



Design Review Board

Regular Meeting **AGENDA**

This meeting will be held virtually at the Zoom link and number below.

<https://zoom.us/j/99290711966>

US Toll-free: 877 853 5247

Meeting ID: 992 9071 1966

Passcode: 406876

January 27, 2022 - 3:00 PM

The Design Review Board serves as an advisory body to City staff, Zoning Administrator, Planning Commission and City Council to make site design recommendations consistent with the City's Design Review Guidelines. The Design Review Board works with staff and applicants to review proposed site development permit applications, planned development applications and precise development plans, and make recommendations concerning architecture, site design layout, landscaping, parking, signage, exterior lighting and other aspects of urban design to City staff, Zoning Administrator, Planning Commission and City Council as appropriate.

The Design Review Board encourages applicants and/or their representatives to be available at the meeting to answer questions so that no agenda item need be deferred to a later date due to a lack of pertinent information.

1. CALL TO ORDER

2. ROLL CALL

3. CORRESPONDENCE

4. APPROVAL OF MINUTES

4.a. Approval of the November 8, 2021 Special Meeting Minutes

Recommended Action: Review and approve the November 8, 2021 Special Meeting Minutes,

Attachments:

1. Draft Minutes November 8, 2021

4.b. Approval of the December 8, 2021 Special Meeting Minutes

Recommended Action: Review and Approve Minutes of the December 8, 2021 Special Meeting

Attachments:

1. Draft Minutes December 8, 2021

5. COMMENTS FROM AUDIENCE ON NON-AGENDA ITEMS

The Design Review Board welcomes input from the audience. In order for everyone to be heard, please limit your comments to three (3) minutes per person and not more than ten (10) minutes per subject. The Brown Act regulations do not allow action to be taken on audience comments.

6. **NEW BUSINESS**

- 6.a. Review and Recommendation Regarding Offer of Public Artwork to be Located at the Alex Thomas Plaza, 310 South State (APN 002-265-09)

Recommended Action: Staff requests the Design Review Board (DRB) review the Offer of Public Artwork and make a recommendation to the Planning Commission.

Attachments:

1. Mayoral Monarch Pledge_Council Agenda Summary Report
2. Mayoral Monarch Mural Call For Artists
3. Site Map
4. Monarch Mural Proposal
5. Public Art Policy

- 6.b. Review and Recommendation for a Major Use Permit to Allow Phased Development of 1117 Commerce Drive (Project Site). Phase 1 facilitates Construction of a 7,733 sf Concrete Masonry Structure for the Repair, Maintenance, Cleaning, and Detailing of Automobiles Exclusively Associated with Fowler Automotive; and Continued Use of the Project Site for Automotive Inventory Storage, as well as the Non-Conforming Structure; APN 180-070-03; File No. 20-5874.

Recommended Action: Staff requests that the DRB review the project for consistency with the AIP-PD design standards and make a recommendation to the Planning Commission.

Attachments:

1. Application Materials
2. Landscaping Plan
3. Ordinance 1213 AIP-PD
4. Findings

- 6.c. Review and Recommendation to the Planning Commission for a Major Use and Site Development Permit to Allow for Construction of an Addition to an Existing Dental Office Building; 772 South Dora Street; APN 001-313-11; File No. 21-6738

Recommended Action: Staff requests the DRB review the project for its conformance to the Design Guidelines for Projects located outside the Downtown Design District, and make a recommendation to the Planning Commission.

Attachments:

1. Application and Project Description
2. Site Plan_Landscape Plan_Elevations

7. **MATTERS FROM THE COMMISSION**

8. **MATTERS FROM STAFF**

9. **ADJOURNMENT**

Please be advised that the City needs to be notified 72 hours in advance of a meeting if any specific accommodations or interpreter services are needed in order for you to attend. The City complies with ADA requirements and will attempt to reasonably accommodate individuals with disabilities upon request.

I hereby certify under penalty of perjury under the laws of the State of California that the foregoing

agenda was posted on the bulletin board at the main entrance of the City of Ukiah Annex, located at 411 W. Clay St., Ukiah, California, not less than 72 hours prior to the meeting set forth on this agenda.

Mireya G. Turner, Planning Manager
January 20, 2022

**CITY OF UKIAH
DESIGN REVIEW BOARD SPECIAL MEETING MINUTES
Held remotely via GoTo Meeting
November 8, 2021
3:00 p.m.**

1. CALL TO ORDER

Chair Liden called the Design Review Board meeting to order at 2:57 p.m.

Chair Tom Liden presiding.

2. ROLL CALL

Present: Members Hawkes and Morrow, and
Chair Liden

Absent: None

Staff Present: Mireya G. Turner, Planning Manager
Jesse Davis, Planning Manager

Others Present: Michelle Johnson
Randy Figueiredo
Nick Bhula
Pinky Kushner
Julio Tinajero
Joti Chandi
Alex de Grassi

3. CORRESPONDENCE

None was received.

4. APPROVAL OF MINUTES

a. Approval of Draft Minutes of the July 22, 2021 Special Meeting

Motion/Second Morrow/Hawkes to approve the July 22, 2021 Special Meeting Minutes, as submitted. Motion carried by an all AYE voice vote.

5. COMMENTS FROM AUDIENCE ON NON-AGENDA ITEMS

No comments were received.

6. NEW BUSINESS

6a. Request for Review and Recommendation to the Planning Commission for a Major Site Development Permit to Allow for a Mixed-Use Development of a Vacant Parcel Consisting of a Car Wash and Automobile Service/Repair Facility and a One-Bedroom Apartment; 1006 South State Street; APN 003-130-74 & 75; File No. 20-5427

Planning Manager Jesse Davis presented the project.

Chair Liden opened the item for public input and the following people spoke: Randy Figueiredo, Pinky Kushner, Michelle Johnson and Nick Bhula.

Morrow/Hawkes approve a recommendation of approval to the Planning Commission of the project as submitted, with the replacement of the plum tree to redbud or flowering pear and the proposed ground cover adjusted to the approved ground cover used in Costco project. The total proposed landscaping coverage will remain the same.

The motion was passed by roll call vote (3 ayes).

- 6b. Request for Review and Recommendation to the Planning Commission for a Major Site Development Permit to Allow for New Construction of a Commercial Cannabis Retail Structure; 1102 & 1104 South State Street; APNs 003-130-09 & 003-530-11; File No. 21-6370

Planning Manager Mireya Turner presented the project.

Chair Liden opened the item for public input and the following people spoke: Joti Chandi and Sonu Chandi.

Hawkes/Morrow approve a recommendation of approval to the Planning Commission of the project as presented.

The motion was passed by roll call vote (3 ayes).

7. **MATTERS FROM THE BOARD**

Chair Liden: The DRB is looking forward to Ron Meaux's appointment by the City Council. There is one vacancy remaining.

8. **MATTERS FROM STAFF**

9. **ADJOURNMENT**

There being no further business, the meeting adjourned at 3:50 p.m.

**CITY OF UKIAH
DESIGN REVIEW BOARD SPECIAL MEETING MINUTES
Held remotely via Zoom
December 8, 2021
3:00 p.m.**

1. CALL TO ORDER

Chair Liden called the Design Review Board meeting to order at 3:15 p.m.

Chair Tom Liden presiding.

2. ROLL CALL

Present: Members Meaux and Morrow, and
Chair Liden

Absent: Member Hawkes arrived at 3:25 p.m.

Staff Present: Michelle Irace, Planning Manager

Others Present: Jeff Yokum
Mike Smith
Pinky Kushner

3. CORRESPONDENCE

None was received.

4. APPROVAL OF MINUTES

a. Approval of Draft Minutes of the November 8, 2021 Special Meeting

Motion/Second Morrow/Liden to approve the November 8, 2021 Special Meeting Minutes, as submitted. Motion carried by an AYE voice vote by Morrow and Liden.

Note: because the vote was not approved by a majority vote, the minutes were not approved.

5. COMMENTS FROM AUDIENCE ON NON-AGENDA ITEMS

Pinky Kushner noted that she appreciates DRB's review and recommendations on the car wash project, located at 1006 South State Street.

6. NEW BUSINESS

6a. Request for Review and Recommendation to the Planning Commission Regarding an Application for a Major Use Permit to Allow the Development of a new 2,137 sf Valvoline Quick Lube Facility at 1280 Airport Park Boulevard; APN 180-080-90 (previously 180-080-29); File No. 21-6505.

Planning Manager Michelle Irace presented the project.

Chair Liden opened the item for public comment at 3:36 p.m. and the following people spoke: Jeff Yokum, Mike Smith and Pinky Kushner.

Chair Liden closed the item for public comment at 4:05 p.m.

Morrow/Hawkes made a motion to recommend approval of the project to the Planning Commission with the addition of 15ft awnings over all three service bays on the east and west sides of the building for passive cooling reasons.

The motion was passed by roll call vote (4 ayes).

7. **MATTERS FROM THE BOARD**

None

8. **MATTERS FROM STAFF**

None

9. **ADJOURNMENT**

There being no further business, the meeting adjourned at 4:12 p.m.



AGENDA ITEM NO. 6a
Department of Community Development
300 Seminary Ave.
Ukiah, CA 95482
planning@cityofukiah.com

TO: Design Review Board

FROM: Mireya G. Turner, Planning Manager

DATE: January 20, 2022

SUBJECT: Request for Review and Recommendation regarding Offer of Public Artwork, to be located at the Alex Thomas Plaza, 310 South State Street (APN 002-265-09)

REQUEST/PROJECT DESCRIPTION

An Offer of Public Artwork was received from the Mendocino Arts Council, in response to Mayor Orozco's Monarch Pledge Mural Call for Artists. The Offer is for a mural to be located on an east-facing wall on the southeast corner of Alex Thomas Plaza.

At its March 17, 2021 meeting, the City Council adopted a Resolution acknowledging Earth Day and the Mayors' Monarch Pledge. Mayors across the United States took this pledge with planned activities to raise awareness and encourage preservation of the Monarch Butterfly. The pledge included public outreach activities.

Mayor Orozco issued a Call for Artists for a mural to illustrate the need to protect the Monarch Butterfly. The Mendocino Arts Council raised the funding for the mural and formed a selection committee to consider all submissions. Using an objective scoring system, the Arts Council selected the submission from Danza Davis, to present to the City.

Per the City's Public Art Policy, the Offer is to go before the Design Review Board for review and recommendation to the Planning Commission.

ATTACHMENTS

1. Staff Report and Resolution for Mayors' Monarch Pledge
2. Mayor's Call for Artists
3. Site Map
4. Monarch & Milkweed Mural Proposal
5. City of Ukiah Public Art Policy



AGENDA SUMMARY REPORT

SUBJECT: Proclamation of Earth Day 2021 and the Mayor's Monarch Pledge Supporting the National Wildlife Federation's Efforts to Save the Endangered Monarch Butterfly.

DEPARTMENT: Community Services **PREPARED BY:** Neil Davis, Community Services Administrator

PRESENTER: Mayor Orozco

ATTACHMENTS:

1. Earth Day and Mayor's Monarch Pledge Proclamation

Summary: Since 1970, Earth Day has provided local governments with an opportunity to engage constituents in a constructive dialogue about protecting biodiversity locally. Additionally, Mayors and other heads of local and tribal government are taking action to help save the monarch butterfly.

The National Wildlife Federation developed a Mayors' Pledge program wherein Mayors commit to choosing three actions from a list of 30 possible actions to protect the Monarchs. Mayor Orozco is working in collaboration with a loose-knit, local group of naturalists and environmentalists who have identified five actions they feel they can achieve in the next year. The Mayor will, via Proclamation, make the Mayors' Monarch Pledge.

Background: Since 1970, Earth Day has provided local governments with an opportunity to engage constituents in a constructive dialogue about protecting biodiversity locally. Additionally, the National Wildlife Federation has developed a Mayor's Monarch Pledge program to encourage communities to take action in an effort to save the Monarch Butterfly from imminent extinction. The Monarch Butterfly is an iconic species whose eastern populations have declined by 90% and western populations by 99% in recent years. Through the National Wildlife Federation's Mayors' Monarch Pledge, U.S. cities, municipalities, and other communities are committing to create habitat for the Monarch butterfly and pollinators, and to educate residents about how they can make a difference at home and in their community.

More than beautiful, Monarch butterflies contribute to the health of our planet. While feeding on nectar, they pollinate many types of wildflowers. The flowers they choose are varieties that are brightly colored, grow in clusters, stay open during the day, and have flat surfaces that serve as landing pads for their tiny guests. Monarch butterflies are also an important food source for birds, small animals, and other insects.

Monarch Butterflies are considered an indicator species. Indicator species are so named because their population's presence, absence, or alteration are said to reflect changes in environmental conditions. Monarchs are considered indicators for a number of reasons. As adult butterflies, Monarchs live only three to four weeks. Because of their short lifespan, environmental changes impact the Monarchs quickly, and changes within and between generations are more visible to ecologists. Second, the species distribution is wide: summer habitats in North America range from New England, to the Great Lakes region, north to Canada and west to the Rocky Mountains and California. In late fall, they migrate 2,000 – 3,000 miles to the Sierra Madre mountain range in Central Mexico (in the northern mountains of the state of Michoacán, which happens to be the Mayor's home state) to spend their winter months. Tens of thousands gather on single trees, making

the forest glow and flutter orange.

Discussion: Mayor Orozco is working with a loose-knit group of environmentalists and naturalists to help support Monarch Butterfly populations. The Mayors' Monarch Pledge comes with an Action Item list from which participating Mayors and their associated community groups can choose activities that will support the survival of Monarchs. The Monarch Pledge and activities are seen as a multi-year effort. For the first year, the group plans to 1) Issue a Proclamation (see Attachment 1) to raise awareness about the decline of the Monarch butterfly and the species' need for habitat. 2) Launch a public communication effort to encourage residents to plant Monarch gardens at their homes or in their neighborhoods. 3) Engage with community garden groups and urge them to plant native milkweeds and nectar-producing plants. 4) Engage with City parks and recreation, public works, sustainability, and other relevant staff to identify opportunities to revise and maintain mowing programs and milkweed / native nectar plant planting programs, and 5) Plant or maintain a Monarch and pollinator-friendly demonstration garden at City Hall or another prominent community location.

The group is investigating locations to work on the demonstration garden and will coordinate their efforts with the City's Parks Team. As part of the Earth Day 2021 effort, the City's Community Services team will explore additional opportunities to communicate the importance of protecting all species by creating spaces and executing plans that allow species to live and thrive in urban areas.

Recommended Action: Issue Proclamation.

BUDGET AMENDMENT REQUIRED:

CURRENT BUDGET AMOUNT:

PROPOSED BUDGET AMOUNT:

FINANCING SOURCE:

PREVIOUS CONTRACT/PURCHASE ORDER NO.:

COORDINATED WITH:

Approved: 
Sage Sangiacomo, City Manager

PROCLAMATION

CITY OF UKIAH

MAYOR'S MONARCH PLEDGE AND EARTH DAY ACKNOWLEDGEMENT 2021

WHEREAS, the first Earth Day was proclaimed in 1970 in order to foster public awareness of the need to protect the environment and conserve resources; and

WHEREAS the annual celebration of Earth Day in the City of Ukiah seeks to involve all of its citizens in improving their local environment and becoming more aware of their global environment; and

WHEREAS, the Monarch Butterfly is an iconic species whose eastern populations have declined by 90% and western populations by 99% in recent years; and

WHEREAS, through the National Wildlife Federation's Mayors' Monarch Pledge, U.S. cities, municipalities, and other communities are committing to create habitat for the monarch butterfly and pollinators, and to educate residents about how they can make a difference at home and in their community; and

WHEREAS, Monarch butterflies are considered an indicator species, so named because their population's presence, absence, or alteration are said to reflect changes in environmental conditions; and

WHEREAS, the City of Ukiah is committed to work with community partners to address the threats engendered by climate change including habitat loss and species extinction; and

WHEREAS, the National Wildlife Federation has provided an action list to guide communities in the effort to protect the Monarch butterfly; and

WHEREAS, community volunteer partners have stepped forward to identify and undertake actions to protect the Monarch butterfly.

NOW, THEREFORE, I, JUAN OROZCO, Mayor of the City of Ukiah, do hereby proclaim Thursday April 22nd as Earth Day and do hereby take the National Wildlife Federation's Mayors' Monarch Pledge to join other U.S. cities, municipalities, and other communities and pledge to take action to create habitat for the monarch butterfly and pollinators, and to educate residents about how they can make a difference at home and in their community. I take this pledge as part of the City of Ukiah's commitment to using Earth Day 2021 as a spur to action to protect our planet.

***Signed and sealed, this 17th day of March
in the year Two Thousand and Twenty-one.***

*Juan V. Orozco
City Council, Mayor*



Mayor's Monarch Pledge Mural – Call for Artists

Call for Artists

Deadline: 5PM; October 1, 2021

Total Project Budget (Award): \$2000



The purpose of this project is to educate and raise awareness of the decline in monarch butterfly populations, and to inspire all to take part in saving these butterflies by learning how to attract them to their own backyards. The project started with a Mayor's Monarch Pledge, then groups of people began planting plants attractive to butterflies, such as milkweed among others. Now we are soliciting artists/muralists who want to take on the task of painting a pollinator mural for our Alex Thomas Plaza in Ukiah.

-- Mayor Juan Orozco

Budget Description: The selected artist will be awarded \$2000 to install a mural at Alex Thomas Plaza. Additionally, the City of Ukiah will reimburse up to \$350 in paint and painting materials and apply an anti-graffiti coat after the mural is completed. The selected artist will be responsible for all other costs with the project, e.g., materials, equipment, labor. There is no additional funding.

Project Details: The City of Ukiah's Mayor's Monarch Pledge (MMP) ad hoc committee is pleased to announce a Request for Qualifications to identify qualified artists to develop a site-specific artwork to complement the design of Alex Thomas Plaza while speaking to the plight of, and need to protect, Monarch butterflies.

The mural will be placed on an approximately 12x14' east facing, cinderblock wall¹ on the south east corner of Alex Thomas Plaza. The wall is partially obscured by the foliage of a tree and the artist can choose the level of detail that may be behind the foliage as well as the total area of the wall to be included in the mural. Any wall area not included in the mural should be painted in a complementary manner.

The selection committee will be looking for;

- Presence of a Monarch Butterfly in a signature role **(Required)**
- Inclusion of additional beneficial pollinators and their host plants² is **(Welcomed)**
- The colors of the mural should be complementary to the color palette of Alex Thomas Plaza (See Paint Palette). **(Required)**
- Visually Engaging (bold, arresting, eye-catching, overall visual impact, efficient use of space) **(Required)**
- Inspires stewardship and a desire to learn more about pollinators and local beneficial insects **(Required)**
- Free of Scientific Inaccuracies with recognizable flora and fauna and a demonstrated relationship between plants and insects. **(Required)**

Selection Information: A selection committee composed of City of Ukiah staff, the Executive Director of the Arts Council of Mendocino County, representatives from the MMP ad hoc committee along with local art professionals, will review submissions and select an artist taking into consideration the artists professional experience, quality of work, artistic vision, originality in past



Mayor's Monarch Pledge Mural – Call for Artists

works and demonstrated ability to work on projects of similar scale and budget delivered in a timely manner. Additional consideration may be given to artists with a connection to the local region.

How to Apply: Please send the requested materials via email with the subject line "Monarch Mural Submission" to ndavis@cityofukiah.com or mail to Community Services, c/o Neil Davis 411 W Clay St, Ukiah CA 95482

1. See Page 7 of "Paint Palette"
2. See Attached Beneficial Insect and Host Plants List. MMP committee members will be available for consultations with the selected artist.



Mayor's Monarch Pledge Mural – Call for Artists

Application

Name:

Phone Number:

Email:

Instagram and/or website:

Bio/CV:

Artist statement, (up to 200 words):

Statement describing your connection to the local region (up to 200 words):

Description of the materials you would use and your process (Budget and Timeline).

Please attach at least 3 samples of previous artwork that represent your artistic style • Jpeg Only •
No larger than 5 MB each.

