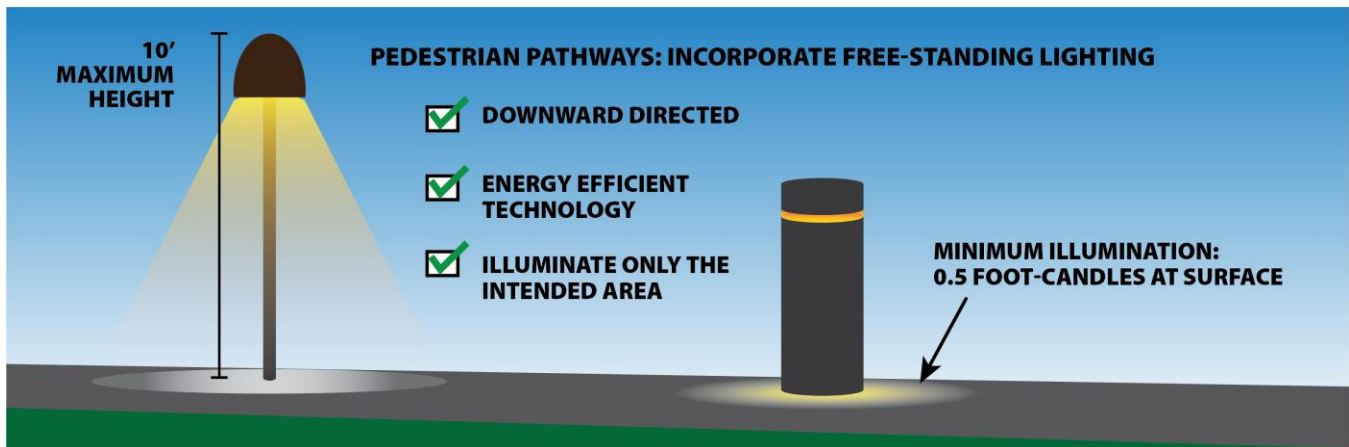
(2) Parking Standards. Multi-Family dwelling parking standards shall be consistent with the parking regulations in Article 17 (Off-Street Parking and Loading).

16. Exterior Lighting (see Figure 1-5).

- a. Pedestrian-oriented lighting shall be provided in active pedestrian areas (i.e., paseos, interior sidewalks, pathways, etc.) for safety and security. 🚶
- b. Pedestrian pathway (excluding street fronting sidewalks) lighting features shall not exceed 10 feet in height.

- c. Active pedestrian areas shall incorporate free-standing lighting separate from structures.
- d. Pedestrian pathways, elevator lobbies, parking areas, stairwells, and other common areas shall have minimum illumination levels of 0.5 foot-candles at the pathway surface to clearly show walking conditions. 🧑🏿
- e. Overhead sports court lighting shall illuminate only the intended area. Light trespass onto neighboring parcels is prohibited.
- f. Outdoor lighting shall use energy efficient lighting technology and shall be shielded downward to reduce glare and light pollution. 🌿

Figure 1-5
Exterior Lighting



- 17. **Privacy.** Any balcony, window, or door shall use at least one of the following development approaches to lessen the privacy impacts onto adjacent properties. These techniques include, use of obscured glazing, landscaped/privacy buffer in the required setback with a minimum of five feet, window placement above eye level, or locating balconies, windows, and doors facing toward the street and backyard. Trees and landscaping used as a landscaped/privacy buffer shall be planted and maintained by the property owner to preserve the privacy of adjacent property owners.
- 18. **Trash and Recycling Enclosures.** The following trash and recycling enclosure development standards apply to multi-family development projects greater than four dwelling units.
 - a. Walls either made of masonry, metal, or wood with finished metal doors.
 - b. Vehicle and pedestrian access gates.
 - c. Downward lighting for safety and security. 🧑🏿
- 19. **Structure Identification.** Structure identification numbers shall be placed along pedestrian pathways and roads and shall be readable from a distance of at least 60 feet. 🧑🏿
- 20. **Signage and Information.** Developments shall comply with the Sign Standards in Division 3, Article 7 of the Municipal Code (Signs). In addition, all directional signage and informational kiosks (i.e., development maps) shall be located at the entrances of individual buildings and at convergences of main pedestrian pathways. 🧑🏿