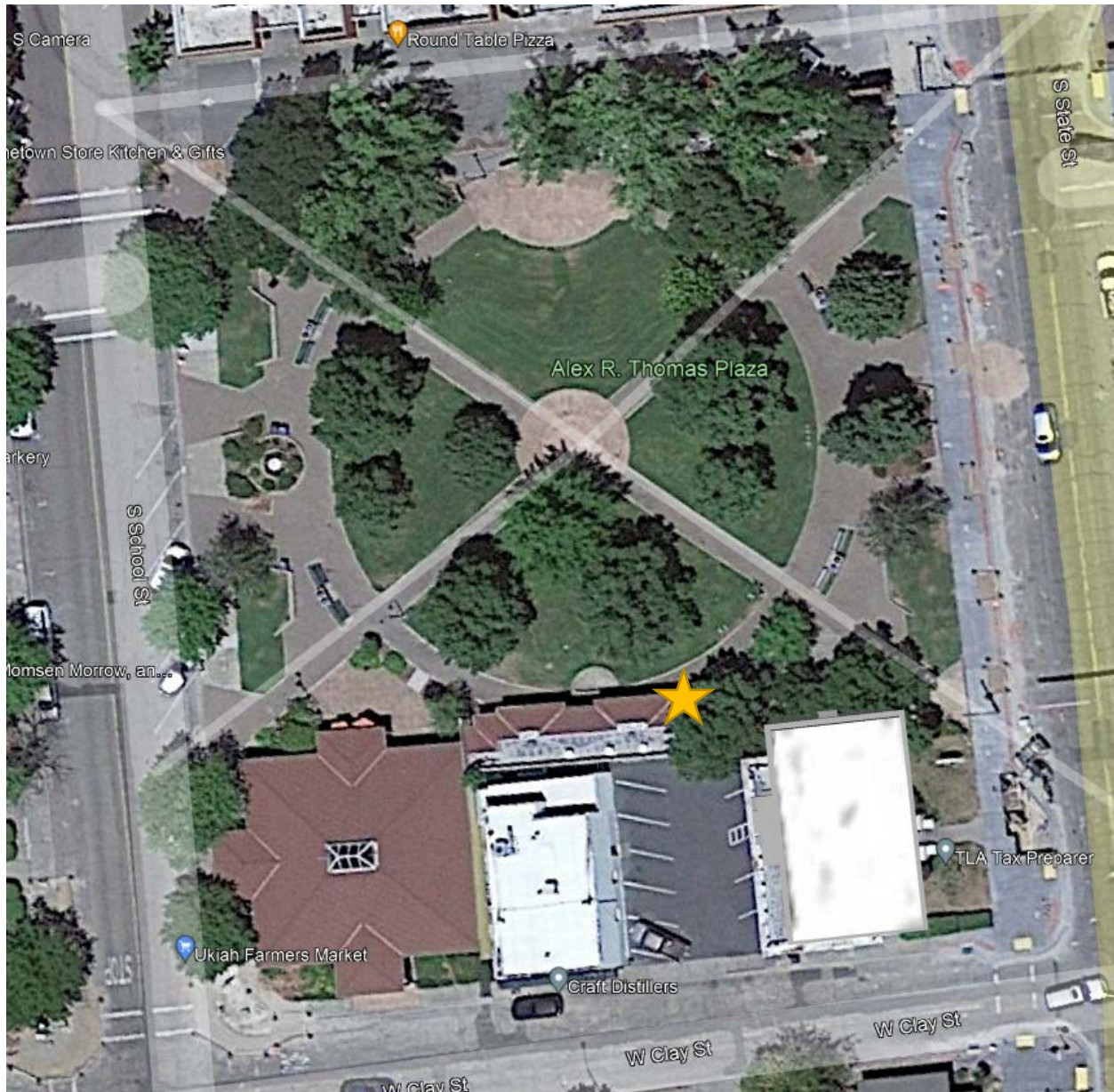
Conceptual draft of proposed mural (Optional at Time of Submission)

**Project committee will be available for consultations and will provide connections to educational and reference links on the project website and a QR code may be present at the site to link to that website

Offer of Public Artwork

Mayors' Monarch Pledge - Monarch & Milkweed Mural at Alex Thomas Plaza

Site Map



MONARCH & MILKWEED MURAL PROPOSAL

Alex Thomas Plaza, Ukiah, CA

December 1, 2021

Danza Davis

(707) 513-5134

danzadavis@gmail.com

@danzadavis

danzadavis.com

ARTIST STATEMENT

Danza Davis grew up in the oak woodlands and pine forests outside of Willits and currently live in Potter Valley. She dual majored in studio art and botany at Humboldt State University and completed graduate studies in science illustration at California State University Monterey Bay.

Danza draws inspiration from nature. She is an experienced muralist, acrylic painter, and digital artist. Her work is informed by her background in science and love of nature. Her style is informed by her process; she works at a large scale using a limited palette of pre-mixed colors applied with rigorous precision resulting in bold, yet carefully observed shapes and forms. Danza hopes her work simultaneously evokes the child-like wonder and awesome beauty that can be found in nature.

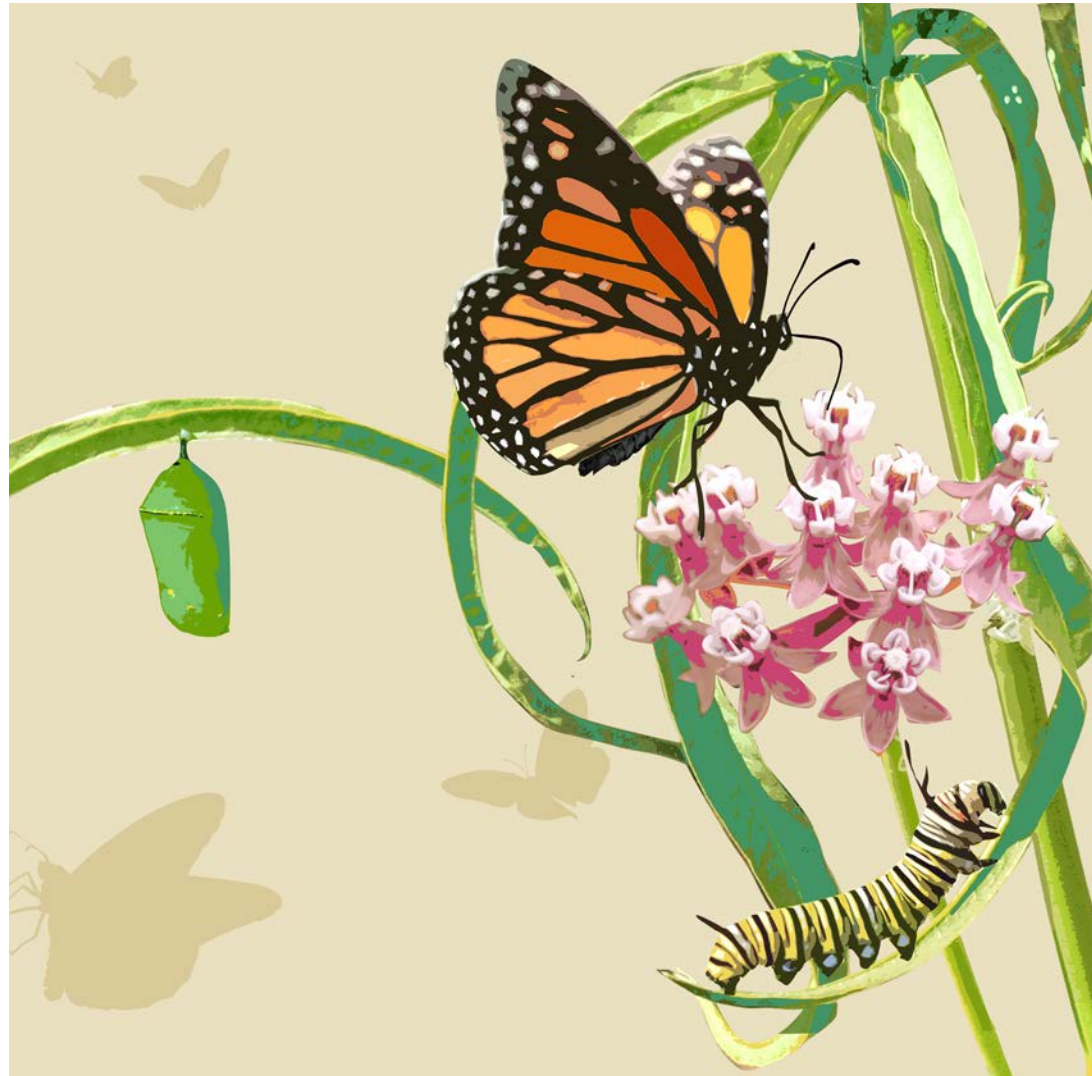
BUDGET

Materials \$350

Exterior Latex Paint
NOVA Mural Paints
Brushes

Time \$2,000

20 hours pre-production
30 hours on-site painting



MURAL PROPOSAL

The mural works within the budget to celebrate the life cycle of the monarch butterfly and the central role milkweed plays. Narrow-leaf milkweed is featured, probably the single most important host plant for Monarch butterflies in California. The monarch adult feeds on the milkweed flower, caterpillar eggs cling to the underside of a leaf, the caterpillar feeds on the leaves, a chrysalis hangs down, and flying adults evoke a hatched adult flying away.



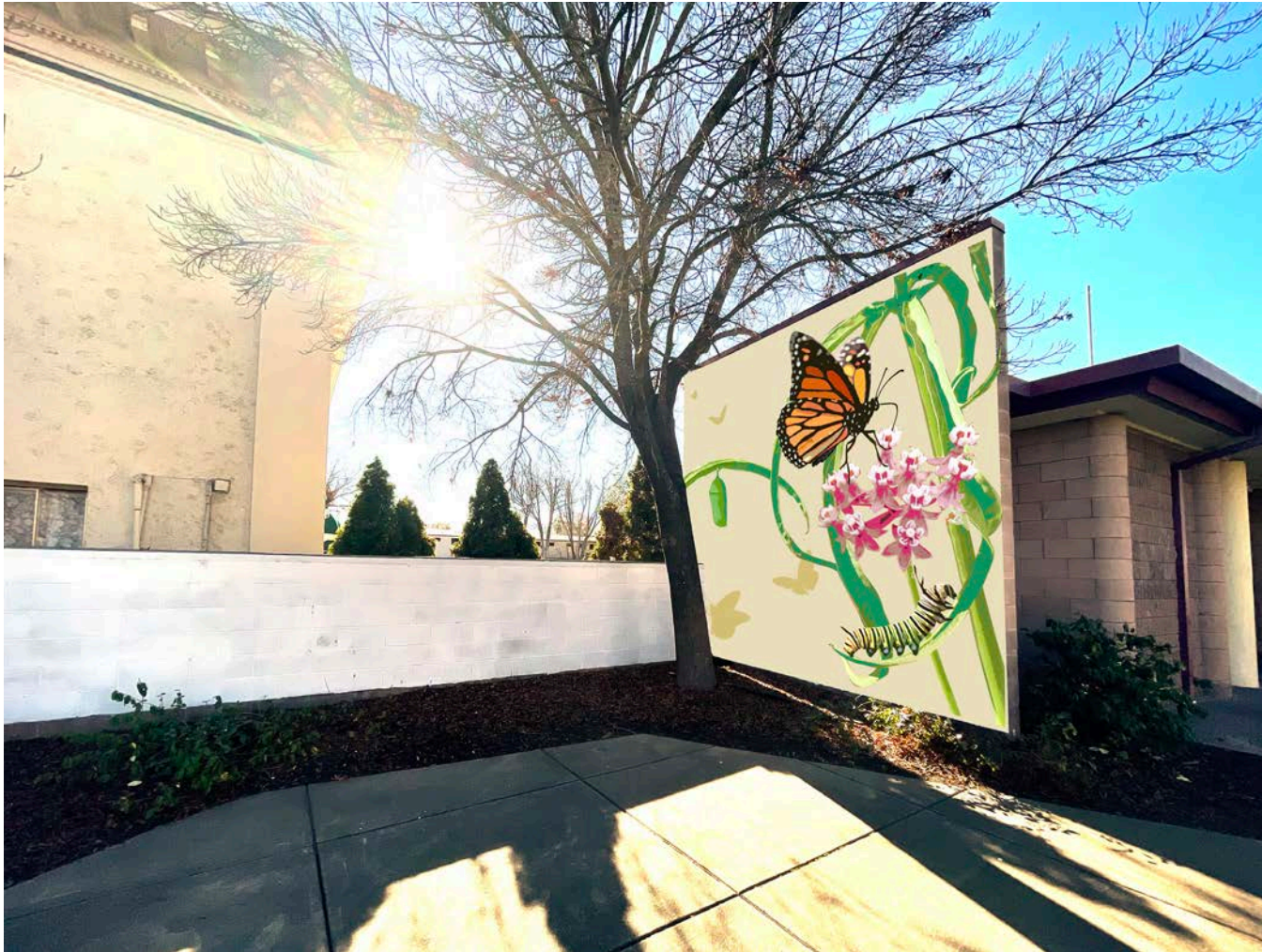
Site Image 01



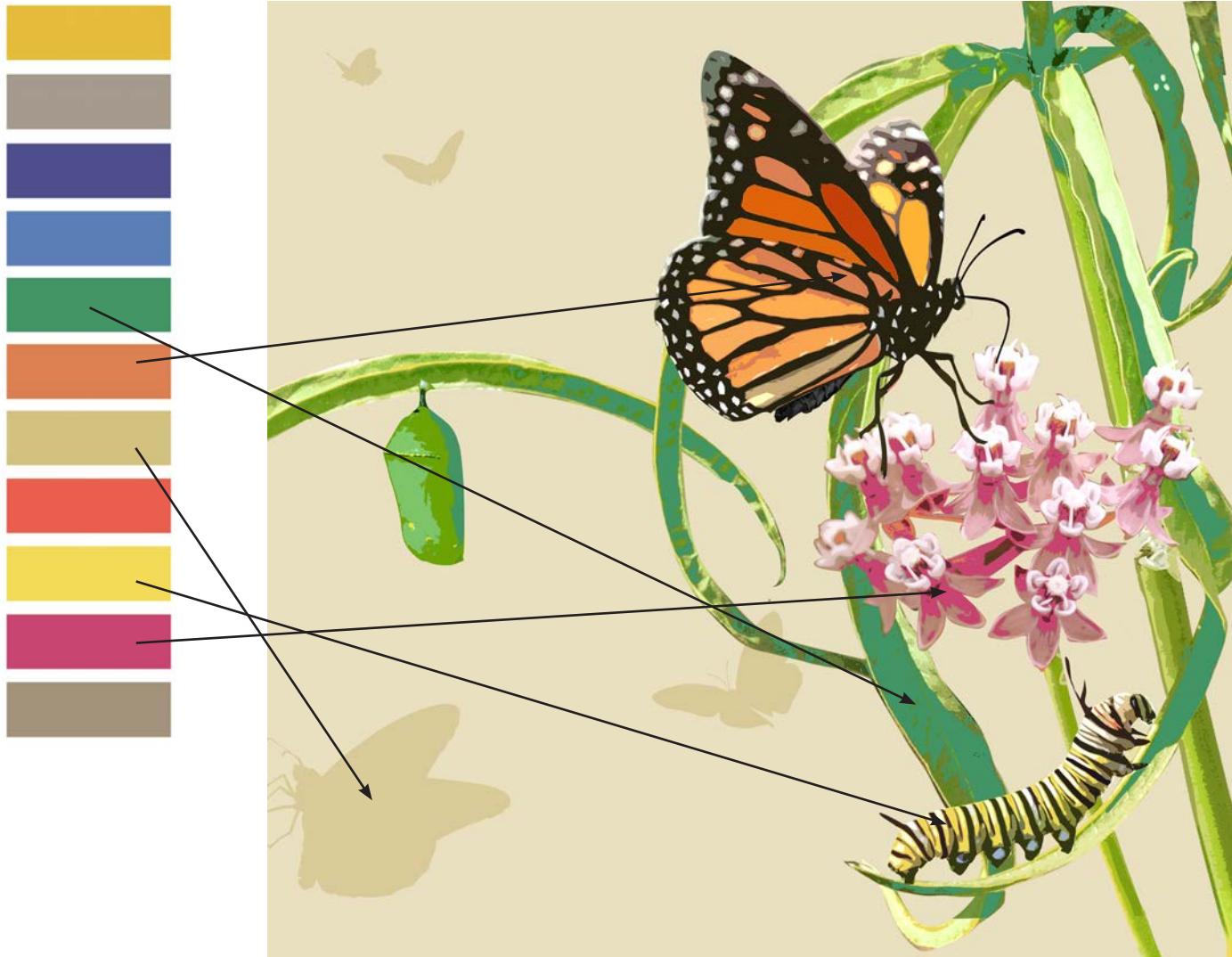
Mural Mock-up on Site Image 01



Site Image 02



Mural Mock-up on Site Image 02



Colors from the provided palette will be used when appropriate to tie the mural in to the planned repainting of Alex Thomas Plaza.



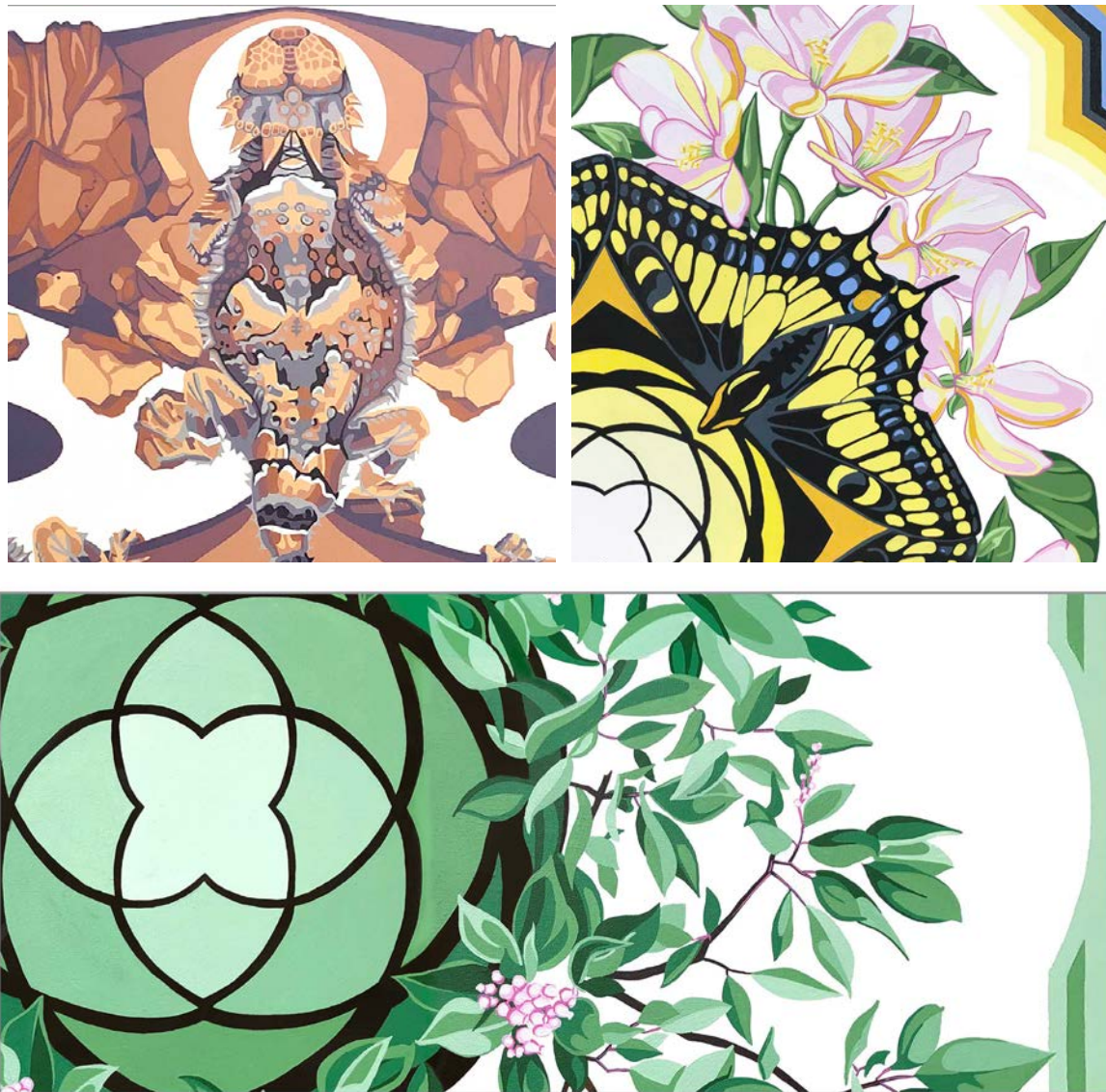
RECENT WORK by DANZA DAVIS

Beyond COVID was completed in June 2020 at the library building at Ukiah High School. This mural is a hopeful look to a future free of covid when we can remove our masks and make plans and wishes for the future. The flowers are a memorial to those who have been lost to the virus, which is represented in pink. This mural was created with support from the Arts Council of Mendocino County.



RECENT WORK by DANZA DAVIS

The North County and Coastal Zone murals were created over three years at Mendocino County Juvenile Hall with support from the Arts Council of Mendocino County and the California Arts Council. This 9 ft x 60 ft project is intended to engage youth in the artistic process and bring local flora and fauna into the juvenile detention recreation area. This project also spawned two stand-alone murals, one at the Round Valley Library and one at the Laytonville Library.



RECENT WORK by DANZA DAVIS

Danza's current studio work is a posthumous collaboration with the artist's father, Robert Chisholm. Robert was interested in creating mathematically-inspired homages to nature. He transformed graphical equations into patterns that he used in acrylic paintings and mixed media art. In this series, Danza incorporates her father's patterns with her naturalistic approach and graphic style on 4 ft x 4ft canvases. Images are excerpts from larger paintings.



THANK YOU!

Please note that this is an initial design concept. If selected for this project, the imagery will be refined, but remain true to this initial concept. Danza prides herself on providing concepts to clients that match the finished installation.

City of Ukiah

Public Art Policy

I. Purpose

Public art creates a unique sense of place and communicates a strong civic identity for the City of Ukiah ("City"). The City encourages the placement of artwork in Public Places and recognizes that art provides cultural and economic benefits for residents and visitors. Therefore, it is important that procedures and policies be established and implemented to support and facilitate the acquisition of Public Art.

The purpose of the Public Art Policy ("Policy") is to provide guidelines for Public Artwork, including:

1. Review Criteria for Proposed Artwork
2. Site Selection Criteria
3. Artistic Freedom of Expression and Non-Discrimination
4. Collection Maintenance

Proposals for public artwork will be reviewed by the Design Review Board. A recommendation will be forwarded to the Planning Commission for final approval.

II. Definitions

Artist

1. One who works in, is skilled in, or conceptually creates in any area of the fine arts, such as painting, drawing, sculpture, etc., including mixed-media.
2. A "professional artist" is any person who, by virtue of professional training, exhibition, history and/or critical review, is recognized by critics and peers as skilled in creating works of art.
3. A person who has a reputation of artistic excellence, as judged by peers, through a record of exhibitions, public commissions, sale of works, educational attainment, or other means.
4. A person who is a working professional making the majority of their income from creating artworks.
5. An educator who teaches studio art classes.

Art/Artwork

Any artwork that is intended to enrich the public environment for both City residents and visitors. Artwork shall include, but not be limited to, sculptures, murals, paintings, graphic arts, mosaics, photography, crafts, mixed media and environmental works.

Donor/Donate

The terms “donor”, “donate” and all derivations thereof (e.g. donation, donated, etc.) shall refer to the act of, and/or person responsible for, submitting proposal(s) for placement of Public Artwork in a Public Place, pursuant to this Policy and includes any form of proposal, including without limitation a proposed sale, lease, loan, license, gift, bequest, assignment or consignment, or as may otherwise be applicable for a given proposal.

Public Art/Artwork

1. Artwork created by an Artist, Artists, and/or a collaboration of Artists and design professionals, for a Public Place for the public to experience, or for a public purpose.
2. Art that is designed specifically for a public context or place which, through a public process, influences that context or place in a meaningful way.
3. Artwork that is publicly visible and accessible during regular operating hours of the City.

Public Place

Any structure or open space that is visible or accessible from a public right of way, such as a sidewalk, streetscape, plaza, park, building, bridge, waterway, parking garage, or sports and recreational facility. This Policy shall govern Artwork and/or Public Artwork in the following Public Places:

1. City-owned park
2. City-owned open space or public right of way
3. City-owned pathway or trail system
4. City-owned buildings
5. City owned parcels

III. Review of Offers of Public Artwork; Recommendations to Planning Commission

1. Documentation for Offers of Public Artwork

Written offers to place Artwork in a Public Place shall be made to the Planning Department and forwarded to the appropriate City department for review and comment, and to the appropriate commission and/or organization.

- a. Drawings, photos or written descriptions of the Artwork(s) to be placed (including size, colors, weight, materials and any information to establish that the Artwork has the requisite physical integrity to withstand public display and exposure to the natural elements);
- b. A written description of the background/historical information associated with any art item, including but not limited to information about the creation of the Artwork(s) and the artist (if applicable) who created it;
- c. Artist biography;

- d. A warrant of originality (if applicable);
- e. The estimated value of each Artwork (including appraisals of the Artwork(s) if available);
- f. The anticipated date for the placement to occur and the length of time proposed for public display;
- g. A site plan indicating the location of the location of the proposed Artwork.
- h. The anticipated life of displaying the Artwork(s) in a Public Place;
- i. Environmental effects of the Artwork(s);
- j. Proposed site and method of display (including any necessary hardscaping, landscaping, buildings, utilities, security devices, anchoring or other information necessary to insure public safety);
- k. Signage proposed for the Artwork, including size, lettering and material. Signage shall be limited to the artist's name, title, and date of work and, where appropriate, a dedication with the name of the donor or lender
- l. Estimates of the costs of installing the Artwork(s) for public display, including but not limited to: physical anchoring of structures for public display, retrofit of existing buildings or improvements, landscaping, lighting, security and maintenance, and whether the City or donor will pay for such costs.

A failure to provide the information outlined above may result in the City rejecting the offer to place Artwork in a Public Place as insufficiently documented to warrant City staff time to evaluate the offer.

All information provided is a public record and will be available for review at the Planning Department during regular business hours.

2. Process for Review by Appropriate Commission and Planning Commission

Before making a recommendation to the Planning Commission, the Design Review Board will consider, the criteria for Artwork selection, Artwork location and site selection(s), and documentation for placement of Artwork.

Then the Planning Commission must complete a review and approval for the Artwork proposal.

The following factors may be used by the DRB and Planning Commission when considering the selection of Artwork for installation in Public Places:

- a. Qualifications—Artists may be selected based on their qualifications as demonstrated by past work, and the appropriateness of their concepts to the particular project.
- b. Quality—Of highest priority are the design capabilities of the Artist and the inherent quality of the Artwork.
- c. Artistic Value—Public Artwork shall have a recognized aesthetic value.
- d. Media—All forms of visual arts should be considered.
- e. Appropriateness to Site—Artwork designs shall be appropriate in scale, material, form

- 1 and content to their immediate social and physical environments.
- 2 f. Size and Weight for Outdoor Artwork—Public Artwork located in an outdoor Public
- 3 Place shall be of appropriate and suitable weight to sustain interaction with the
- 4 public.
- 5 g. Size and Weight for Indoor Artwork—Public Artwork located in an indoor Public Place
- 6 shall not interfere with any activities the public would normally use in the public
- 7 facility.
- 8 h. Appropriateness to City’s Public Art Purpose—Artworks should address a
- 9 commitment to enhancing Public Places, creating a sense of place and giving
- 10 character to neighborhoods.
- 11 i. Permanence—Consideration shall be given to structural and surface integrity,
- 12 permanence and protection of the proposed artwork against theft, vandalism,
- 13 weather, and excessive maintenance and repair costs.
- 14 j. Public Liability—Safety conditions or factors that may bear on public liability must be
- 15 considered in selecting an Artist or Public Artwork.
- 16 k. Diversity—Public Artwork shall strive for diversity of style, scale, media and artists,
- 17 including ethnicity and gender of Artists selected.
- 18 l. Communication—The ability of the Public Artwork to effectively communicate should
- 19 be taken into consideration.
- 20 m. Maintenance—Consideration shall be given to the type and scope of maintenance
- 21 necessary to preserve the Public Artwork in a Public Place.
- 22

23 **3. Artwork Location and Site Selection**

24

25 Artwork shall be located in a Public Place appropriate for such a purpose. Installation of the

26 Artwork shall be planned and implemented to enhance the work and allow for unobstructed

27 public viewing from as many points of view as possible. The responsibility and method of

28 installation shall be described in a Memorandum of Understanding (“MOU”) between the City

29 and the donor and/or artist. Potential obstruction of growing trees, vegetation, shrubbery or

30 future construction shall be taken into account.

31

32 When selecting Artwork for Public Places, the Design Review Board and Planning Commission

33 and responsible department(s) shall consider:

34

- 35 a. Installation—The Artwork shall be able to be properly installed in a Public Place where
- 36 it can be viewed by the public in a safe manner.
- 37 b. Location—The Artwork shall be compatible with the design and location of the Public
- 38 Place. The Artwork shall also be compatible with the historical character of the site,
- 39 as well as the preservation and integration of the natural features of the Artwork.
- 40 c. Site Infrastructure—The Artwork shall be compatible with the site infrastructure
- 41 including, but not limited to, landscaping, drainage, grading, lighting and seating.
- 42 d. Impacts—The Artwork shall be compatible with adjacent property owners’ views and
- 43 uses of their property and City operations. Consideration shall be given to noise,
- 44 sounds and light created by the Artwork.

1 e. Accessibility—The Artwork shall comply with Americans with Disabilities Act (ADA)
2 requirements in addition to related federal, state and local codes.
3

4 **IV. Artistic Freedom of Expression**

5

6 The City recognizes that free expression is crucial to making of works of Artwork of enduring
7 quality. At the same time, Artwork must be responsible to its immediate site in community
8 settings, relatively permanent in nature and funding sources. It is the policy of the City to
9 encourage free expression by artists consistent with due consideration of the value, aspirations
10 and goods of the City.
11

12 **V. Non-Discrimination**

13

14 The City recognizes that cultural and ethnic diversity is essential in programs sponsored by the
15 City, and seeks to be inclusive in all aspects. The City will not discriminate against any artist or
16 donor based on race, gender, ethnicity, age, socio-economic class, religion, sexual orientation,
17 abilities and politics, among other qualities.
18

19 **VI. Compliance with Laws**

20

21 The City reserves the right to require that placement of Artwork in a Public Place comply with
22 all applicable laws and ordinances of City of Ukiah, California and the United States of America.
23

24 **VII. Indemnification**

25

26 The City has no obligation to accept, display, or maintain any offer to place Artwork in a Public
27 Place. The City has the right to determine, at its sole and absolute discretion, what Artwork(s)
28 offered to it for public display will be accepted, displayed, or maintained by the City. If the City
29 elects to accept, display and/or maintain Artwork, it may require the following information as
conditions of acceptance:

- 30 1. Proper documentation indemnifying and holding the City harmless to any liability as it
31 relates to the Artwork, including documentation that the City will not be held liable to any
32 damage incurred to the Artwork;
- 33 2. Written explanation of legal issues, including but not limited to identifying the current
34 legal owner of the items, the existence of any copyrights, patents or other title rights in or
35 to the Artwork(s), such as any interests to remain with the artist or designer of the
36 Artwork(s), and an explanation of conditions or limitations on the item(s) and whether the
37 City or the donor will pay for such costs;
- 38 3. Any additional information the City deems necessary or appropriate to analyze the
39 offer.

4. Each owner of the artwork provide written proof of insurance to the level the City feels is adequate.

VIII. Temporary Art

The City of Ukiah believes that the historic architecture found in Downtown Ukiah is art in and of itself and should be respected as such. The same can be said of the surrounding context including streetscape, parks, and other supporting features of the District. A cohesive whole has been created that supports economic development, tourism, and cultural activities.

Because the historic resources and any temporary Public Art must share the same landscape, the addition of the new must be harmonious with the old. Siting of temporary Public Artworks must respect the historic setting with no tendency to overwhelm or be obtrusive. It also cannot cause physical damage to historic resources or other supporting features of the Downtown.

The City encourages the development of context-sensitive temporary Public Art installations within the Downtown. Because the appearance of such installations can have a significant impact on the Downtown's setting, the City has developed guidelines to assist applicants in proposing installations that complement the Downtown's setting:

1. Application

- An application must first be submitted to the appropriate commission for review and approval prior to being undertaken. (See III.1 above.) Proposals for temporary Public Art within the Downtown shall be considered in the same manner as other Public Art proposals.
- Applications will include a proposed exhibition timeline including location(s), installation and removal dates, design and installation plan, maintenance plan, and removal plan.

2. Duration

- Temporary installations are defined by an exhibition period of less than twelve months. Considerations for renewal for up to a maximum of three additional months will be considered based upon upkeep and maintenance.

3. Location

- Installations cannot obscure architectural features, nor detract from the existing historic, architectural, and design context of the site and surrounding area. The installation must respect the historic setting and have no tendency to overwhelm or be obtrusive.
- Installations should be placed in a site where they will enhance their surroundings or at least not detract from them. They should not be placed in a given site if the landscaping and maintenance requirements of that site cannot be met with reasonable accommodations.
- Installations cannot damage existing surfaces. No direct painting of fences, walls, and other surfaces will be allowed. Method of installation and attachment must be temporary, non-intrusive and approved as part of the installation plan. All surfaces must be restored to their previous state upon removal of artwork.

4. Design and Installation Plan

- A graphic representation of the proposed format and installation is required. Acceptable forms might include photographic images of existing work to be installed, computer-generated simulations, line drawings, color renderings, or other means of graphic representation of the proposed installation that adequately conveys the nature of the artist's proposal.
- A narrative description of the proposed format and installation, including discussion of materials to be used and methods of construction and installation, must also accompany the graphic representation.

5. Materials and Signage

- The material to be used for fabrication of the work shall be of a type appropriate to the theme or concept of the proposed Artwork and should respect the surrounding natural and building environments. The material shall require low maintenance and shall not include any dangerous surfaces or materials.
- Accessories to the Artwork such as mounting hardware and lighting shall not distract from the Artwork. In the case of lighting, it must be non-flashing and non-moving, and cannot create glare for passing drivers or pedestrians. All accessories shall be durable and require low maintenance.
- Interpretive signage must be preapproved and conform with the signage standards of the appropriate commission or department.

6. Safety and Security

- Installations cannot block windows or doorways, nor access and egress from buildings. Normal pedestrian and vehicular access cannot be inhibited.
- The Artwork and accessories shall not present an attractive hazard to the public, or be positioned so as to create a "blind spot" where illegal activity might take place.
- Installations must be secured in a manner so that they will not create potential hazards to the public or surrounding property.

7. Maintenance

- The installation shall be kept in good repair for the duration of the exhibition period. Any deterioration, vandalism and other maintenance issues shall be addressed in a timely manner by the Artist and/or sponsoring organization. Failure to properly maintain the installation will result in notification for removal.

8. Removal

- Installations must be removed by the approved deadline. The City may consider extending exhibition periods for up to a maximum of three months based upon upkeep and maintenance.
- The installation must be completely removed from the site, and all surfaces must be restored to their previous state, upon removal of Artwork.



AGENDA ITEM NO. 6b

Department of Community Development and Planning
300 Seminary Ave.
Ukiah, CA 95482
planning@cityofukiah.com

TO: Design Review Board

FROM: Jesse Davis, Planning Manager

DATE: January 19, 2022

SUBJECT: Request for review and recommendation to the Planning Commission regarding a Major Use Permit to allow phased development of 1117 Commerce Drive (Project Site). Phase 1 facilitates construction of a 7,973 square foot (sf) concrete masonry structure for the repair, maintenance, cleaning, and detailing of automobiles exclusively associated with Fowler Automotive; and continued use of the Project Site for automotive inventory storage, as well as the non-conforming structure; APN 180-070-03; File No. 20-5874.

BACKGROUND

Created in 1981, the Airport Industrial Park Planned Development (AIP-PD) now features an assortment of commercial uses, including hotels, automobiles sales and service, restaurants, and wholesale stores. The Project Site is included within the AIP-PD and has historically featured a mixture of manufacturing and industrial activities, including operations for Kennedy Construction and Canadian Cedar Products Company. In 1990, the Planning Commission approved Variance (No. 90-2) and Site Development Permit (No. 89-128) to allow for construction of an 8,000 square foot warehouse and an 1,875 square foot equipment storage shed. Those approvals also facilitated relocation of the existing office structure to the front (south) of the parcel. Variance (No. 90-2) allowed this relocated office building to be situated at a front-yard setback of 12 feet from Commerce Drive. At that time, landscaping along the Commerce Drive frontage was conditioned as a project requirement.

On September 21, 2004, Minor Subdivision (No. 04-22) was approved to allow for division of the property into three parcels and a remainder. By 2010, all but one of the large warehouse structure toward the rear of the property had been demolished. The subdivision, however, subsequently expired in 2015 after multiple extensions per Government Code 66452.6. While the non-conforming office structure remains, previous landscaping was removed and the site has been used for vehicle, equipment and bulk outdoor storage since approximately 2015. The final warehouse structure along the northern property line was demolished in 2020.

On February 17, 2021, the Project Site was updated to an Industrial/Automotive Commercial Land Use Designation by the Ukiah City Council per Ordinance No. 1213. Prior to being designated Industrial/Automotive Commercial, the property was under a Professional Office land use designation, which prevented most automobile type activities or related-improvements. With this amended land use designation, the proposed use by Fowler Automotive is permitted, subject to the issuance of a Use Permit.

PROJECT DESCRIPTION

In 2021, the Project Site was updated to an Industrial/Automotive Commercial land use designation. The Applicant (Fowler Automotive) now seeks a Major Use Permit to facilitate



AGENDA ITEM NO. 6b

Department of Community Development and Planning
300 Seminary Ave.
Ukiah, CA 95482
planning@cityofukiah.com

construction of a 7,973 square foot (sf) concrete masonry structure for the repair, maintenance, cleaning, and detailing of automobiles exclusively associated with Fowler Automotive. Per the AIP-PD Section 13(E)(2)(e), within the Industrial/Automotive Commercial Land Use Designation, *"Uses related to automobile dealership...such as car washing facilities, automobile repair business, etc., require securement of a Use Permit."*

As requested by the Applicant, development of the Project Site is to be phased. Phase 1 will focus on ±.89 acres situated along the northern and western peripheries of the Project Site. The application, project description, relevant plans and design elements are included as **Attachment 1**. The initial proposed development includes the following components:

- One (1) 7,973 sf building; with a storage room for new and used oil, a storage room for equipment, parts, and supplies, an office including file storage, and a photo-room with an internal car turntable.
 - The proposed auxiliary building would feature two (2) car-wash bays; four (4) detail bays; and five (5) regular bays for automotive repair;
- A total of 16,200 sf of existing pavement would be removed and 18,900 sf of asphalt would be placed for the proposed project.
- A 1,033 sf vegetated swale and five (5) downspouts would border the structure to the north and west, with a 5,804 sf vegetated area and a 136 sf bio-retention area located on the northwest corner of the Site;
- Thirteen (13) new parking stalls would be developed; including (1) ADA compliant stall; bicycle parking is identified;
- Replace existing fencing with 8' black tube steel, curved top, no climb security fencing along portions of the northern, southern and western frontages of the Project Site.
 - o The perimeter fencing includes two (2) electronic rolling gates; Refer to **Attachment 2** for locations of proposed fencing and gate.

Automobile sales will not be conducted from the Project Site, nor will the facilities be open to the general public. Existing uses, particularly automobile inventory storage, as well as the non-conforming structure will be continued. Those aspects are not considered a component of this project.

SETTING

The Project Site is located northeast of the Ukiah Municipal Airport, adjacent to the southerly terminus of the Great Redwood Trail. The Project site is predominantly paved but vacant, with the remaining concrete pads from previous warehouse and manufacturing structures scattered throughout. There is minimal vegetation, and the Project Site is bounded by commercial use types to the north, south and east, and industrial/public facility use types to the west. Within the immediate vicinity of the Project Site, exist a variety of urban uses, including offices, hotels and commercial retail. Table 1 includes a summary of adjacent land uses, which are also visualized below in Figures 1-4:



Table 1, Zoning and Land Use

ZONING:		USE:
NORTH	Professional Office-AIP	Office
EAST	Professional Office-AIP	Hotel
SOUTH	Light Mfg./Mixed Use-AIP	Commercial Retail
WEST	Manufacturing	Retail

Figure 1. General Plan Land Use

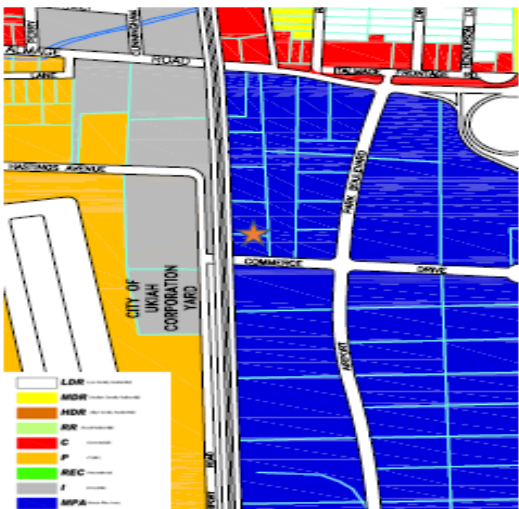


Figure 2. Zoning Designation

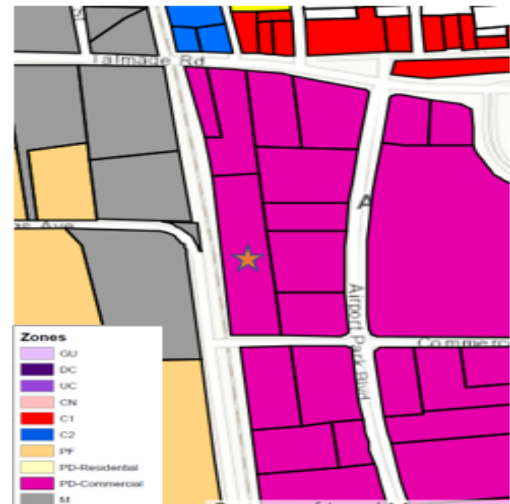


Figure 3. AIP Land Use Designation Map

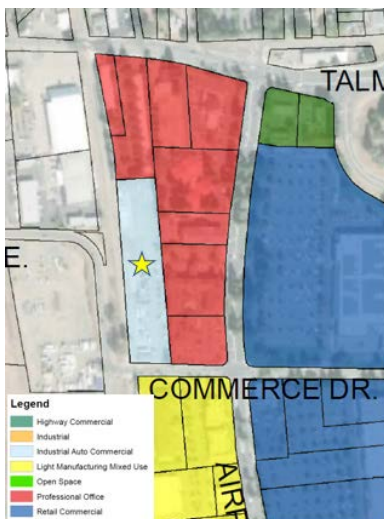


Figure 4. Aerial Image





AGENDA ITEM NO. 6b

Department of Community Development and Planning
300 Seminary Ave.
Ukiah, CA 95482
planning@cityofukiah.com

DISCUSSION

The project is located within the Airport Business Park; as such, development is regulated by the Airport Industrial Park Planned Development Guidelines, most recently amended by Ord. No. 1213 (**Attachment 3**). As discussed, the Project Site is now designated Industrial/Automotive Commercial, but is considered vacant. As of January 19, 2022, limited site development work had commenced at the Project Site to facilitate placement of the foundation for the auxiliary structure. Unlike other designations within the AIP-PD, the Industrial/Automotive Commercial Designation does not provide specific requirements or findings to guide improvements or aesthetics. Therefore, the Design Review Board (DRB) should review the project for its conformance to the AIP-PD Section J (Design Guidelines).