B. Design Standards.

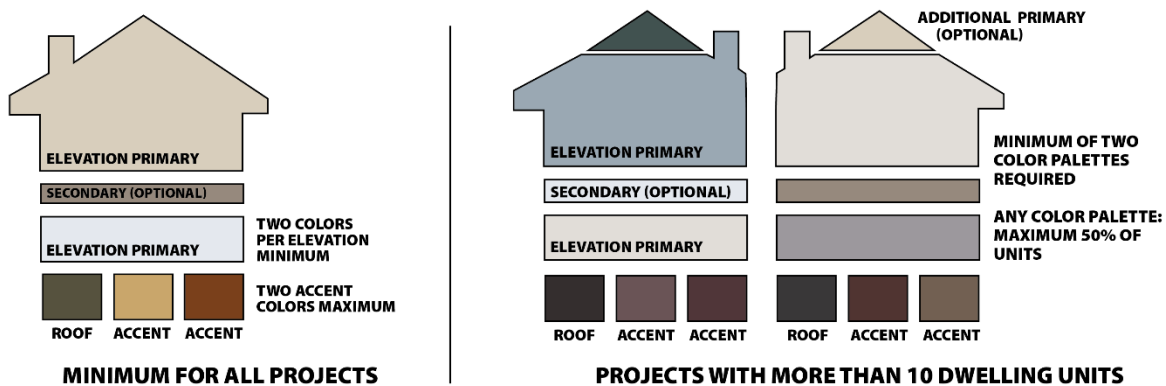
1. Carports.

- a. For multi-family development projects greater than four dwelling units, carports shall not be visible from the street.
- b. Carports shall include the approved color palette, materials, and design elements of the structure.

2. Color Palettes (see Figure 1-6).

- a. All structures shall include at least one primary color and a maximum of two accent colors, in addition to the color of the roofing material.
- b. Each structure elevation shall include two colors in the selected color palette.
- c. Projects that include more than 10 dwelling units shall include at least two-color palettes, where no single-color palette shall be used on more than 50 percent of the dwelling units.

Figure 1-6
Color Palettes



3. Fences and Walls. The following materials are prohibited for all fences and walls:

- a. Electrified;
- b. Barb wire/razor wire;
- c. Sharp objects such as spires and glass;
- d. Cyclone or chain link; and;
- e. Vinyl.

4. Glazing. Structures shall incorporate the use of energy efficient glazing to reduce heat loss and gain. 🌿

5. Common Mailboxes. Common mailboxes shall be painted using the approved color palette for the overall development.

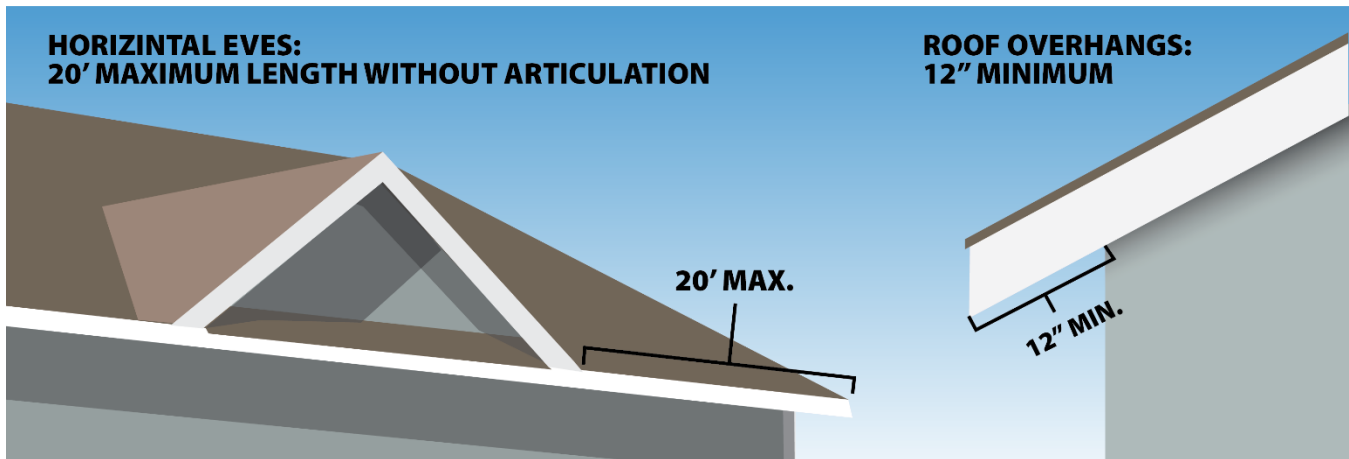
6. Trash and Recycling Enclosures. Trash and recycling enclosure walls and metal doors shall be painted in accordance with the approved color palette for the overall project.