Per the plans submitted, Staff offers the following Findings for discussion of the Design Review Board in **Attachment 4**.

STAFF REQUEST

Staff is requesting that the DRB review the project for its conformance to the AIP-PD, and make a recommendation to the Planning Commission.

ATTACHMENTS

1. Application Materials (Elevations, Project Description, Site Plan)
2. Landscaping Plan (Materials Board, Color Samples, Landscape Plan)
3. Ordinance No. 1213 (Airport Industrial Park Planned Development)
4. Findings – Section J (Airport Industrial Park – Planned Development)



City of Ukiah

Community Development Department
 Planning Division
 300 Seminary Ave., Ukiah CA 95482
 Email: planning@cityofukiah.com
 Web: www.cityofukiah.com
 Phone: (707) 463-6268
 Fax: (707) 463-6204

Planning Permit Application

PROJECT NAME: Fowler Auto Center Auxiliary Building																							
PROJECT ADDRESS/CROSS STREETS: 1117 Commerce Drive/Airport Road				AP NUMBER(S): 180-070-03																			
APPLICANT/AUTHORIZED AGENT: LACO Associates, Attn. Kevin Doble		PHONE NO: (707) 462-0222	FAX NO: (707) 462-0223	E-MAIL ADDRESS: dobelk@lacoassociates.com																			
APPLICANT/AUTHORIZED AGENT ADDRESS: 776 S. State St., Suite 103			CITY: Ukiah		STATE/ZIP: CA/95482																		
PROPERTY OWNER IF OTHER THAN APPLICANT/AGENT: Fowler Auto Center, Attn. Ken Fowler		PHONE NO: (707) 507-5049	FAX NO:	E-MAIL ADDRESS: kenfowler01@hotmail.com																			
PROPERTY OWNER ADDRESS IF OTHER THAN APPLICANT 1265 Airport Park Blvd			CITY: Ukiah		STATE/ZIP: CA/95482																		
HAS YOUR PROJECT RECEIVED A PRELIMINARY REVIEW? ☒ YES ☐ NO																							
☐ AIRPORT LAND USE COMM. DETERMINATION REFERRAL 100.0800.611.003	\$	☐ REZONING – PLANNED DISTRICT 100.0800.611.001	\$	☐ USE PERMIT – AMENDMENT 100.0400.449.001	\$																		
☐ ANNEXATION 100.0800.611.001	\$	☐ SITE DEVELOPMENT PERMIT – AMENDMENT 100.0400.449.001	\$	☒ USE PERMIT – MAJOR 100.0400.449.001	\$																		
☐ APPEAL 100.0400.449.001	\$	☒ SITE DEVELOPMENT PERMIT – MAJOR 100.0400.449.001	\$	☐ USE PERMIT – MINOR 100.0400.449.001	\$																		
☐ GENERAL PLAN AMENDMENT 100.0800.611.001	\$	☐ SITE DEVELOPMENT PERMIT – MINOR 100.0400.449.001	\$	☐ VARIANCE – MAJOR 100.0400.449.001	\$																		
☐ MURAL PERMIT 100.0400.449.001	\$	☐ SPECIFIC/MASTER PLAN 100.0800.611.003	\$	☐ VARIANCE – MINOR 100.0400.449.001	\$																		
☐ PRE-DEVELOPMENT MEETING 100.0800.611.003	\$	☐ MINOR SUBDIVISION/TENTATIVE PARCEL MAP (4 OR FEWER LOTS) 100.0800.610.001	\$	☐ ZONING AMENDMENT MAP OR TEXT 100.0800.611.001	\$																		
☐ STAFF RESEARCH (MORE THAN 1 HOUR) 10023100.41153	\$	☐ MAJOR SUBDIVISION/TENTATIVE SUBDIVISION MAP (5 OR MORE LOTS) 100.0800.610.001	\$	☐ REZONING 100.0800.611.001	\$																		
☐ LOT LINE ADJUSTMENT OR MERGER 100.0800.610.001	\$	☐ OTHER	\$	☐ OTHER	\$																		
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COUNTY CEQA (EIR) FEE: CHECK PAYABLE TO MENDOCINO CO.	\$	TOTAL FEE:	\$	RECEIPT NUMBER:																			
APPLICATION NUMBER(S):																							

Recommendation: Prior to submitting an application, discuss your project with Staff to discover what fees (sewer, water, in-lieu park fees, traffic impact fees, etc.) may be required for your project. Also, ask about street tree requirements, required sidewalk repairs, drainage issues, storm water mitigation requirements, frontage improvements, etc.

Project Description

Please attach a written project description including summary of work (both interior and exterior for construction and operation) and/or business proposed. The purpose of the project description is to assist Staff in understanding the project. The project description will also be included in the Staff Report required to review (and ultimately approve or deny) the planning permit. Providing complete information will help expedite the project review process and in determining what additional information, if any, related to the project and required environmental review is required.

Environmental Review and Reports

Please be aware that projects are required to comply with the California Environmental Quality Act (CEQA). Projects will be reviewed by Staff for compliance with CEQA and Staff will determine the appropriate CEQA document to prepare for the project (exemption, negative declaration, etc.). In order to make this determination, specific reports (traffic, arborist, soils, etc.) and or additional information may be required.

Use Information

Please provide the following information related to the use of the site and building:

Description of Building & Site			
Parcel Size: 2.53 acres	Building Size: 7,622 sf	Number of Floors: 1	
Use of Building (check all that apply)	Description	Square Footage	Number of Units/Suites
☐ Office (business/professional)			
☐ Office (medical/dental)			
☐ Retail			
☐ Light Industrial			
☐ Residential			
☒ Other: Industrial/Automotive Commercial	Auxiliary Building	7,622 sf	1 unit
Operating Characteristics			
Days and Hours of Operation: Mon.-Fri. 8am-5pm, Sat. 9am-4pm, Sun. Closed			
Number of Shifts: 1 per day	Days and Hours of Shifts: Mon.-Fri. 8am-5pm, Sat. 9am-4pm		
Number of Employees/Shift: 10-12 employees			
Loading Facilities: ☐ Yes ☒ No	Type/Vehicle Size: Auto transports will be unloaded in the parking lot.		
Deliveries: ☒ Yes ☐ No	Type: Auto transports	Number (day/week/month): 1-2 per day	Time(s) of Day: During business hours
Outdoor areas associated with use? (check all that apply) ☒ Yes ☐ No	Sales area: ☐ Yes ☒ No Square Footage:	Unloading of deliveries: ☒ Yes ☐ No Square Footage: 6,120	Storage: ☒ Yes ☐ No Square Footage: 660
Noise Generating Use? ☐ Yes ☒ No Minimal	Description: Proposed concrete masonry structure for use as an automobile cleaning & detailing location for Fowler Auto Center.		

To Be Completed by Staff

General Plan Designation:	Zoning District:	Airport Land Use Designation:
City's Architectural & Historic Inventory: ☐ YES ☐ NO	Age of Building:	Demolition Policy:
Hillside: ☐ YES ☐ NO	Flood Designation FIRM Map:	Flood Designation Floodway Map:
Tree Policies		
General Plan Open Space Conservation ☐ NO ☐ YES GOAL/POLICY #:	Community Forest Management Plan ☐ NO ☐ YES GOAL/POLICY #:	
Landscaping and Streetscape Design Guidelines ☐ NO ☐ YES GUIDELINE #:	Commercial Development Design Guidelines ☐ NO ☐ YES GUIDELINE #:	
Tree Protection and Enhancement Policy ☐ NO ☐ YES NOTES:	Tree Planting and Maintenance Policy ☐ NO ☐ YES NOTES:	
UCC: Street Tree Policy, Purpose and Intent ☐ NO ☐ YES NOTES:	Other:	
Notes		

I, Ken Fowler, owner authorize LACO Associates to act on my behalf for this project and I have read and agree with all of the above. (Application must be signed by owner).

PROPERTY OWNER SIGNATURE**DATE**

I, Kevin Doble, am the ☐ owner / ☒ authorized agent of the property for which the development is proposed. The above information and attached documents are true and accurate to the best of my knowledge.
I have read and agree with all of the above.

I hereby authorize employees of the City of Ukiah, the City's authorized agents, and persons with review or decision making authority for the project to enter upon the subject property, as necessary, to inspect the premises, post notices, and process this application.

I understand that conditions of approval may be placed on my project by the city of Ukiah and it is my responsibility to fully understand the conditions and ask questions about them before action is taken on my planning permit.



04/30/2021

☐ OWNER / ☒ AUTHORIZED AGENT**DATE**

INDEMNIFICATION AGREEMENT

As part of this application, the applicant agrees to defend, indemnify, and hold harmless the City of Ukiah, its agents, officers, council members, employees, boards, commissions or Council from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void, or annul any approval of the application or related decision, or the adoption or certification of any environmental documents or negative declaration which relates to its approval. This indemnification shall include, but is not limited to, all damages, costs, expenses, attorney fees or expert witness fees that may be awarded to the prevailing party arising out of it or in connection with the approval of the application or related decision, whether or not there is concurrent, passive, or active negligence on the part of the City, its agents, officers, council members, employees, boards, commissions of Council. If for any reason, any portion of this indemnification agreement is held to be void or unenforceable by a court of competent jurisdiction, the remainder of the agreement shall remain in full force and effect.

The City of Ukiah shall have the right to appear and defend its interests in any action through its City Attorney or outside counsel. The applicant shall not be required to reimburse the City for attorney's fees incurred by the City Attorney of the City's outside counsel if the City chooses to appear and defend itself in the litigation.

I have read and agree to all of the above.

Kevin Doble

☐ PROPERTY OWNER / ☒ AUTHORIZED AGENT

(PLEASE PRINT NAME)



04/30/2021

☐ PROPERTY OWNER / ☒ AUTHORIZED AGENT**DATE**

(SIGNATURE)

Revised 08/19/2019

January 18, 2022

9100.08

City of Ukiah
Community Development Department, Planning Division
300 Seminar Avenue
Ukiah, California 95482

Subject: Site Development Permit and Use Permit Application
Fowler Auto Center Auxiliary Building
Assessor Parcel Number (APN) 180-070-03

To Whom It May Concern:

We are pleased to submit the enclosed application for a Site Development Permit and Use Permit for the proposed Fowler Auto Center Auxiliary Building on the property located at 1117 Commerce Drive within the City of Ukiah (Site). The purpose and need of the proposed project is to have the ability to move automobiles from the main dealership, Fowler Auto Center located southeast of the Site, to a proposed 7,622-square-foot enclosed concrete masonry structure for minor repairs, cleaning, detailing, and continued use as additional inventory storage. As such, the proposed use is permitted, subject to the issuance of a Use Permit.

The following documents are included with this submittal:

1. Site Development Permit and Use Permit Application
2. Project Description_Revised 1-18-2022
3. Preliminary Improvement Plans (LACO, April 2021)
4. Architectural Drawings (Gold Man Architects, April 2021)
5. Initial Storm Water Low Impact Development (LID) Plan (LACO, November 13, 2020)
6. Preliminary Landscape Plan (Brian Firth Landscape Architect, Inc., April 7, 2021)
7. Materials and Color Boards (Goldman Architects, January 21, 2021)

Please feel free to call me at (707) 462-0222 if you have any questions regarding the application or if you require more information to process this request.

Sincerely,
LACO Associates



Kevin Doble
Project Manager

cc: Ken Fowler (kenfowler01@hotmail.com)

P:\9100\9100 Guillon Inc. Construction\9100.08 1117 Commerce Dr Planning and Engineering\06
Planning\Permitting\SDP_UP\1_SDP_UP App. Cover Letter 20220118.docx

Project Description
For
Fowler Auto Center Auxiliary Building
LACO Project No. 9100.08
Revised January 18, 2022

The enclosed Major Site Development Permit and Use Permit applications are requests to construct the proposed Fowler Auto Center Auxiliary Building Project on the property located at 1117 Commerce Drive within the City of Ukiah (Site), Assessor's Parcel Number (APN) 180-070-03, 2.53-acres in size.

Project Background

Fowler Auto Center Auxiliary Building Project is proposed in order to move automobiles from the main dealership, Fowler Auto Center, located at 1265 Airport Park Boulevard, to a proposed enclosed concrete masonry structure for cleaning and detailing and minor repairs at the proposed location of 1117 Commerce Drive within the City of Ukiah. The proposed structure would consist of one (1) 7,733-square-foot (sf) building consisting of concrete masonry unit walls and a top perimeter band of flush metal panels to conceal the ends of the wood truss roof framing, and 18,902-sf of new paving. A total of thirteen (13) new parking stalls, including one (1) Americans with Disabilities Act (ADA) compliant parking stall is proposed, along with associated striping and marking per City standards. Vehicle storage currently exists on the southern portion of the Site and would continue under the proposed project.

The 7,733-sf concrete masonry structure would contain a 148-sf storage room for oil, a 594-sf storage room for records, a 140-sf office space, a 40-sf concrete patio on the northwestern border of the building, a 122-sf storage room for tools, and a 930-sf photo room. The proposed auxiliary building would also contain a 142-sf storage area for the reverse osmosis equipment; two (2) wash bays for a total of 920-sf; four (4) detail bays for a total of 1,826-sf; and five (5) regular bays for a total of 2,244-sf. Water from the bays would flow into the floor drains (see Architectural Drawings) into the reverse osmosis equipment room where soap, grease, and pollutants would be removed prior to the wastewater entering the existing 12-inch main sanitary sewer waste line which exists at the structure to the south. The proposed project would connect to an existing water connection on Commerce Drive. A total of 16,200-sf of existing pavement would be removed and 18,902-sf of asphalt would be placed for the proposed project. A 1,033-sf vegetated swale and five (5) downspouts would border the structure to the north and west, with a 5,804-sf vegetated area and a 136-sf bioretention area located on the northwest corner of the Site. Vehicle storage is an existing use on-site and will continue prior to any minor repairs, cleaning and detailing. Retail sales would not be part of the operation. This project is phased consisting of the above improvements under the Current Phase on 0.89-acres and future improvements are not currently planned under the Future Phase on 1.64-acres, but should they become necessary the property owner acknowledges that an additional site development permit will be required. Refer to the Preliminary Improvement Plans, Architectural Drawings, and Preliminary Landscape Plan, attached. As the proposed project may be phased, the plans show improvements to the Current Phase only, as labeled.

The proposed project would be in operation on Monday thru Friday from 8 a.m. to 5 p.m., on Saturday from 9 a.m. to 4 p.m., and closed on Sunday. There would be one shift per day with a total of 10 to 12 employees working. No loading facilities or sales areas are proposed. Deliveries would consist of auto transports and would be unloaded in the parking lot for minor repairs, cleaning and detailing services during business hours. Noise generated from the proposed project is anticipated

to be minimal. In addition, the proposed project is not anticipated to create a nuisance to adjacent parcels and shall comply with the performance criteria outlined in the Airport Industrial Park Planned Development (AIP-PD) Ordinance, Section 13 (H) *Nuisances*.

Access to the Site will be provided via a paved driveway off Commerce Drive, located to the south. Construction equipment will be staged along Commerce Drive. As indicated on the preliminary grading, drainage, and utility plan, the dirt stockpile and spoils are temporary imported materials related to construction efforts for the proposed building pad. Construction is anticipated to start in early of 2022 and completed prior to the rainy season, or October 15, 2022.

Existing Use and Site Characteristics

The Site is located northeast of the Ukiah Municipal Airport and west of Highway 101, is approximately 2.53-acres in size, paved and built-up, with existing concrete pads throughout and an existing office space located off Commerce Drive on the southern portion of the Site. The Site is bounded by commercial use types to the north, south and east, and industrial use types to the west. The Site is zoned Planned Development: Commercial (PDC), with a General Plan land use designation of Master Plan Area (MPA) and an Airport Industrial Park Land Use Designation of Industrial/Automotive Commercial. All surrounding properties are developed. Existing vegetation on-site, proposed to remain, consists of a 6-inch diameter ornamental tree and 24-inch diameter fir tree on the northern property boundary, a 6-inch diameter white oak to the eastern property boundary, and a 6-inch diameter walnut tree to the southeastern property boundary. Refer to the Preliminary Improvement Plans, attached.

On Wednesday, April 7, 2021 City Council adopted the Ordinance amending the land use designation of Professional Office for the Site under Ordinance No. 1098, the AIP-PD Ordinance to Industrial/Automotive Commercial. With this amended land use designation, the proposed use is permitted, subject to the issuance of a Use Permit.

Proposed Use and AIP-PD Consistency

Per the AIP-PD Ordinance, a Use Permit is required for *"uses related to automobile dealerships, such as tire stores, auto parts stores, car-washing facilities, automobile repair business, etc."* within the Industrial/Automotive Commercial Land Use Designation. This would include the proposed cleaning, detailing and repair operation as well as existing inventory storage of up to 200 automobiles for the dealership. While the design guidelines of the AIP-PD identify specific requirements for parking lots, it also notes that the relief from these requirements may be approved through the discretionary review process. Based on the expected design of a parking lot for inventory storage, pedestrian facilities are likely unnecessary or minimal under the proposed project.

The City of Ukiah's review of planning files indicate that the existing office structure currently used by Guillon Incorporated was moved to its present location as part of a Site Development Permit (89-128) and Variance (90-2). A review of the AIP-PD Ordinance, identifies no *"Allowed"* or *"Permitted"* uses associated with this existing use per A(1) or E(1-2), indicating that the use is now non-conforming. The existing office structure would continue to be used by Guillon Incorporated and all business activities related to Fowler Auto Center would occur at the dealership as the Site is a proposed auxiliary use to the dealership. As such, the existing office structure complies with Ukiah City Code Section 9209 *Non-Conforming Uses*.

As proposed, the project shall comply with the performance criteria outlined in the AIP-PD Ordinance, Section 13 (I) *Development Standards* and (J) *Design Guidelines*. Refer to the Preliminary

Improvement Plans, Architectural Drawings, Preliminary Landscape Plan, and Materials and Color Boards, attached.

Under Section 13(L) *Discretionary Review* of the AIP-PD Ordinance, as the proposed project is subject to a Use Permit, the Site Development Permit is not required as all Site development issues and concerns shall be appropriately analyzed within the Use Permit review.

Location

The Site is located west of Highway 101 at the intersection of Commerce Drive and Airport Road, in the City of Ukiah, California. The Project is located within Rancho Yokaya, shown on the 7.5-minute United States Geological Survey Topographic Quadrangle Map, Ukiah, California 2018 (see Location Map on Preliminary Improvement Plans, attached). The street address is 1117 Commerce Drive, Ukiah, California, at Assessor Parcel Number (APN) 180-070-03. The Site is located approximately 1.5 miles southeast of downtown Ukiah. Refer to the Preliminary Improvement Plans, attached.

Purpose and Need

The purpose and need for the proposed project is to have the ability to move automobiles from the main dealership, Fowler Auto Center located southeast of the Site, to a proposed 7,622-sf enclosed concrete masonry structure for minor repairs, cleaning and detailing.

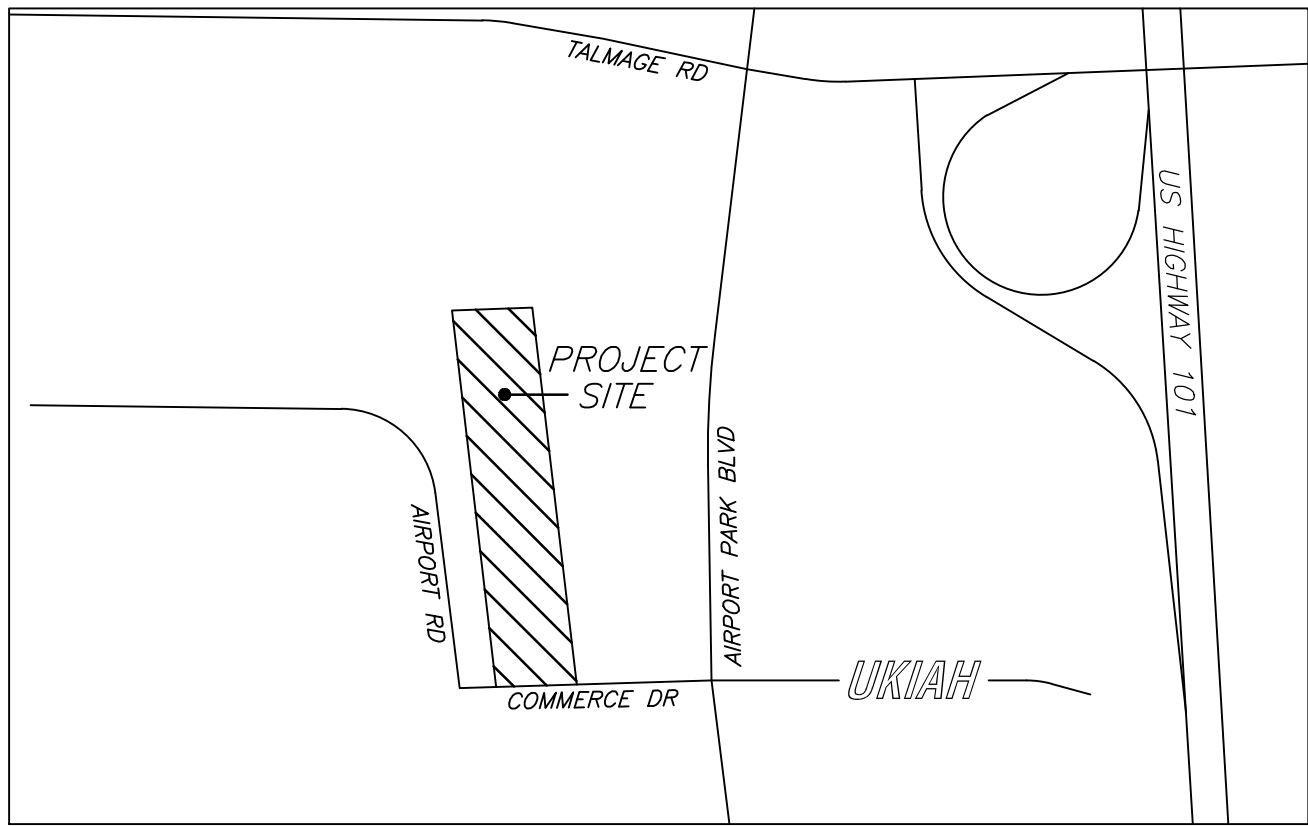
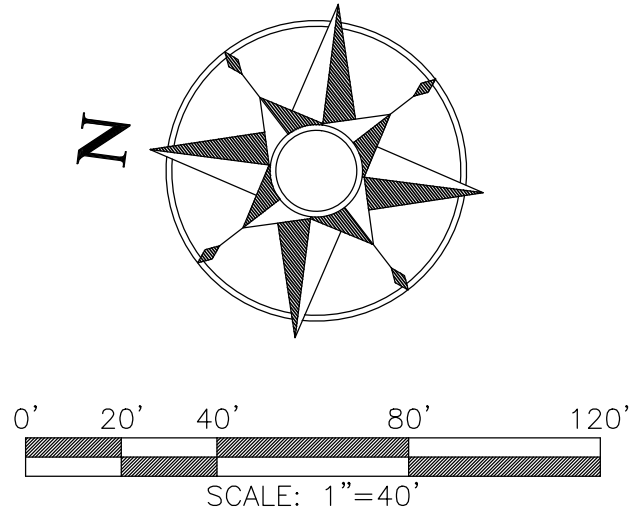
Refer to the Preliminary Improvement Plans and Architectural Drawings attached for details. An Initial Storm Water Low Impact Development (3_LID) plan is attached for reference.

PRELIMINARY IMPROVEMENT PLANS

FOWLER AUTO CENTER

PROPOSED AUXILIARY BUILDING

1117 COMMERCE DRIVE, UKIAH, CA 95482
UKIAH, MENDOCINO COUNTY
CALIFORNIA
APN: 180-070-03



LOCATION MAP NO SCALE

SHEET INDEX

SHEET C1.0 COVER SHEET
SHEET C2.0 SITE PLAN
SHEET C3.0 PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN

PROJECT DATA

PROPERTY OWNER: FOWLER AUTO CENTER
1265 AIRPORT PARK BOULEVARD
UKIAH, CA 95482

SURVEYOR/CIVIL ENGINEER: LACO ASSOCIATES
776 S. STATE ST., SUITE 102A
UKIAH, CA 95482

EXISTING LAND USE: PROFESSIONAL OFFICE
EXISTING ZONING: PD-COMMERCIAL
PROPOSED LAND USE: INDUSTRIAL/AUTOMOTIVE COMMERCIAL
EXISTING ACREAGE: 2.53 ACRES

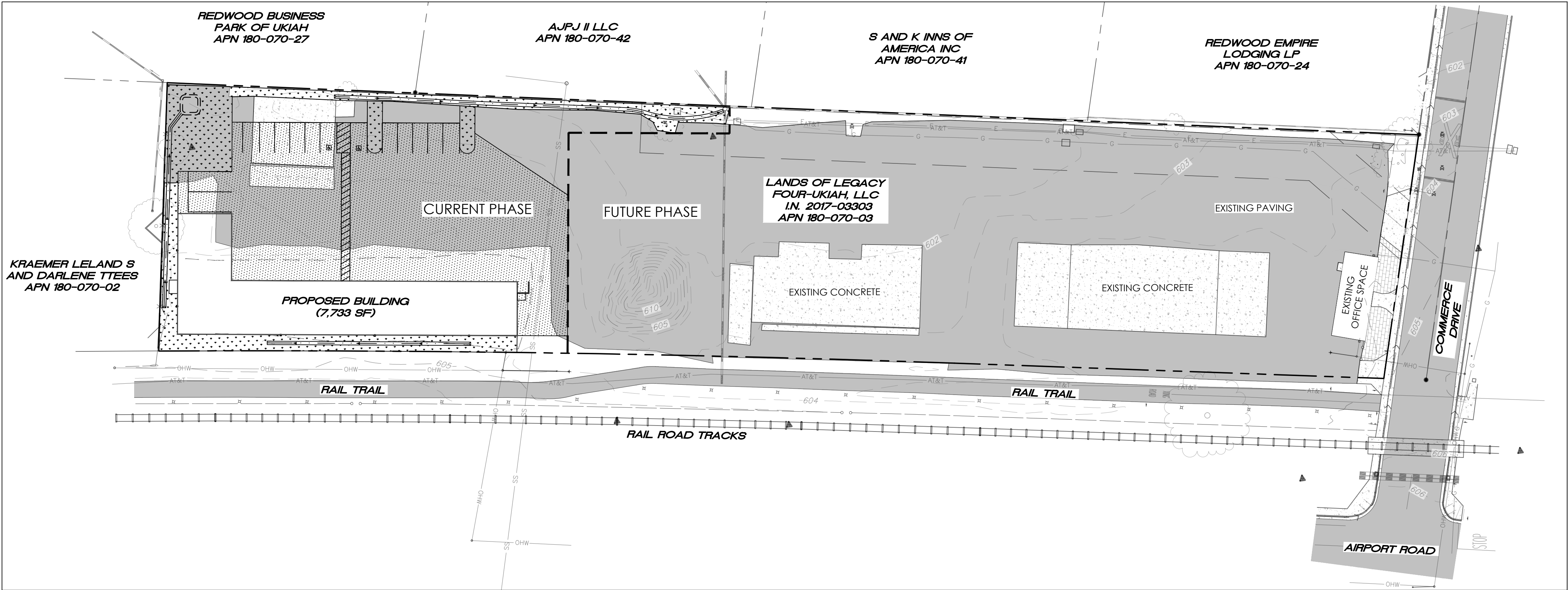
LEGEND/ABBREVIATIONS

EXISTING FEATURES SHOWN 50% SCREENED	
	EXISTING BOUNDARY LINE
	NEW EASEMENT
	FENCE LINE
	EXISTING AC PAVING
	EXISTING CONCRETE
	PROPOSED AC PAVING
	PROPOSED VEGETATED AREAS
	TREE DRIPLINE
	BUILDING LINE
	FLOW LINE
	INVERT
	WATER METER
	SANITARY SEWER MANHOLE
	FLOW LINE
	UTILITY POLE
	SURVEY CONTROL POINT
	IRON PIPE MONUMENT
	ELEVATION
	EXISTING
	BUILDING SETBACK LINE

SURVEY NOTES

BOUNDARY LINES / LOT LINES SHOWN ON THIS MAP DERIVED FROM FOUND MONUMENTS AND RECORD DATA

BENCH MARK:
SURVEY CONTROL POINT #20 MAG NAIL ELEVATION=601.27



SITE MAP SCALE: 1"=40'

PREPARED UNDER THE SUPERVISION OF:

RODNEY L. WILBURN, JR., RCE 69388

DATE

FOWLER AUTO CENTER
AUXILIARY BUILDING
1117 COMMERCE DRIVE, UKIAH, CA 95482

COVER SHEET

DRAWN	GG
CHECK	KD
APPROVED	RLW
DATE	APRIL, 2021
JOB NUMBER	9100.08
DRAWING	

C1.0

LACO

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1-800-515-5054 www.lacoassociates.com

NO.	HISTORY / REVISION	BY	CHK.	DATE

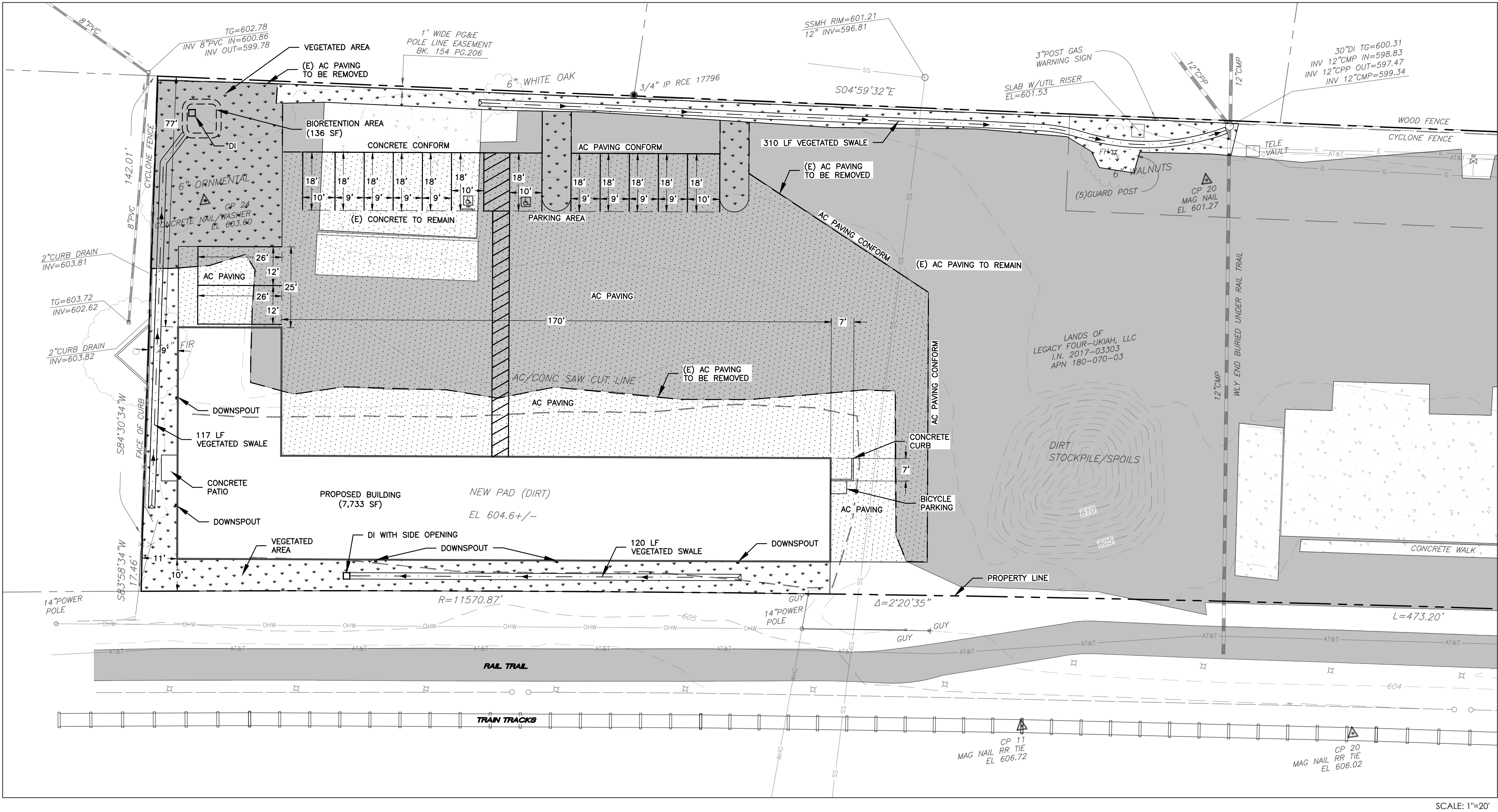
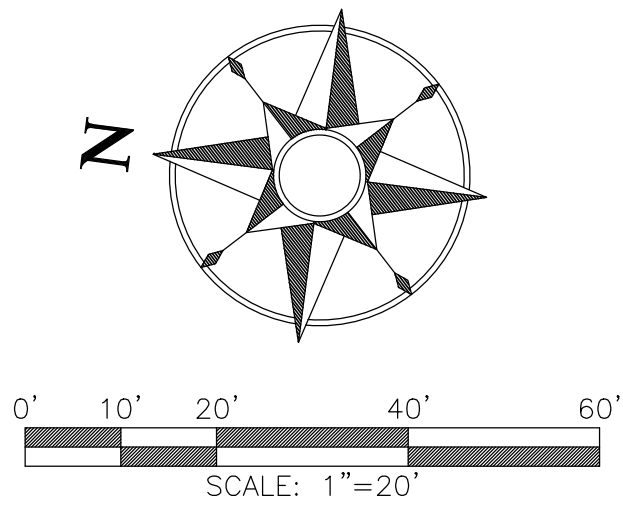
LEGEND/ABBREVIATIONS

EXISTING FEATURES SHOWN 50% SCREENED	
	EXISTING BOUNDARY LINE
	NEW EASEMENT
	FENCE LINE
	PROPOSED AC PAVING
	PROPOSED VEGETATED AREA
	TREE DRIPLINE
	BUILDING LINE
	FLOW LINE

INV	INVERT	EL	ELEVATION
WM	WATER METER	(E)	EXISTING
SSMH	SANITARY SEWER MANHOLE	BSL	BUILDING SETBACK LINE
FL	FLOW LINE	FS	FINISH SLAB
JP	UTILITY POLE	EP	EDGE OF PAVEMENT
SCP	SURVEY CONTROL POINT	PAV	PAVEMENT
IP	IRON PIPE MONUMENT	SF	SQUARE FEET
DI	DRAINAGE INLET	LF	LINEAR FEET
SF	SQUARE FEET		

PARKINGK/STRIPING NOTES

- 1 TWO COATS 4" PAINTED WHITE PARKING LINES
- 2 ALL STRIPING AND MARKINGS SHALL BE THERMOPLASTIC APPLIED PER CALTRANS STANDARDS.
- 3 13 NEW PARKING STALLS (1 ADA PARKING STALL INCLUDED)



NO.	HISTORY / REVISION	BY	CHK.	DATE

FOWLER AUTO CENTER
AUXILIARY BUILDING
1117 COMMERCE DRIVE, UKIAH, CA 95482

SITE PLAN

DRAWN	GG
CHECK	KD
APPROVED	RLW
DATE	APRIL, 2021
JOB NUMBER	9100.08
DRAWING	

EXISTING FEATURES SHOWN 50% SCREENED

 EXISTING BOUNDARY LINE

 NEW EASEMENT

 FENCE LINE

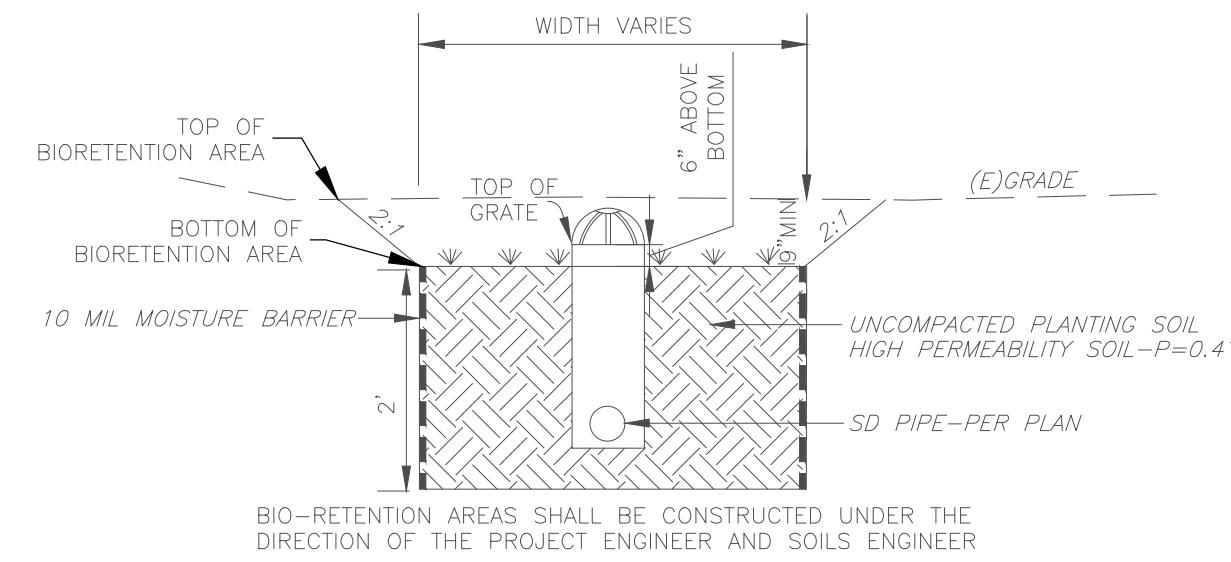
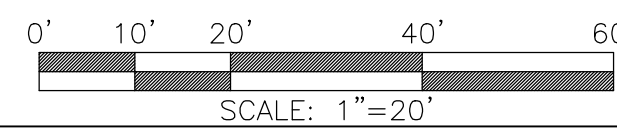
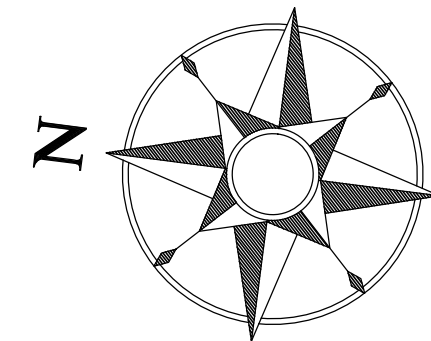
 PROPOSED AC PAVING