7. Roof Design and Materials (see Figure 1-7).

- a. Horizontal eaves longer than 20 feet in length shall be broken up by gables, building projections, or other forms of articulation.

- b. Roof overhangs shall be a minimum of 12 inches.

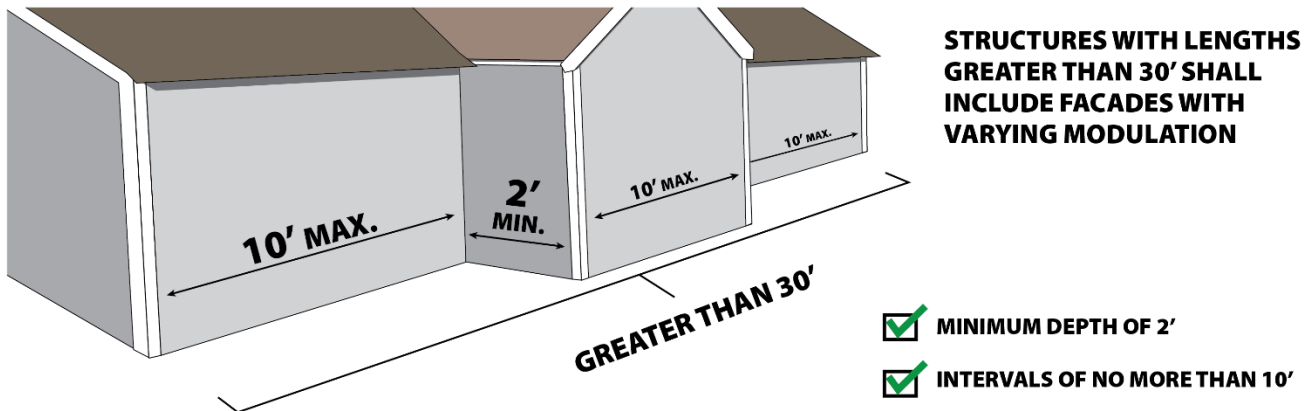
Figure 1-7
Roof Design



- c. The following are allowable roofing materials:

- (1) Non-reflective standing seam metal roofs in shades of tan, brown, black, light blue, red, and green;
 - (2) Cool foam roofs (white);
 - (3) Clay tile; and
 - (4) Architectural composition shingles.
- 8. Screening.** All screening of ground-mounted, wall-mounted, and roof-mounted equipment shall be painted in accordance with the approved color palette for the project. Visual screening shall be installed if ground-mounted or wall-mounted equipment faces the street.
- 9. Stairways/Stairwells.** Exterior stairways/stairwells that are not enclosed shall not be visible from the public right-of-way. 🚶🚶
- 10. Structure Massing.** Structures that have a length longer than 30 feet shall include facades with varying modulation with a minimum depth of 2 feet at intervals of no more than 10 feet, as shown in Figure 1-8.