 PROPOSED VEGETATED AREA

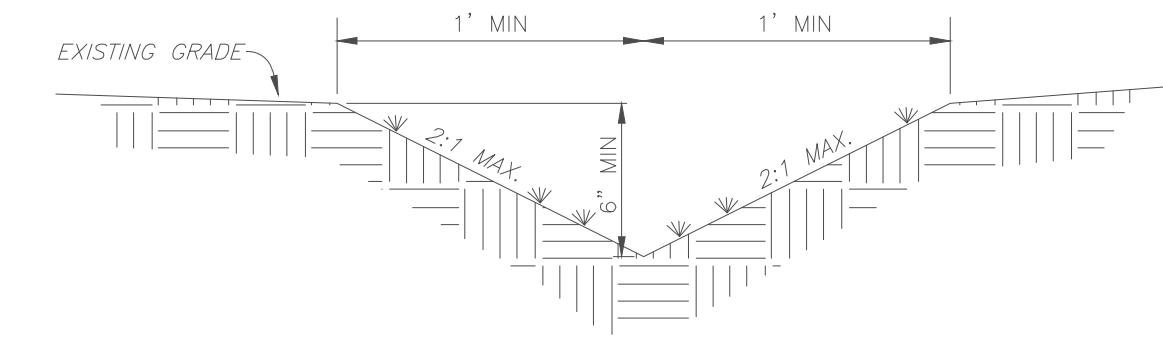
 TREE DRIPLINE

 BUILDING LINE

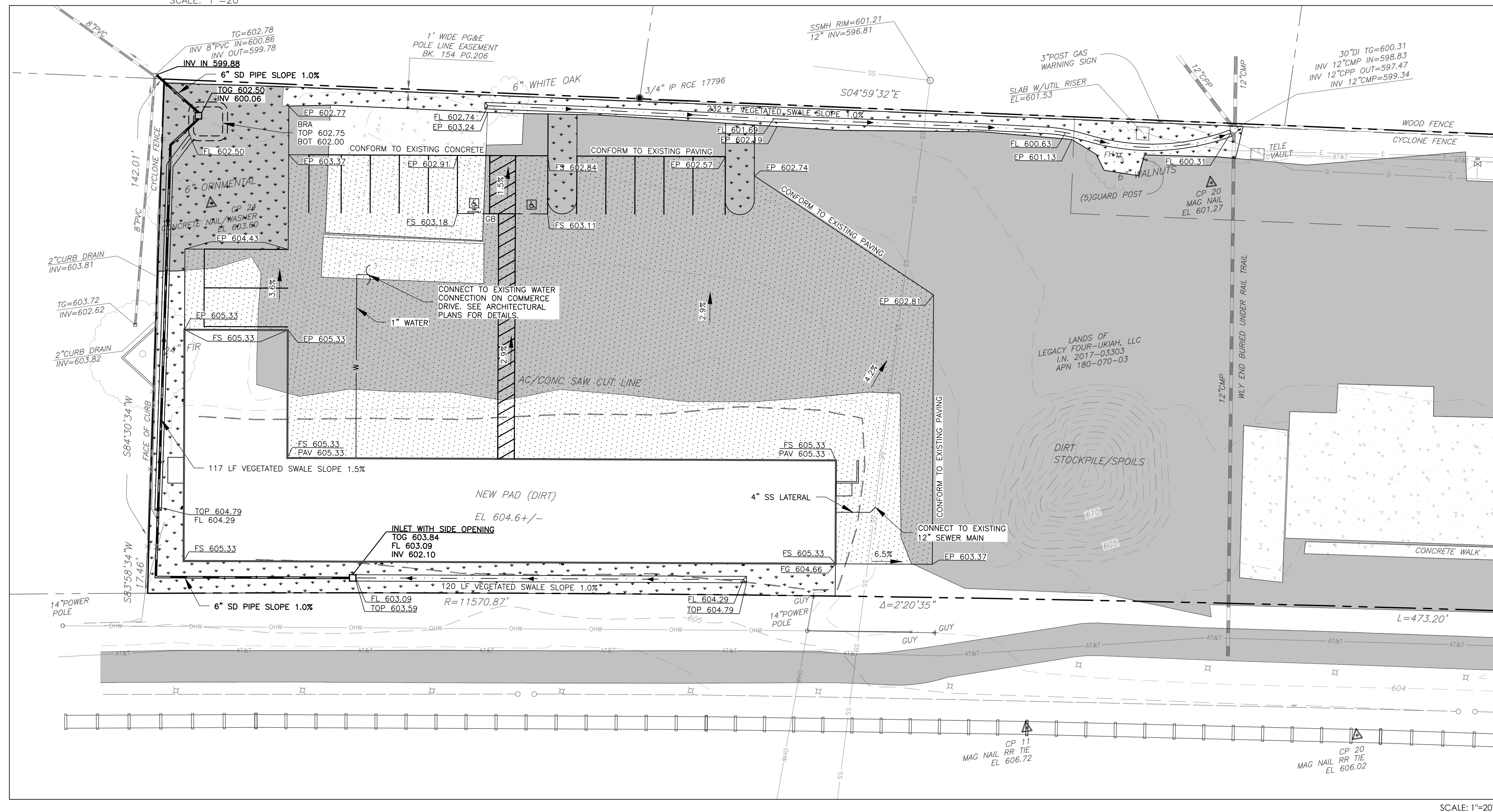
<i>INV</i>	INVERT	<i>BOT</i>	BOTTOM
<i>WM</i>	WATER METER	<i>TOG</i>	TOP OF GRATE
<i>SSMH</i>	SANITARY SEWER MANHOLE	<i>FG</i>	FINISH GRADE
<i>FL</i>	FLOW LINE	<i>SD</i>	STORM DRAIN
<i>JP</i>	UTILITY POLE	<i>SS</i>	SANITARY SEWER
<i>SCP</i>	SURVEY CONTROL POINT	<i>W</i>	WATER
<i>IP</i>	IRON PIPE MONUMENT	<i>LF</i>	LINEAR FEET
<i>EL</i>	ELEVATION	<i>BRA</i>	BIORETENTION AREA
<i>(E)</i>	EXISTING	<i>GB</i>	GRADE BREAK
<i>BSL</i>	BUILDING SETBACK LINE		
<i>FS</i>	FINISH SLAB		
<i>EP</i>	EDGE OF PAVEMENT		
<i>PAV</i>	PAVEMENT		



BIO-RETENTION AREA
TYPICAL SECTION *NO SCALE*



VEGETATED SWALE
NO SCALE



SCALE: 1"=20'

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[illegible]

FOWLER AUTO CENTER
AUXILIARY BUILDING
1117 COMMERCE DRIVE, UKIAH, CA 95482

PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN

DRAWN	GC
CHECK	KD
APPROVED	RLW
DATE	APRIL, 20
JOB NUMBER	9100.08
DRAWING	

C3.0

ABBREVIATIONS		PROJECT DIRECTORY	
@	At	ID	Inside Diameter Dim.)
#	Centerline	Insul.	Insulation
#	Pound or Number	Int.	Interior
AC	Acoustical	Jan.	Janitor
AD	Area Drain	Jt.	Joint
ADJ	Adjustable	Kit.	Kitchen
Alum.	Aluminum	Lam.	Laminate
APPRO	Approximate	Lav.	Lavatory
X	Architectural	Lt.	Light
Arch.	Asbestos	M	Men
Asb.	Asphalt	Max.	Maximum
Asphlt	Board	Mech.	Mechanical
BRD	Bituminous	Membr.	Membrane
Bldum.	Building	Met.	Metal
Blkg	Block	MFR.	Manufacturer
Blk.	Blocking	MH	Manhole
Blkg.	Beam	Min.	Minimum
Bn.	Bottom	Mir.	Mirror
Bot.	Cabinets	Misc.	Miscellaneous
CB	Catch Basin	MO	Masonry Opening
Cab.	Cement	Mtd.	Mounted
Cem.	Ceramic	Mul.	Mullion
Cor.	Corner Guard	N/C	Not in Contract
CG	Ceiling	No. or #	Number
Cig.	Caulking	Nom.	Nominal
Clkg.	Closet	NTS	Not to scale
Cl	Clear	OA	Overall
Cr.	Cased Opening	Obs.	Obscure
C.O.	Column	OC	On Center
Col.	Concrete	OD	Outside Diameter Dim.)
Conn.	Connection	Open.	Opening
Conc.	Construction	OPP.	Opposite
Const.	Continuous	Prep.	Preparation
Cont.	Corridor	P. Lam.	Plastic Laminate
Cor.	Countersink	Plst.	Plaster
Ctsk	Counter	Plywd	Plywood
Cntlr.	Center	Pr.	Pair
Contr.	Double	Pl.	Point
DBL	Department	PTD	Paper Towel Dispenser
Dept.	Drinking Fountain	Part.	Partition
D.F.	Detail	QT	Quarry Tile
Dit.	Diameter	R	Riser
Dia.	Dimension	Rad.	Radius
Dim.	Dispenser	RD	Roof Drain
Disp.	Down	Ref.	Reference
Dr.	Door	Refr.	Refrigerator
Dr.	Down spout	Rgr.	Register
DS	Drawing	Reinlf.	Reinforced
Dwg.	Each	Req.	Required
Elev.	Expansion Joint	Resil.	Resilient
Ext.	Elevation	Rm.	Room
EL	Electrical	RO	Rough Opening
Elec.	Elevator	RWL	Rain Water Leader
Emer.	Emergency	SC	Solid Core
Encl.	Enclosure	SCD	Seat Cover Dispenser
Encl.	Electrical Panel board	Sched.	Schedule
EP	Equal	SD	Soap Dispenser
Eq.	Equipment	Sec.	Section
Equip.	Electric Water Cooler	Sh	Sheet
EWC	Existing	Sim	Similar
EJ	Exposed	SMD	See Mechanical Drawings
Exp.	Expansion	SND	Sanitary Napkin Disposal
Expan.	Exterior	Spec.	Specification
Ext.	Fire Alarm	SSD	See Structural Drawings
FA	Floor Drain	SSI	Stainless Steel
FD	Foundation	Sta	Station
FDN	Fire Extinguisher	Std	Standard
FE	Fire Extinguisher Cab.	Stl.	Steel
FEC	Fire Hose Cabinet	Str.	Storage
FFC	Finish	Struct.	Structural
Fi.	Floor	Susp.	Suspended
Fin.	Flashing	Sym.	Symmetrical
Flash.	Fluorescent	T	Tread
Fluor.	Face of	Tel.	Telephone
F.O.	Face of Concrete	T&G	Tongue and Groove
FOC	Face of Finish	Thk	Thick
FOF	Face of Studs	TOC	Top of Concrete
FOS	Fireproof	TOP	Top of Pavement
FFRF	Full Size	TOW	Top of Wall
FFS	Foot or Feet	TTD	Toilet Tissue Dispenser
Fl	Footing	TV	Television
FTG	Furring	Typ.	Typical
Fur.	Future	Unf.	Unfinished
Fut.	Grab Bar	UCN	Unless Otherwise Noted
G.B.	Glass	Vert.	Vertical
Gl.	Gypsum Board	Vest.	Vestibule
Gyp.	Hose Bib	W	Women
HB	Hollow Core	With	With
HC	Hardwood	WC	Water Closet
HDWD	Hardware	WD	Wood
HDOWE	Horizontal	W/O	Without
Honz.	Hour	WP	Waterproof
Hr.	Height	Wainsc.	Wainscot
Hgt.		WT.	Weight

APPLICABLE CODES	SYMBOL KEY	
2019 CALIFORNIA BUILDING CODE		DETAIL
2019 CALIFORNIA MECHANICAL CODE		EXTERIOR ELEVATION
2019 CALIFORNIA ELECTRICAL CODE		SECTION / DETAIL
2019 CALIFORNIA PLUMBING CODE		DOOR NUMBER
2019 CALIFORNIA FIRE CODE		WINDOW TYPE
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE	ROOM NAME 	ROOM NAME NUMBER
2019 CALIFORNIA ENERGY CODE		INTERIOR ELEVATION
		ELEVATION POINT/DATUM
		REVISION #
		PARTITION TYPE

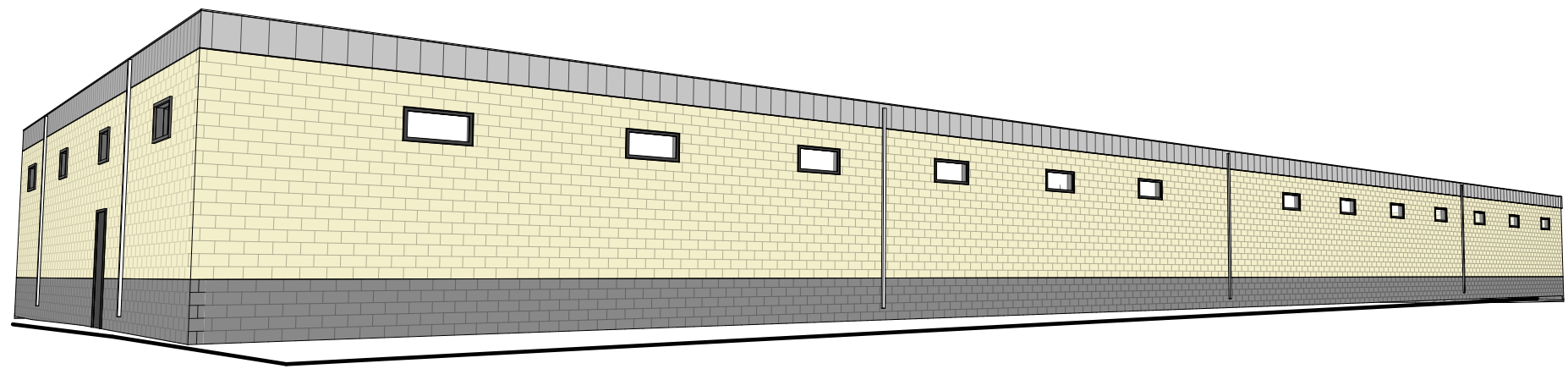
FOWLER AUTO CENTER AUXILIARY BUILDING

1117 COMMERCE DR, UKIAH, CA 95482

APN: 1800700300



SOUTH EAST VIEW



NORTH WEST VIEW

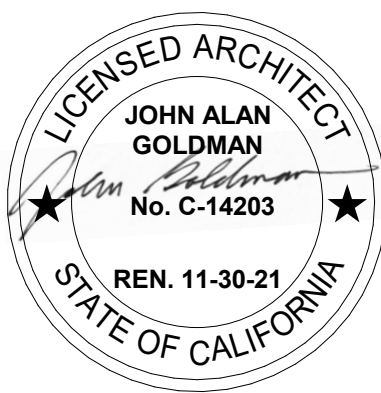
PROJECT INFORMATION	
<u>PROJECT DESCRIPTION</u> :	NEW BUILDING OF 11 AUTO BAYS PLUS PHOTO ROOM AND STORAGE, EQUIPMENT ROOM AND OIL STORAGE PLUS AN OFFICE UTILITY AND TOOLS ROOM. BUILDING USED TO PREPARE USED CARS FOR RESALE.
<u>PROJECT ADDRESS</u> :	1117 COMMERCE DRIVE UKIAH, CALIFORNIA 95482
<u>A.P.N.</u> :	180-070-03-00
<u>LOT SIZE</u> :	1110,20 SQ.FT (2.53 ACRES)
<u>OCCUPANCY TYPE</u> :	S-1 & B (ONLY TH OFFICE IS B)
<u>NEW BUILDING</u> :	7,731 SQ.FT (GROSS)
<u>CONSTRUCTION TYPE</u> :	TYPE III-B. NON-SPRINKLERED
<u>CURRENT & PROPOSED ZONING</u> :	PD COMMERCIAL
<u>CURRENT LAND USE</u> :	PROFESSIONAL OFFICE
<u>PROPOSED LAND USE</u> :	INDUSTRIAL/AUTOMOTIVE COMMERCIAL
<u>BUILDING HEIGHT</u> :	18" - 4" HEIGHT
<u>NUMBER OF STORIES:</u>	ONE STORY BUILDING

DRAWING LIST	
Sheet Number	Sheet Name
A0.0	COVER SHEET
A0.1	VIEWS
A0.2	TITLE 24 A
A0.3	TITLE 24 B
A0.4	TITLE 24 C
A2.1	PROPOSED FLOOR PLAN
A2.2	PROPOSED ROOF PLAN
A2.3	PROPOSED REFLECTED CEILING PLAN
A3.1	PROPOSED ELEVATIONS
A4.1	PROPOSED BUILDING SECTIONS
A5.0	RESTROOM INTERIORS AND ENLARGED PLAN
A5.1	DETAILS
A5.2	EXTERIOR DETAILS
A6.0	DOOR AND WINDOW SCHEDULES
1	TOPOGRAPHIC MAP BY LACO
C1.0	CIVIL COVER SHEET
C2.0	CIVIL SITE PLAN
C3.0	CIVIL PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
S1.0	GENERAL STRUCTURAL NOTES STANDARD DETAILS
S2.0	FOUNDATION PLAN & DETAILS
S2.1	ROOF FRAMING PLAN & DETAILS
S3.0	WALL ELEVATION

#	Revision Date
1	



172 RUSS STREET
SAN FRANCISCO
CALIFORNIA 94103
415-391-1339
415-621-3393 f



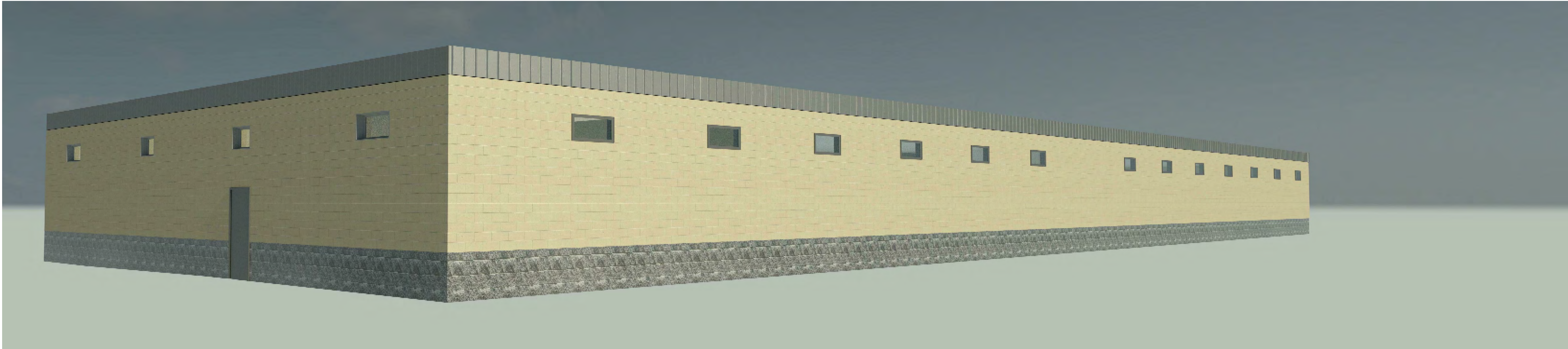
FOWLER AUTO CENTER
AUXILIARY BUILDING
1117 COMMERCE DRIVE,
UKIAH, CALIFORNIA

COVER SHEET

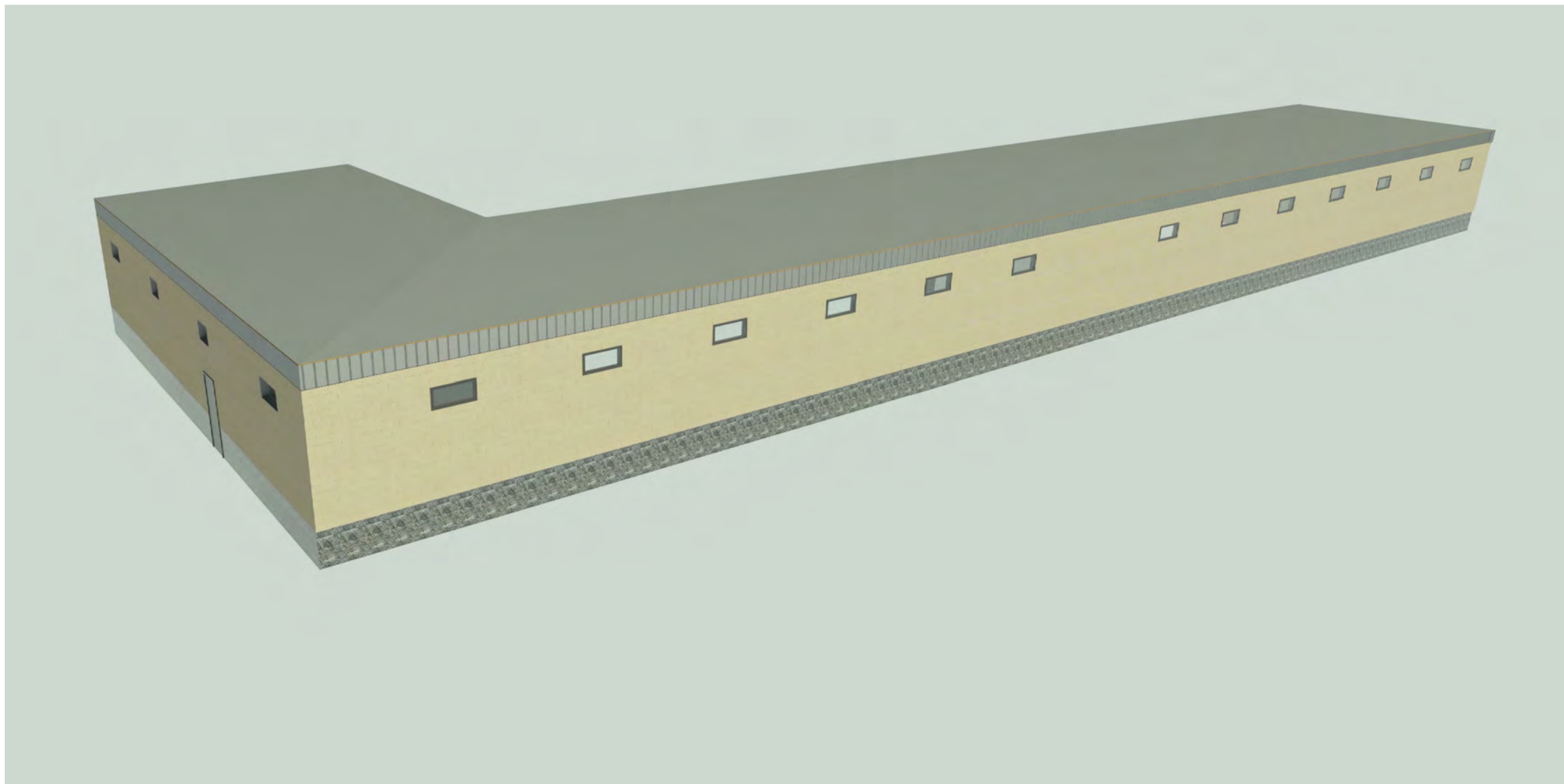
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DRAWN:	LG
JOB:	2002
SHEET:	
A0.0	
OF	SHEETS



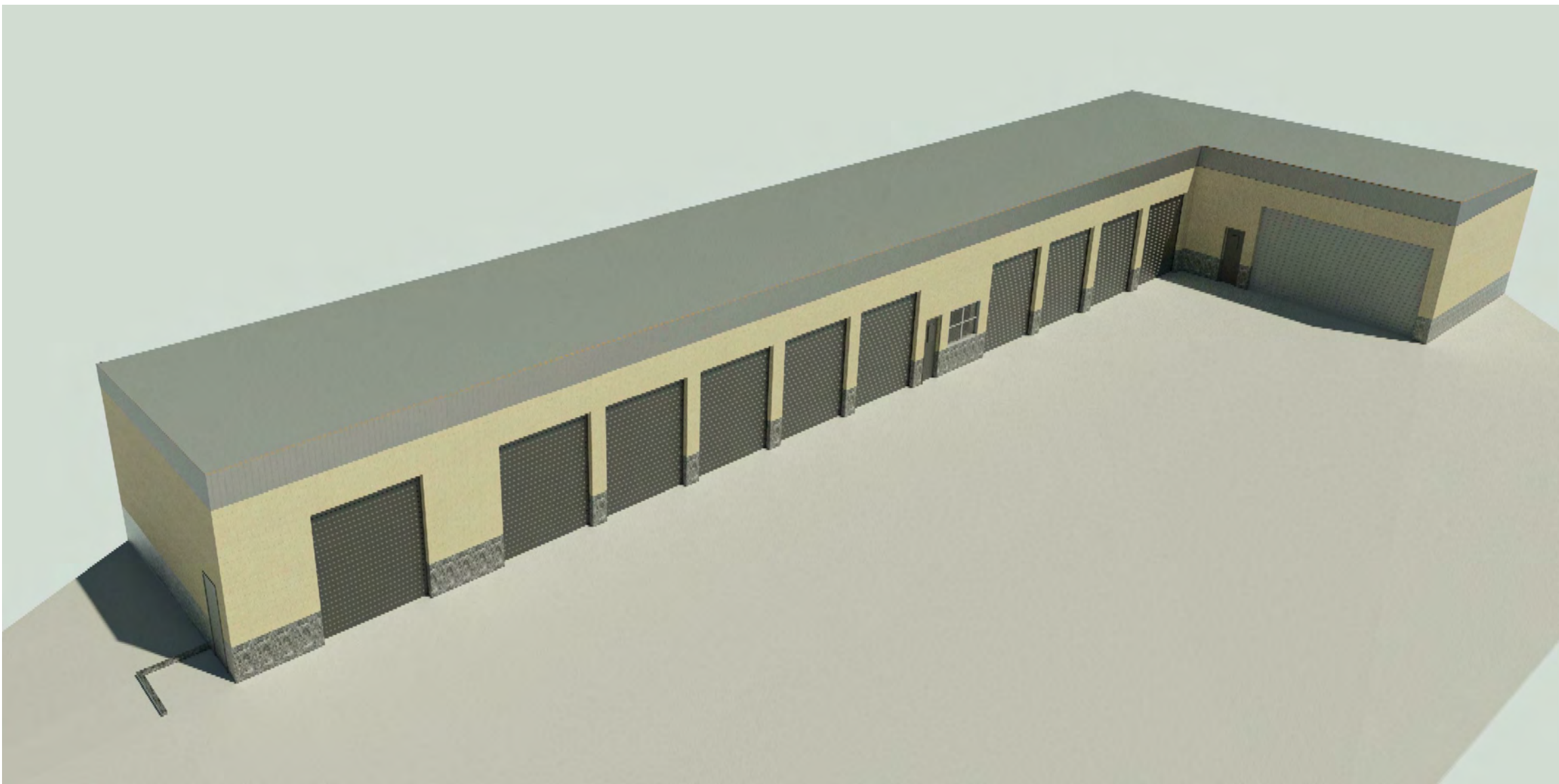
SOUTH EAST CORNER VIEW



NORTH EAST CORNER VIEW



ARIAL VIEWS



ARIAL VIEWS

#	Revision Date

GOLD
MAN

ARCHITECTS

172 RUSS STREET
SAN FRANCISCO
CALIFORNIA 94103
415-391-1339
415-621-3393 f

LICENSED ARCHITECT

JOHN ALAN
GOLDMAN
No. C-14203

REN. 11-30-21
STATE OF CALIFORNIA

FOWLER AUTO CENTER
AUXILIARY BUILDING
1117 COMMERCE DRIVE,
UKIAH, CALIFORNIA

VIEWS

DATE:	4/6/2021
SCALE:	
DRAWN:	LG
JOB:	2002
SHEET:	
A0.1	
OF	SHEETS

Project Name:	FOWLER AUXILARY BUILDING OFFICE	NRCC-PRF-01-E	Page 7 of 13
Project Address:	1117 COMMERCE DRIVE UKIAH 95482	Calculation Date/Time:	09:26, Tue, Dec 08, 2020
Input File Name:	2055 GOLDMAN.cibd19x		

H5. SYSTEM SPECIAL FEATURES					
1	2	3	4	5	6
System Name	Optimum Start	Window Interlocks per §140.4(n)	Evaporative Cooling	Heat Recovery	Other Controls

Notes: This table includes controls related to the performance path only. For projects using the prescriptive path, mandatory and prescriptive controls requirements are documented on the NRCC-MCH-E.

H6. MECHANICAL VENTILATION								
1	2	3	4	5	6	7	8	9
Zone Name	Mechanical Ventilation							DCV or Occupant Sensor Controls, or Both
	Ventilation Function	# hotel rooms	# of people	# of bedrooms	Supply OA CFM	Exhaust CFM	Conditioned Area (sf)	
1-Office Zone	Office - Office space	0	1.74	0	52	60	348	NA

Multifamily or Hotel/Motel Occupancy? (If "Yes", see DOMESTIC/SERVICE HOT WATER SYSTEM SUMMARY)	No
Does the Project include Zonal Systems?	Yes

H7. ZONAL SYSTEM AND TERMINAL UNIT SUMMARY											
1	2	3	4	5	6	7	8	9	10	11	12
System ID	Zone Name	System Type	Rated Capacity (kBtu/h)		Airflow (cfm)			Fan			
			Heating	Cooling	Design	Min.	Min. Ratio	BHP	Watts	Cycles	ECM Motor
Office Mech System	1-Office Zone	MiniSplitHP	12.00	12.00	200	NA	NA	0.100	87.2	☐	☐

H8. EVAPORATIVE COOLER SUMMARY
This Section Does Not Apply

I. DOMESTIC/SERVICE HOT WATER SYSTEM SUMMARY
--

II. DHW EQUIPMENT SUMMARY
This Section Does Not Apply

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-10092020-6384 Report Generated at: 2020-12-08 09:26:44

Project Name:	FOWLER AUXILARY BUILDING OFFICE	NRCC-PRF-01-E	Page 10 of 13
Project Address:	1117 COMMERCE DRIVE UKIAH 95482	Calculation Date/Time:	09:26, Tue, Dec 08, 2020
Input File Name:	2055 GOLDMAN.cibd19x		

M. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE					
Table Instructions: Selections shall be made by Documentation Author to indicate which Certificates of Acceptance must be submitted for the features to be recognized for compliance. These documents must be provided to the building inspector during construction and must be completed through an Acceptance Test Technician Certification Provider (ATTCP). For more information visit: https://www.energy.ca.gov/title24/2019standards/2019_compliance_documents/Nonresidential_Documents/NRCA/					
Building Component	YES	NO	Form/Title	Field Inspector	
				Pass	Fail
Envelope	☒	☐	NRCA-ENV-02-F - NRFC label verification for fenestration	☐	☐
	☐	☐	NRCA-ENV-03-F - Daylighting Design PAFs	☐	☐
Indoor Lighting	☐	☒	NRCA-LTI-02-A - Occupancy Sensors and Automatic Time Switch Controls	☐	☐
	☐	☒	NRCA-LTI-03-A - Automatic Daylight Controls	☐	☐
	☐	☒	NRCA-LTI-04-A - Demand Responsive Lighting Controls	☐	☐
	☐	☒	NRCA-LTI-05-A - Institutional Tuning Power Adjustment Factor (PAF)	☐	☐
Covered Process	☐	☒	NRCA-PRC-02-F - Kitchen Exhaust	☐	☐
	☐	☒	NRCA-PRC-03-F - Garage Exhaust	☐	☐
	☐	☒	NRCA-PRC-12-F - Elevator Lighting and Ventilation Controls	☐	☐
	☐	☒	NRCA-PRC-13-F - Escalator and Moving Walkways Speed Control	☐	☐
	☐	☒	NRCA-PRC-14-F - Lab Exhaust Ventilation System	☐	☐
	☐	☒	NRCA-PRC-15-F - Fume Hood Automatic Sash Closures System	☐	☐

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-10092020-6384 Report Generated at: 2020-12-08 09:26:44

Project Name:	FOWLER AUXILARY BUILDING OFFICE	NRCC-PRF-01-E	Page 8 of 13
Project Address:	1117 COMMERCE DRIVE UKIAH 95482	Calculation Date/Time:	09:26, Tue, Dec 08, 2020
Input File Name:	2055 GOLDMAN.cibd19x		

I2. MULTI-FAMILY CENTRAL DHW SYSTEM DETAILS
This Section Does Not Apply

I3. SOLAR HOT WATER HEATING SUMMARY
This Section Does Not Apply

J. COVERED PROCESS SUMMARY
This Section Does Not Apply

K. INDOOR LIGHTING SUMMARY
This Section Does Not Apply

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-10092020-6384 Report Generated at: 2020-12-08 09:26:44

Project Name:	FOWLER AUXILARY BUILDING OFFICE	NRCC-PRF-01-E	Page 11 of 13
Project Address:	1117 COMMERCE DRIVE UKIAH 95482	Calculation Date/Time:	09:26, Tue, Dec 08, 2020
Input File Name:	2055 GOLDMAN.cibd19x		

N. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE					
Table Instructions: Selections shall be made by Documentation Author to indicate which Certificates of Acceptance must be submitted for the features to be recognized for compliance. These documents must be provided to the building inspector during construction and must be completed through an Acceptance Test Technician Certification Provider (ATTCP). For more information visit: https://www.energy.ca.gov/title24/2019standards/2019_compliance_documents/Nonresidential_Documents/NRCA/					
Building Component	YES	NO	Form/Title	Field Inspector	
				Pass	Fail
Mechanical	☒	☐	NRCA-MCH-02-A Outdoor Air must be submitted for all newly installed HVAC units. Note: MCH02-A can be performed in conjunction with MCH-07-A Supply Fan VFD Acceptance (if applicable) since testing activities overlap	☐	☐
	☒	☐	NRCA-MCH-03-A Constant Volume Single Zone HVAC	☐	☐
	☐	☒	NRCA-MCH-04(a)-H Air Distribution Duct Leakage - HERS Verification required	☐	☐
	☐	☐	NRCA-MCH-04(b)-A Air Distribution Duct Leakage - ATT only	☐	☐
	☐	☒	NRCA-MCH-05-A Air Economizer Controls	☐	☐
	☐	☒	NRCA-MCH-06-A Demand Control Ventilation Systems Acceptance must be submitted for all systems required to employ demand controlled ventilation (refer to §120.1(c)(3) can vary outside ventilation flow rates based on maintaining interior carbon dioxide (CO2) concentration setpoints	☐	☐
	☐	☒	NRCA-MCH-07-A Supply Fan Variable Flow Controls	☐	☐
	☐	☒	NRCA-MCH-08-A Valve Leakage Test	☐	☐
	☐	☒	NRCA-MCH-09-A Supply Water Temperature Reset Controls	☐	☐
	☐	☒	NRCA-MCH-10-A Hydronic System Variable Flow Controls	☐	☐
	☐	☒	NRCA-MCH-11-A Automatic Demand Shed Controls	☐	☐
	☐	☒	NRCA-MCH-12-A FDD for Packaged Direct Expansion Units	☐	☐
	☐	☒	NRCA-MCH-13-A Automatic FDD for Air Handling Units and Zone Terminal Units Acceptance	☐	☐
	☐	☒	NRCA-MCH-14-A Distributed Energy Storage DX AC Systems Acceptance	☐	☐
	☐	☒	NRCA-MCH-15-A Thermal Energy Storage (TES) System Acceptance	☐	☐
	☐	☒	NRCA-MCH-16-A Supply Air Temperature Reset Controls	☐	☐
	☐	☒	NRCA-MCH-17-A Condenser Water Temperature Reset Controls	☐	☐
	☐	☒	NRCA-MCH-18 Energy Management Control Systems	☐	☐
	☐	☒	NRCA-MCH-19 Occupancy Sensor Controls	☐	☐

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-10092020-6384 Report Generated at: 2020-12-08 09:26:44

Project Name:	FOWLER AUXILARY BUILDING OFFICE	NRCC-PRF-01-E	Page 9 of 13
Project Address:	1117 COMMERCE DRIVE UKIAH 95482	Calculation Date/Time:	09:26, Tue, Dec 08, 2020
Input File Name:	2055 GOLDMAN.cibd19x		

L. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION					
Table Instructions: Selections shall be made by Documentation Author to indicate which Certificates of Installation must be submitted for the features to be recognized for compliance. These documents must be retained and provided to the building inspector during construction and can be found online at: https://www.energy.ca.gov/title24/2019standards/2019_compliance_documents/Nonresidential_Documents/NRCI/					
Building Component	YES	NO	Form/Title	Field Inspector	
				Pass	Fail
Envelope	☒	☐	NRCI-ENV-01-E - Must be submitted for all buildings	☐	☐
Mechanical	☒	☐	NRCI-MCH-01-E - Must be submitted for all buildings	☐	☐
Plumbing	☐	☒	NRCI-PLB-01-E - Must be submitted for all buildings	☐	☐
	☐	☒	NRCI-PLB-02-E - Must be submitted for high-rise residential and hotel/ motel central hot water distribution systems to be recognized for compliance	☐	☐
	☐	☒	NRCI-PLB-03-E - Must be submitted for high-rise residential and hotel/motel single dwelling unit hot water system distribution systems to be recognized for compliance	☐	☐
	☐	☒	NRCI-PLB-21-E - Must be HERS verified for central systems in high-rise residential hotel/ motel application	☐	☐
	☐	☒	NRCI-PLB-22-E - Must be HERS verified for single dwelling unit systems in high-rise residential, hotel/motel application	☐	☐
	☐	☒	NRCI-STH-01-E - Must be submitted for solar hot water heating systems	☐	☐
Indoor Lighting	☐	☒	NRCI-LTI-01-E - Must be submitted for all buildings	☐	☐
	☐	☒	NRCI-LTI-02-E - Must be submitted for a lighting control system, or for an Energy Management Control System (EMCS) to be recognized for compliance	☐	☐
	☐	☒	NRCI-LTI-04-E - Must be submitted for two interlocked systems serving an auditorium, a convention center, a conference room, a multipurpose room, or a theater to be recognized for compliance	☐	☐
	☐	☒	NRCI-LTI-05-E - Must be submitted for a Power Adjustment Factor (PAF) to be recognized for compliance	☐	☐
	☐	☒	NRCI-LTI-06-E - Must be submitted for additional wattage installed in a video conferencing studio to be recognized for compliance	☐	☐
Covered Process	☐	☒	NRCI-PRC-01-E - Must be submitted for all Covered Processes	☐	☐

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-10092020-6384 Report Generated at: 2020-12-08 09:26:44

Project Name:	FOWLER AUXILARY BUILDING OFFICE	NRCC-PRF-01-E	Page 12 of 13
Project Address:	1117 COMMERCE DRIVE UKIAH 95482	Calculation Date/Time:	09:26, Tue, Dec 08, 2020
Input File Name:	2055 GOLDMAN.cibd19x		

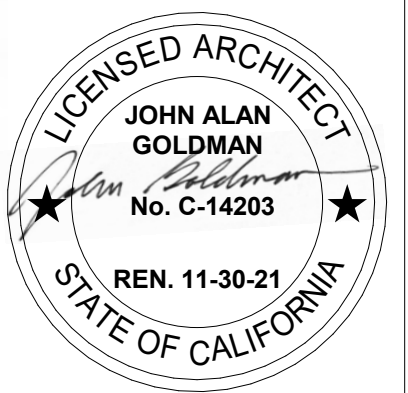
N. DECLARATION OF REQUIRED CERTIFICATES OF VERIFICATION					
Table Instructions: Selections shall be made by Documentation Author to indicate which Certificates of Verification must be submitted for the features to be recognized for compliance. These documents must be retained and provided to the building inspector during construction and can be found online at: https://www.energy.ca.gov/title24/2019standards/2019_compliance_documents/Nonresidential_Documents/NRCV/					
Building Component	YES	NO	Form/Title	Field Inspector	
				Pass	Fail
Mechanical	☐	☒	NRCV-MCH-04-H Duct Leakage Test	☐	☐
	☐	☒	NRCV-MCH-24-H Enclosure Air Leakage	☐	☐
	☐	☒	NRCV-MCH-27 Indoor Air Quality & Mechanical Ventilation	☐	☐
Plumbing	☐	☒	NRCV-MCH-32-H Local Mechanical Exhaust	☐	☐
	☐	☒	NRCV-PLB-21-H - HERS verified central systems in high-rise residential, hotel/motel application	☐	☐
	☐	☒	NRCV-PLB-22-H - HERS verified single dwelling unit systems in high-rise residential, hotel/motel application	☐	☐

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-10092020-6384 Report Generated at: 2020-12-08 09:26:44

#	Revision Date



172 RUSS STREET
SAN FRANCISCO
CALIFORNIA 94103
415-391-1339
415-621-3393 f

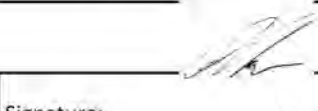


FOWLER AUTO CENTER
AUXILIARY BUILDING
1117 COMMERCE DRIVE,
UKIAH, CALIFORNIA

TITLE 24 B

DATE:	4/6/2021
SCALE:	
DRAWN:	Author
JOB:	2002
SHEET:	
A0.3 OF SHEETS	

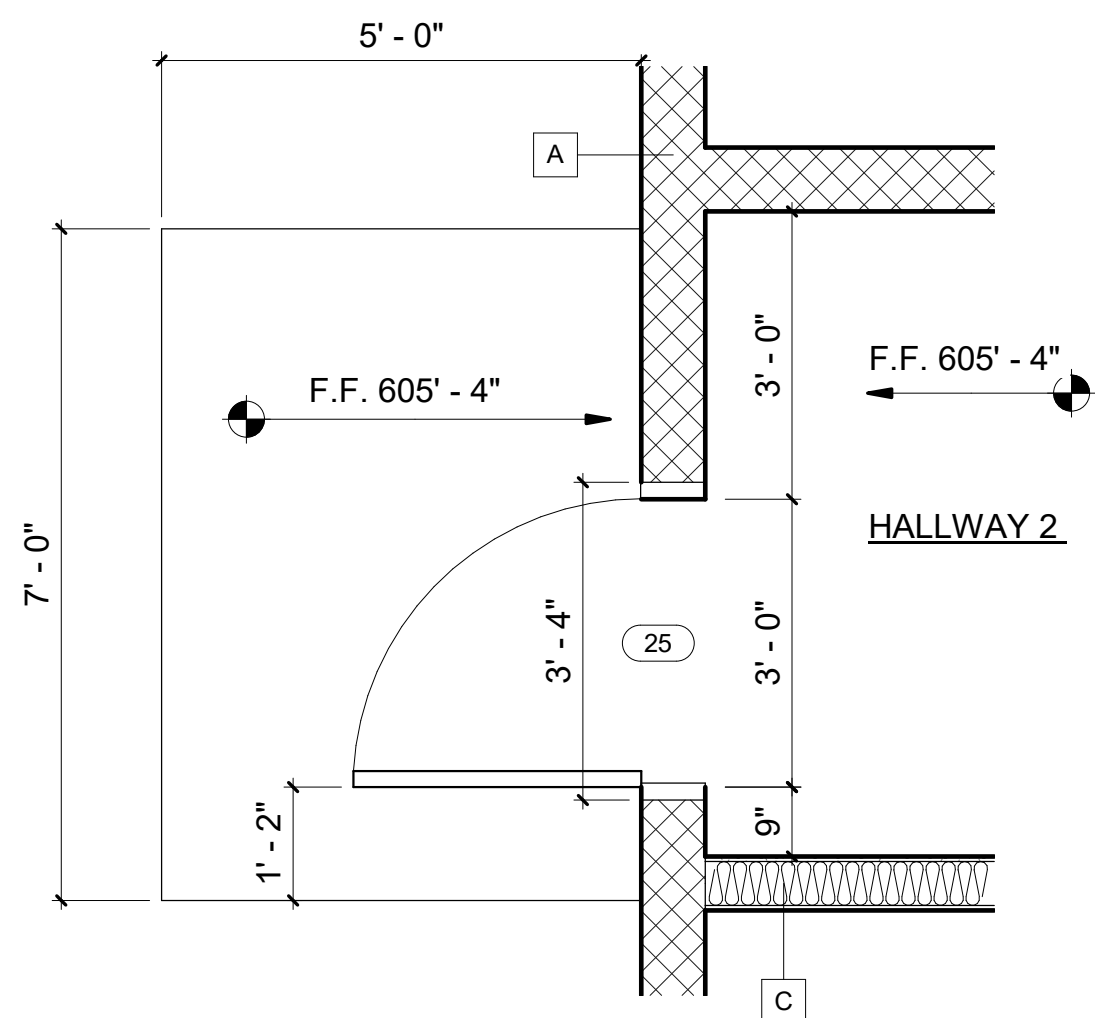
Project Name:	FOWLER AUXILIARY BUILDING OFFICE	NRCC-PRF-01-E	Page 13 of 13
Project Address:	1117 COMMERCE DRIVE UKIAH 95482	Calculation Date/Time:	09:26, Tue, Dec 08, 2020
Input File Name:	2055 GOLDMAN.cibd19x		