**Figure 1-8
Structure Massing**



11. Structure Materials and Elements.

- a. Drainpipes, parapets, and ledges shall not be located near windows, corridors, and balconies. If such placement is not feasible, they shall face parking lots, public spaces, and roads. 🚰
- b. All structures shall include a minimum of two primary materials (i.e., stone, wood, masonry, or metal) on each structure elevation. Each material shall comprise at least 20 percent of the elevations excluding windows and railings.
- c. All structures that use exterior veneers shall ensure the edge of the veneer is not obvious by prohibiting the use of vertical joints at exterior corners.
- d. The following primary structure materials are prohibited:
 - (1) Heavy timber, exposed logs in their natural state;
 - (2) Stucco textured foam, synthetic stucco, vinyl or vinyl clad materials; and
 - (3) Unfinished galvanized metals.

Mireya Turner

From: Jimmy Lozano
Sent: Monday, October 19, 2020 2:08 PM
To: Mireya Turner
Subject: RE: Request for Review of Proposed Multi-family Residential Development Overlay Zone - 210 E. Gobbi St.

Hi Mireya,

I reviewed the document for the Objective Design and Development Standards for New Residential Construction and I have a comment/question on Item 7 (Utility Lines) All utility lines from the service drop to the structure shall be placed underground.##

#

The Electric Utility does have some electric infrastructure installed at that vicinity, but will still require additional substructures to be installed. The developer would be required to install the additional infrastructure (transformers, junction pedestals, vaults and primary/secondary conduits) in order to facilitate the underground electric from E. Gobbi Street into Village Circle Court. As the project gets built out, transformers would set and secondary conduits would be installed to each home/lot for future electric service. It does not mention in the document, where electrical equipment would/will be located, whom shall pay for the electric infrastructure improvements and the necessary easements for our electrical equipment.

Below are typical comments I would normally use for a project similar to this one.

- 1) The COUE Utility Department currently has underground electric utility infrastructure installed to the southern portion of Village Circle Court. It has limited infrastructure install in the Vicinity Zones 1-3 and will require the Developer/Customer to install all necessary infrastructure that may include, pad mounted switches, junction pedestals, transformer pads, primary & secondary conduits, vaults and primary & secondary pull boxes per COUEUD specifications.
- 2) All future site improvements shall be submitted to the Electric Utility Department for review and comment. At this time, specific service requirements, service voltage and developer costs and requirements will be determined.
- 3) Developer/Customer will need to provide EUSERC approved electrical equipment that will be installed at the project location. The contractor shall submit service equipment specification sheets with appropriate EUSERC references for City approval prior to purchase and installation.
- 4) Developer/Customer shall provide projected load calculations, site plan/electrical drawings to the COUEUD, in order to determine the size of transformer/s for their project.
- 5) Developer/customer shall incur all costs of this future project to include (labor, materials, equipment) .
- 6) The COU Electric Department will require a 10' utility easement for any underground distribution extended into the parcel beyond the existing PUE. Easements must be surveyed and deeded or defined on the subdivision map and recorded with the County Recorder Office of Mendocino County.

This is the first time I've seen this document and would like to know that the COUEU Department has verbiage in the document to cover our bases.

Thank you, Jimmy

Jim Lozano
City of Ukiah Electric Utility
1320 Airport Road
Ukiah, Ca. 95482
PH: (707) 467-5774
FX: (707) 467-2811
jlozano@cityofukiah.com



From: Mireya Turner <mturner@cityofukiah.com>
Sent: Friday, October 16, 2020 3:13 PM
To: Matthew Keizer <mkeizer@cityofukiah.com>; Craig Schlatter <cschlatter@cityofukiah.com>; Jason Benson <jbenson@cityofukiah.com>; Jarod Thiele <jthiele@cityofukiah.com>; Ian Broeske <ibroeske@cityofukiah.onmicrosoft.com>; Sean Kaeser <skaeser@cityofukiah.com>; Jimmy Lozano <jlozano@cityofukiah.com>; Scott Bozzoli <sbozzoli@cityofukiah.com>; Jesse Davis <davisj@mendocinocounty.org>; Keith Gronendyke <gronendykek@mendocinocounty.org>
Cc: Darcy Vaughn <dvaughn@cityofukiah.onmicrosoft.com>; Shannon Riley <sriley@cityofukiah.com>
Subject: Request for Review of Proposed Multi-family Residential Development Overlay Zone - 210 E. Gobbi St.

Good afternoon,
Attached please find a Review Referral Request for the creation of a By-Right Multi-family Residential Development Overlay Zone. This zone will apply to three parcels and will allow by-right housing development (Building Permit only, no Use Permit or Site Development Permit required) at the three parcels comprising 210 E. Gobbi Street, so long as any proposed development complies with the draft Objective Design and Development Standards. This project is included as Task 2h in the Housing Element of the Ukiah General Plan.
Your consideration and comments no later than Friday, October 30, 2020, are greatly appreciated.

Cordially,



Mireya G. Turner, MPA
Planning Manager
Department of Community Development
300 Seminary Avenue, Ukiah, CA 95482
P: 707.463.6203
www.cityofukiah.com/community-development

From: [Jason Benson](#)
To: [Mireya Turner](#)
Subject: RE: email check
Date: Tuesday, December 1, 2020 10:36:44 AM
Attachments: [image003.png](#)
[image005.png](#)
[image001.png](#)
[image002.png](#)

Mireya –

My apologies for the delay. For zoning issues at this stage in the game, Public Work has no comments on this project.

Jason Benson, PE
Public Works – Senior Engineer
P: (707)510-5485

From: Mireya Turner <mturner@cityofukiah.com>
Sent: Friday, November 20, 2020 2:19 PM
To: Jason Benson <jbenson@cityofukiah.com>
Subject: RE: email check

Hi Jason,
Have you had a chance to review the rezone project at 210 E Gobbi? I am starting the initial study, so your comments sometime next week would be greatly appreciated.
Have a great weekend.

Cordially,



Mireya G. Turner, MPA
Planning Manager
Department of Community Development
300 Seminary Avenue, Ukiah, CA 95482
P: 707.463.6203
www.cityofukiah.com/community-development

From: Jason Benson
Sent: Wednesday, October 21, 2020 5:32 PM
To: Mireya Turner <mturner@cityofukiah.com>
Subject: email check

Mireya,



PROJECT REVIEW REFERRAL

Please provide comments by: October 30, 2020

The City of Ukiah Community Development Department is soliciting input on the project described below for use in the staff analysis, CEQA document, and public hearing documents. Please identify any questions you have or missing information you need to complete your review, as well as suggested Conditions of Approval.

TO:			
☒	City Planning Director	☒	Mendocino County Planning and Building
☒	City Building Official		Mendocino County Surveyor/Assessor
☒	City Public Works Dept.		Mendocino Transit Authority
☒	Ukiah Valley Fire Authority		US Army Corps of Engineers
☒	City Police Dept. Captain		Regional Water Quality Control Board
	City Police Dept. Community Service Officer		CA Dept. of Fish and Wildlife
☒	City Electric Utility Dept.		CA Dept. of Transportation
	Ukiah Municipal Airport Operations Manager		Sonoma State Northwest Information Center
	Airport Land Use Commission		AT & T
	Mendocino County Air Quality		PG & E (gas)
	Mendocino County Environmental Health		PG & E (Land Rights)
FROM PROJECT PLANNER: Mireya G. Turner, Planning Manager			

PROJECT INFORMATION:	
Project Name & Permit #:	By-right Multi-family Residential Housing Overlay
Site Address & APN:	210 E. Gobbi St. (APNs 003-040-77, 78 & 79)
General Plan:	Commercial
Zoning:	"C-1" Community Commercial and "C-2" Heavy Commercial
Airport Compatibility Zone:	"B2" Extended Approach/Departure Zone
Date Filed:	10/16/2020
Resubmittal:	N/A
Date Referred:	10/16/2020
Prev. Projects on Site (include file #)	Existing Community Garden and vacant land
Applicant/Agent Name:	City of Ukiah – Community Development Department
Phone:	707.463.6203
Email:	mturner@cityofukiah.com
Project Summary: The applicant proposes the establishment of a By-right Multi-family Residential Overlay Zone to allow ministerial housing development (Building Permit only), if a project meets the draft Objective Design and Development Standards, as modified by the Housing Element Implementation Ad Hoc Committee. This project is included in Task 2h in the General Plan – Housing Element. Approval of the project will result in the addition of an Article in Division 9, Chapter 2 of the Ukiah Municipal Code.	

Please indicate whether you have comments and sign and date below. Return this Project Referral Form by the date noted above to the Project Planner listed.

Name and Affiliation/Department (please print) Jesse Davis, Senior Planner

☐ No Comment

☒ Comments / Conditions of Approval Attached

County of Mendocino

Signature

Date

11-04-20

Comments / Conditions of Approval:

Per the Mendocino County Airport Comprehensive Plan, per Section 6.2(1),

"New residential development is discouraged in this zone [B2]. However, where such development is considered the best land use for a particular parcel with regard to general city planning factors, high-density, multifamily residential development shall - because of its lower sensitivity to noise compared to single-family residential uses - be deemed normally acceptable. Any new multifamily residential development shall not exceed 28 dwelling units per acre. Any proposed multifamily residential development greater than four acres shall maintain a minimum of 30 percent open lands including non enclosed automobile parking lots, major landscaping areas and a share of adjacent roads."

Given the surrounding land-uses, County staff concurs that city planning factors encourage the development of these particular parcels for multi-family residential dwelling units. Given the property's zoning designations of C-1 & C-2, "Multiple-family dwellings in conformance with the development standards for the R-3 zoning district" are considered a permitted use within the City of Ukiah. Therefore, this request does not alter the allowable uses, but rather identifies the 'Development Standards' necessary to streamline permissible multi-family housing when it is conducive and appropriate by utilizing objective design and development standards.

As indicated, this specific project was included in Task 2h in the General Plan – Housing Element, which was determined to be consistent by the Mendocino County Airport Land Use Commission on August 15th, 2019 (ALUC_2019-0001). Per Section 1.4.3 (Subsequent Review), "Once a project has been found consistent with the Airport Land Use Compatibility Plan, it need not be referred for review at subsequent stages of the planning process (e.g., for a general plan amendment and again for a zoning change) unless: (1) major changes to the project are made during subsequent review and consideration by the local jurisdiction; or (2) the local jurisdiction agrees that further review is warranted." County staff is not aware of major changes, nor does the City indicate that further review is warranted. Therefore, an additional consistency determination from the ALUC is not required for this request to progress. Again, this is due to inclusion of Task 2h in the City's 6th Cycle Housing Element, which was previously deemed consistent. Section 1.3.2(b) is therefore not applicable to this request, even though the action is considered a 'Zoning Ordinance'.

Moving forward, under the present Airport Land Use Plan, the City is advised that per Section 6.2(1), future residential development is restricted to a maximum of 28 dwelling units per acre, and that multi-family residential development greater than four acres shall maintain a minimum of 30 percent open lands.

Thank you for the opportunity to review and provide comment on this request.

Mireya Turner

From: Jason Benson
Sent: Wednesday, February 24, 2021 9:00 AM
To: Mireya Turner
Cc: Tim Eriksen
Subject: RE: Fowler Auto Land Use Designation Amendment Comments

Mireya –

Public Works has reviewed the PRR and we do not have any comments on the Zoning revision. All PW comments to this project are contained in building permit application #5890.



Thank you,

Jason Benson, PE
Public Works – Senior Engineer
P: (707)510-5485

From: Mireya Turner <mturner@cityofukiah.com>
Sent: Friday, February 19, 2021 8:29 AM
To: Jason Benson <jbenson@cityofukiah.com>; Jimmy Lozano <jlozano@cityofukiah.com>
Subject: Fowler Auto Land Use Designation Amendment Comments

Good morning guys,
I can't find DPW or EUD comments for the project at 1117 Commerce Dr. Would you please resend them? Sorry if I misplaced them. I have attached the referral for your reference. Thank you very much.

Cordially,



Mireya G. Turner, MPA
Planning Manager
Department of Community Development
300 Seminary Avenue, Ukiah, CA 95482
P: 707.463.6203
www.cityofukiah.com/community-development

Mireya Turner

From: Jimmy Lozano
Sent: Monday, October 19, 2020 2:08 PM
To: Mireya Turner
Subject: RE: Request for Review of Proposed Multi-family Residential Development Overlay Zone - 210 E. Gobbi St.

Hi Mireya,

I reviewed the document for the Objective Design and Development Standards for New Residential Construction and I have a comment/question on Item 7 (Utility Lines) All utility lines from the service drop to the structure shall be placed underground.##

#

The Electric Utility does have some electric infrastructure installed at that vicinity, but will still require additional substructures to be installed. The developer would be required to install the additional infrastructure (transformers, junction pedestals, vaults and primary/secondary conduits) in order to facilitate the underground electric from E. Gobbi Street into Village Circle Court. As the project gets built out, transformers would set and secondary conduits would be installed to each home/lot for future electric service. It does not mention in the document, where electrical equipment would/will be located, whom shall pay for the electric infrastructure improvements and the necessary easements for our electrical equipment.

Below are typical comments I would normally use for a project similar to this one.

- 1) The COUE Utility Department currently has underground electric utility infrastructure installed to the southern portion of Village Circle Court. It has limited infrastructure install in the Vicinity Zones 1-3 and will require the Developer/Customer to install all necessary infrastructure that may include, pad mounted switches, junction pedestals, transformer pads, primary & secondary conduits, vaults and primary & secondary pull boxes per COUEUD specifications.
- 2) All future site improvements shall be submitted to the Electric Utility Department for review and comment. At this time, specific service requirements, service voltage and developer costs and requirements will be determined.
- 3) Developer/Customer will need to provide EUSERC approved electrical equipment that will be installed at the project location. The contractor shall submit service equipment specification sheets with appropriate EUSERC references for City approval prior to purchase and installation.
- 4) Developer/Customer shall provide projected load calculations, site plan/electrical drawings to the COUEUD, in order to determine the size of transformer/s for their project.
- 5) Developer/customer shall incur all costs of this future project to include (labor, materials, equipment) .
- 6) The COU Electric Department will require a 10' utility easement for any underground distribution extended into the parcel beyond the existing PUE. Easements must be surveyed and deeded or defined on the subdivision map and recorded with the County Recorder Office of Mendocino County.

This is the first time I've seen this document and would like to know that the COUEU Department has verbiage in the document to cover our bases.

Thank you, Jimmy

Jim Lozano
City of Ukiah Electric Utility
1320 Airport Road
Ukiah, Ca. 95482
PH: (707) 467-5774
FX: (707) 467-2811
jlozano@cityofukiah.com



From: Mireya Turner <mturner@cityofukiah.com>
Sent: Friday, October 16, 2020 3:13 PM
To: Matthew Keizer <mkeizer@cityofukiah.com>; Craig Schlatter <cschlatter@cityofukiah.com>; Jason Benson <jbenson@cityofukiah.com>; Jarod Thiele <jthiele@cityofukiah.com>; Ian Broeske <ibroeske@cityofukiah.onmicrosoft.com>; Sean Kaeser <skaeser@cityofukiah.com>; Jimmy Lozano <jlozano@cityofukiah.com>; Scott Bozzoli <sbozzoli@cityofukiah.com>; Jesse Davis <davisj@mendocinocounty.org>; Keith Gronendyke <gronendykek@mendocinocounty.org>
Cc: Darcy Vaughn <dvaughn@cityofukiah.onmicrosoft.com>; Shannon Riley <sriley@cityofukiah.com>
Subject: Request for Review of Proposed Multi-family Residential Development Overlay Zone - 210 E. Gobbi St.

Good afternoon,

Attached please find a Review Referral Request for the creation of a By-Right Multi-family Residential Development Overlay Zone. This zone will apply to three parcels and will allow by-right housing development (Building Permit only, no Use Permit or Site Development Permit required) at the three parcels comprising 210 E. Gobbi Street, so long as any proposed development complies with the draft Objective Design and Development Standards. This project is included as Task 2h in the Housing Element of the Ukiah General Plan.

Your consideration and comments no later than Friday, October 30, 2020, are greatly appreciated.

Cordially,



Mireya G. Turner, MPA
Planning Manager
Department of Community Development
300 Seminary Avenue, Ukiah, CA 95482
P: 707.463.6203
www.cityofukiah.com/community-development

FINDINGS TO ADOPT AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP FOR THE CITY OF UKIAH ESTABLISHING THE EAST GOBBI HOUSING OVERLAY ZONE AT 210 EAST GOBBI STREET (APNS 003-040-77, 78 & 79) AND ADDING SECTION 5.5 OF THE UKIAH CITY CODE

Recommendation for Adoption of an Ordinance Amending the Official Zoning Map for the City of Ukiah Establishing the East Gobbi Housing Overlay Zone (“HOZ”): The Community Development Department’s recommendation for adoption of an ordinance amending the Official Zoning Map for the City of Ukiah establishing the East Gobbi Housing Overlay Zone (“HOZ”) at 210 East Gobbi Street, and adding Section 5.5 to the Ukiah City Code is based in part on the following findings, in accordance with UCC Section 9265.

Zoning Text Amendments; Rezoning

1. The proposed land use is consistent with the provisions of the Ukiah City Code as well as the goals and policies of the City General Plan.

General Plan Housing Element Implementation Task 2h states:

“Ensure capacity of adequate sites for meeting RHNA. The City of Ukiah has been assigned a Regional Housing Needs Allocation (RHNA) of 239 unites for the 2019-2027 Housing Element. To accomplish this mandate by the State, the City will:

- *Update C1 and C2 Zones to allow by-right housing development, with objective design and development standards. Units allowed by-right will include multifamily, SROs, duplexes, triplexes, and fourplexes.*
- *Update the R-2 Zone to allow up to 15 dwelling units per acre instead of 14 dwelling unites per acre.*
- *Update the C-N Zone to increase residential density and allow similar housing types as those allowed in R-2.*
- *By-right housing program for select parcels. Specific to APNs 003-040-77, 78 & 79, rezone these parcels at the default density of 15 du/ac. Also rezone these parcels to allow residential use by-right for developments with at least 20% of the units affordable to lower income households.”*

The proposed ordinance accomplishes the fourth sub-task within Implementation Task 2h, and is therefore consistent with the Ukiah City General Plan.

According to Ukiah City Code §9265.A.3, zoning amendments may be initiated by Planning Division staff, “for compliance with the City General Plan, or public health, safety, and general welfare.” The proposed ordinance was initiated by Planning Division staff to complete a General Plan Housing Element Implementation Task, for the compliance with the City General Plan.

2. The proposed land use is compatible with surrounding land uses and shall not be detrimental to the public’s health, safety and general welfare

The project parcels are adjacent to Medium and High Density Residential Zoning Districts. Future multi-family residential development would be similar in use and compatible with the surrounding area. Future development would be required to comply with the Objective Design and Development Standards, approved in concept by the City Council. The purpose of objective design and development standards is to offer a streamlined development

Findings
Establishing the East Gobbi Housing Overlay Zone “HOZ”
210 East Gobbi Street; APNs 003-040-77, 78 & 79

process which still ensures the public's health, safety and general welfare. In addition, the proposed Zoning Amendment has been reviewed by the following agencies to ensure compliance with the Ukiah City Code and other codes and regulations relating to health and safety: Ukiah Valley Fire Authority, City of Ukiah Public Works Department, City of Ukiah Police Department, City of Ukiah Electric Utility Department, and City of Ukiah Building Division, with no conditions requested.

Based on the above analysis, the findings required for adoption of an ordinance amending the Official Zoning Map for the City of Ukiah establishing the East Gobbi Housing Overlay Zone ("HOZ") at 210 East Gobbi Street, and adding Section 5.5 to the Ukiah City Code, can be made.

FINDINGS TO ADOPT AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP FOR THE CITY OF UKIAH ESTABLISHING THE EAST GOBBI HOUSING OVERLAY ZONE AT 210 EAST GOBBI STREET (APNS 003-040-77, 78 & 79) AND ADDING SECTION 5.5 OF THE UKIAH CITY CODE

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The proposed ordinance accomplishes the fourth sub-task within Implementation Task 2h, and is therefore consistent with the Ukiah City General Plan.

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