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT <i>I certify that this Certificate of Compliance documentation is accurate and complete.</i>	
Documentation Author Name: DAVID A. McCLAIN	Signature:  Digitally signed by David A. McClain DN: cn=David A. McClain, o.ou, email=daiddmccclain2@gmail.com, c=US Date: 2020.12.08 09:26:46 -0800
Company: Title 24 Data Corp.	Signature Date: 2020-12-08
Address: 633 MONTEREY TRAIL & POB 2199	CEA/ HERS Certification Identification (if applicable): CEA NR16-16-20033/R16-14-20096
City/State/Zip: FRAZIER PARK CALIFORNIA 93225-2199	
Phone: 800-237-8824	

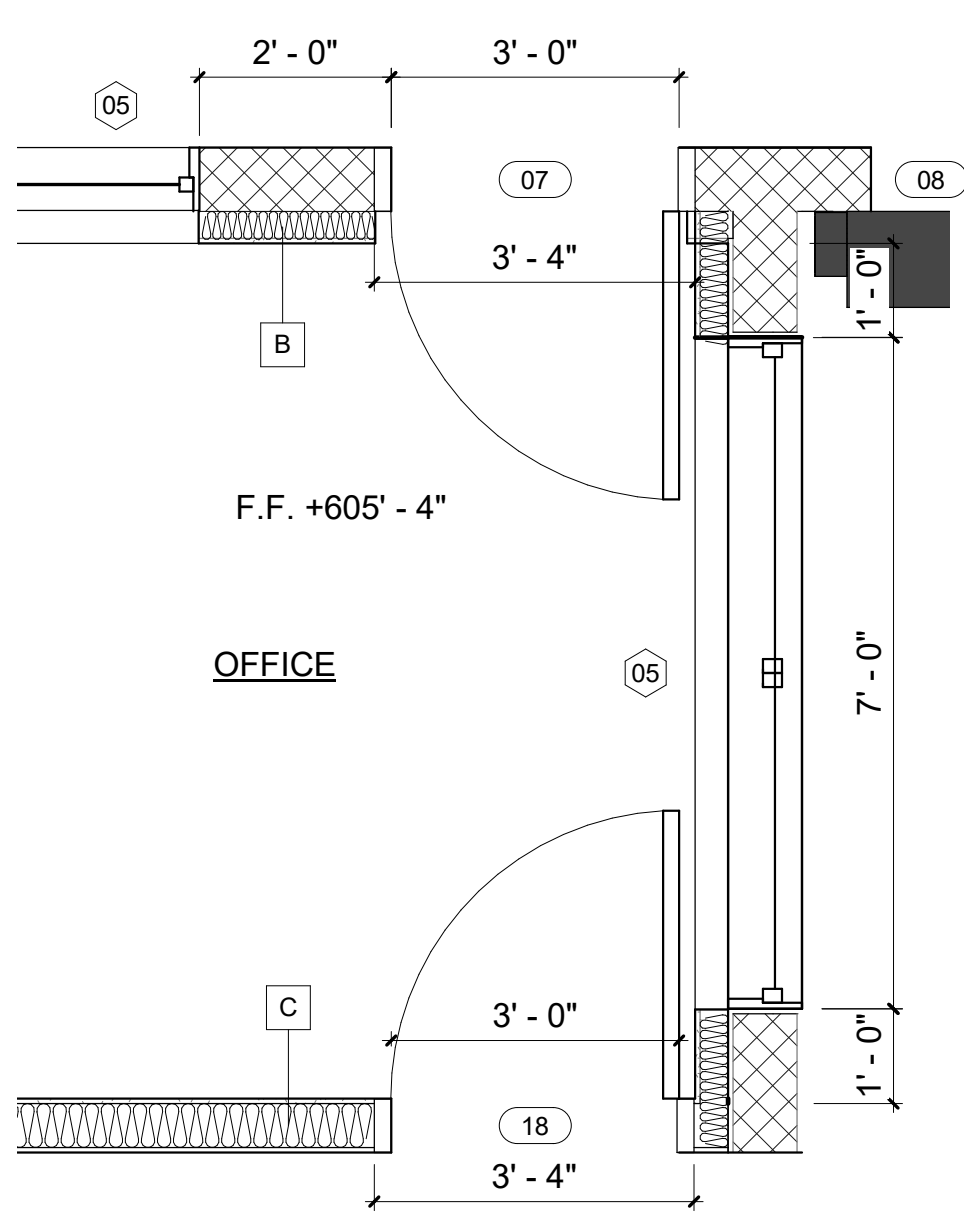
RESPONSIBLE PERSON'S DECLARATION STATEMENT <i>I certify the following under penalty of perjury, under the laws of the State of California:</i> 1. The information provided on this Certificate of Compliance is true and correct. 2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer) 3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. 4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application. 5. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.	
Responsible Envelope Designer Name:	Signature: 
Company: GOLDMAN ARCHITECTS	Date Signed: Dec. 8, 2020
Address: 172 RUSS STREET	
City/State/Zip: SAN FRANCISCO CA 94103	
Phone: (415) 391- 1339	Title: Architect License #: C-14203
Responsible Lighting Designer Name:	Signature: NOT IN SCOPE
Company:	Date Signed:
Address:	
City/State/Zip: CA	
Phone:	Title: License #:
Responsible Mechanical Designer Name: - specify -	Signature: 
Company: GOLDMAN ARCHITECTS	Date Signed: Dec. 8, 2020
Address: 172 RUSS STREET	
City/State/Zip: SAN FRANCISCO CA 94103	
Phone: (415) 391- 1339	Title: Architect License #: C-14203

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-10092020-6384 Report Generated at: 2020-12-08 09:26:44

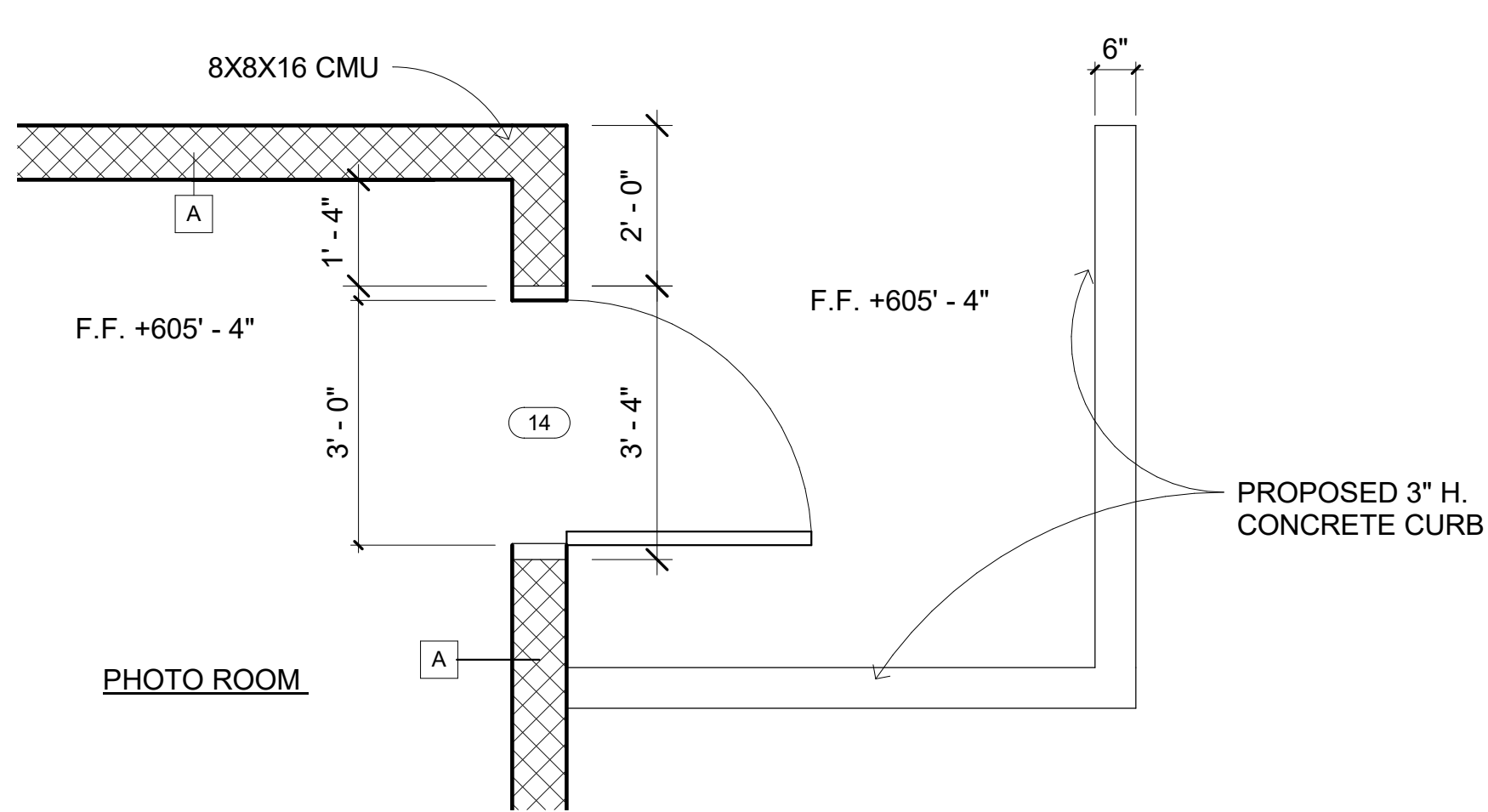
HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY									
Project Name FOWLER AUXILIARY BUILDING OFFICE					Date 12/8/2020				
System Name Office Mech System					Floor Area 348				
ENGINEERING CHECKS			SYSTEM LOAD						
Number of Systems			1						
Heating System					COIL COOLING PEAK			COIL HTG. PEAK	
					CFM	Sensible	Latent	CFM	Sensible
Output per System			12,000		133	5,538	696	127	2,379
Total Output (Btuh)			12,000						
Output (Btuh/sqft)			34.5					119	
Cooling System								0	
Output per System			12,000						
Total Output (Btuh)			12,000					3,004	
Total Output (Tons)			1.0					-307	
Total Output (Btuh/sqft)			34.5					-119	
Total Output (sqft/Ton)			347.8					5,315	
Air System									
CFM per System			200						
Airflow (cfm)			200		10,588			0	
Airflow (cfm/sqft)			0.58						
Airflow (cfm/Ton)			200.0						
Outside Air (%)			30.0%		10,588			0	
Outside Air (cfm/sqft)			0.17						
Note: values above given at ARI conditions					Total Adjusted System Output (Adjusted for Peak Design conditions)				
					Jul 3 PM				
					Jan 1 AM				
HEATING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Heating Peak)									
COOLING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Cooling Peak)									



4 Proposed Floor Plan @ DOOR #25
1/2" = 1'-0"



3 Proposed Floor Plan @ DOOR #7
1/2" = 1'-0"

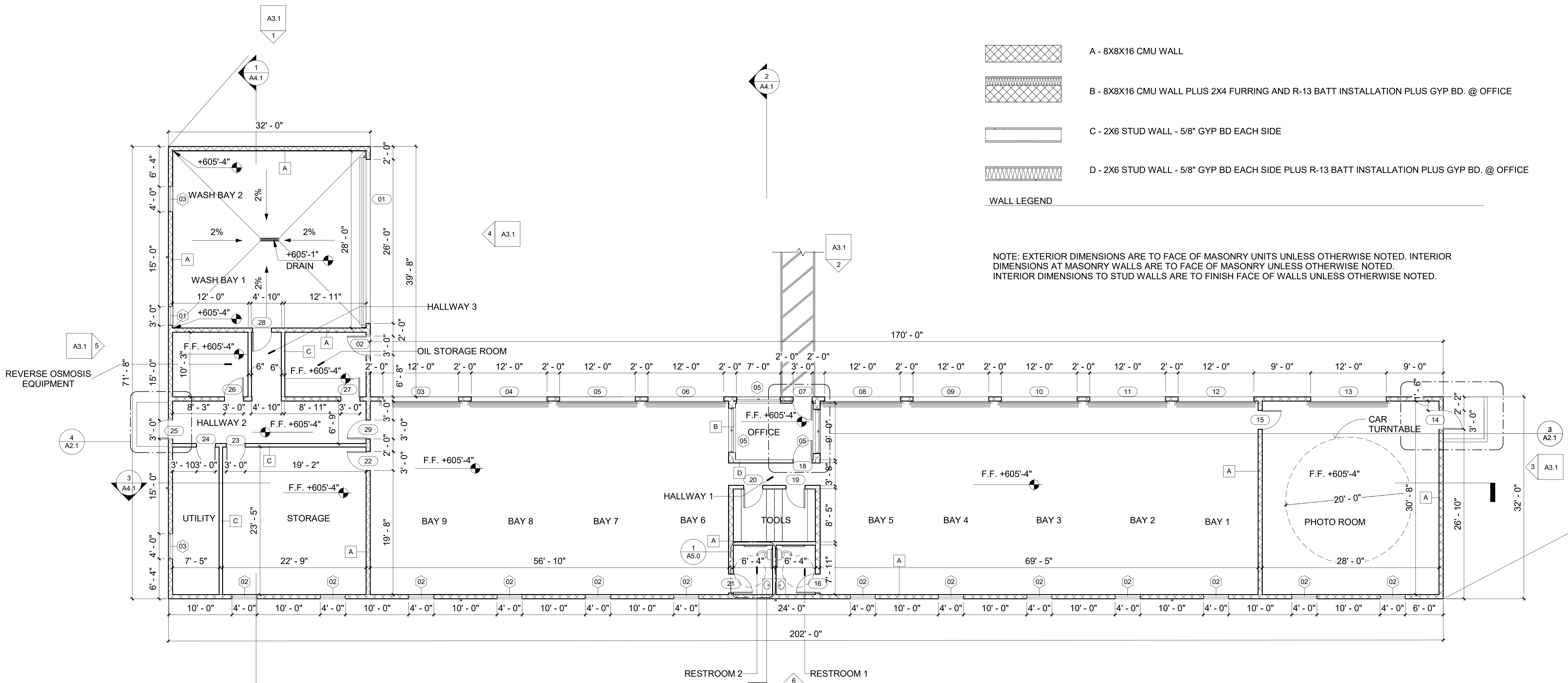


2 Proposed Floor Plan @ DOOR #14
1/2" = 1'-0"

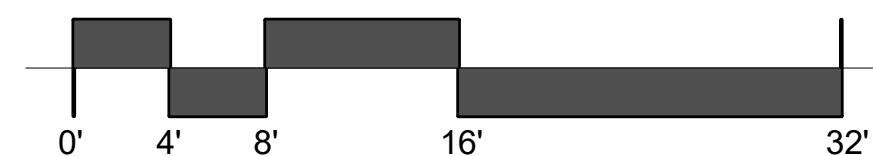
- A - 8X8X16 CMU WALL
- B - 8X8X16 CMU WALL PLUS 2X4 FURRING AND R-13 BATT INSTALLATION PLUS GYP BD. @ OFFICE
- C - 2X6 STUD WALL - 5/8" GYP BD EACH SIDE
- D - 2X6 STUD WALL - 5/8" GYP BD EACH SIDE PLUS R-13 BATT INSTALLATION PLUS GYP BD. @ OFFICE

WALL LEGEND

NOTE: EXTERIOR DIMENSIONS ARE TO FACE OF MASONRY UNITS UNLESS OTHERWISE NOTED. INTERIOR DIMENSIONS AT MASONRY WALLS ARE TO FACE OF MASONRY UNLESS OTHERWISE NOTED. INTERIOR DIMENSIONS TO STUD WALLS ARE TO FINISH FACE OF WALLS UNLESS OTHERWISE NOTED.



1 Proposed Floor Plan
1/8" = 1'-0"



#	Revision Date

GOLDMAN ARCHITECTS

172 RUSS STREET
SAN FRANCISCO
CALIFORNIA 94103
415-391-1339
415-621-3393 f

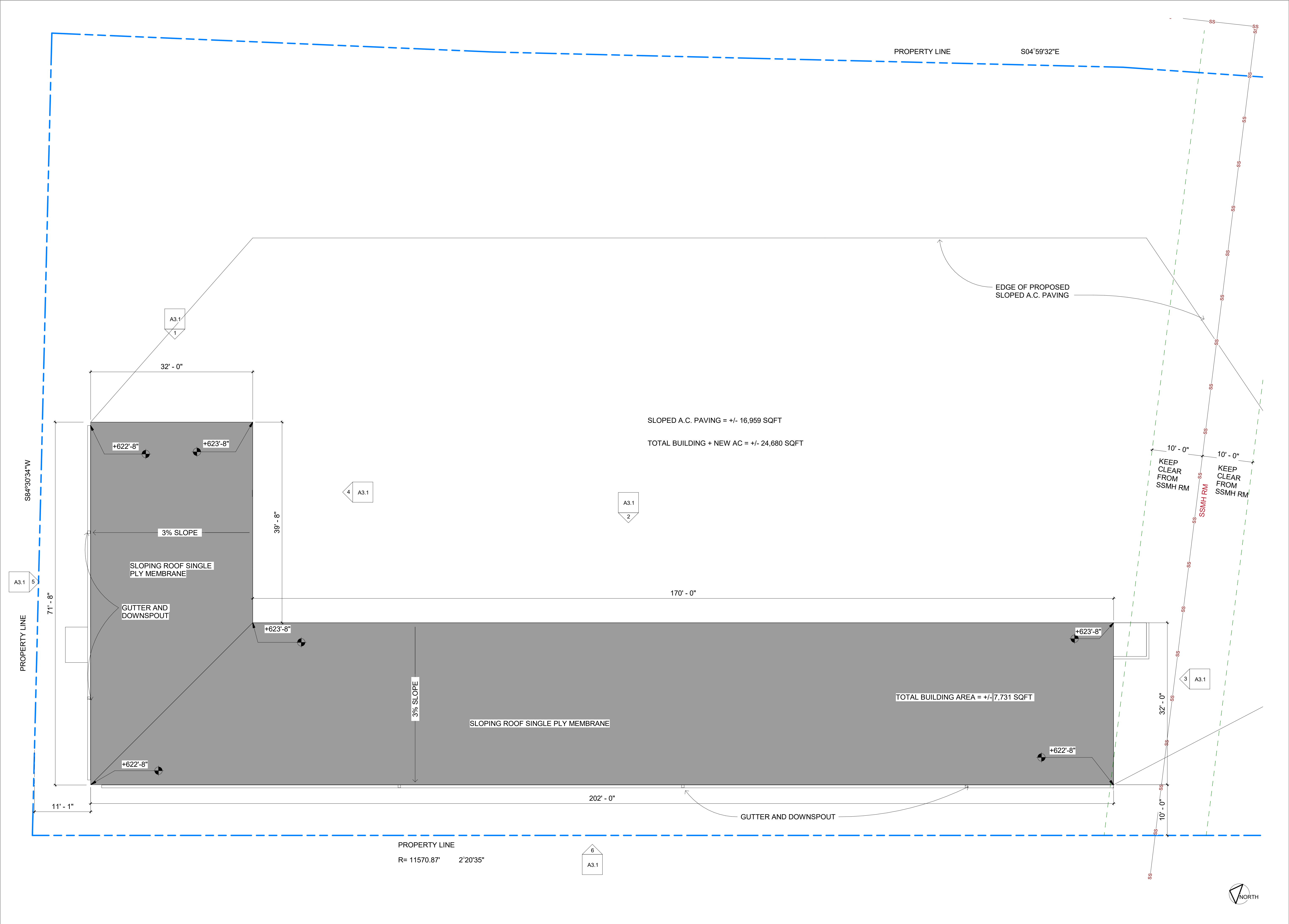
JOHN ALAN GOLDMAN
No. C-14203
REN. 11-30-21
STATE OF CALIFORNIA

**FOWLER AUTO CENTER
AUXILIARY BUILDING**
1117 COMMERCE DRIVE,
UKIAH, CALIFORNIA

PROPOSED FLOOR PLAN

DATE:	4/6/2021
SCALE:	As indicated
DRAWN:	LG
JOB:	2002
SHEET:	

A2.1
OF SHEETS



#	Revision Date

**GOLD
MAN**
ARCHITECTS

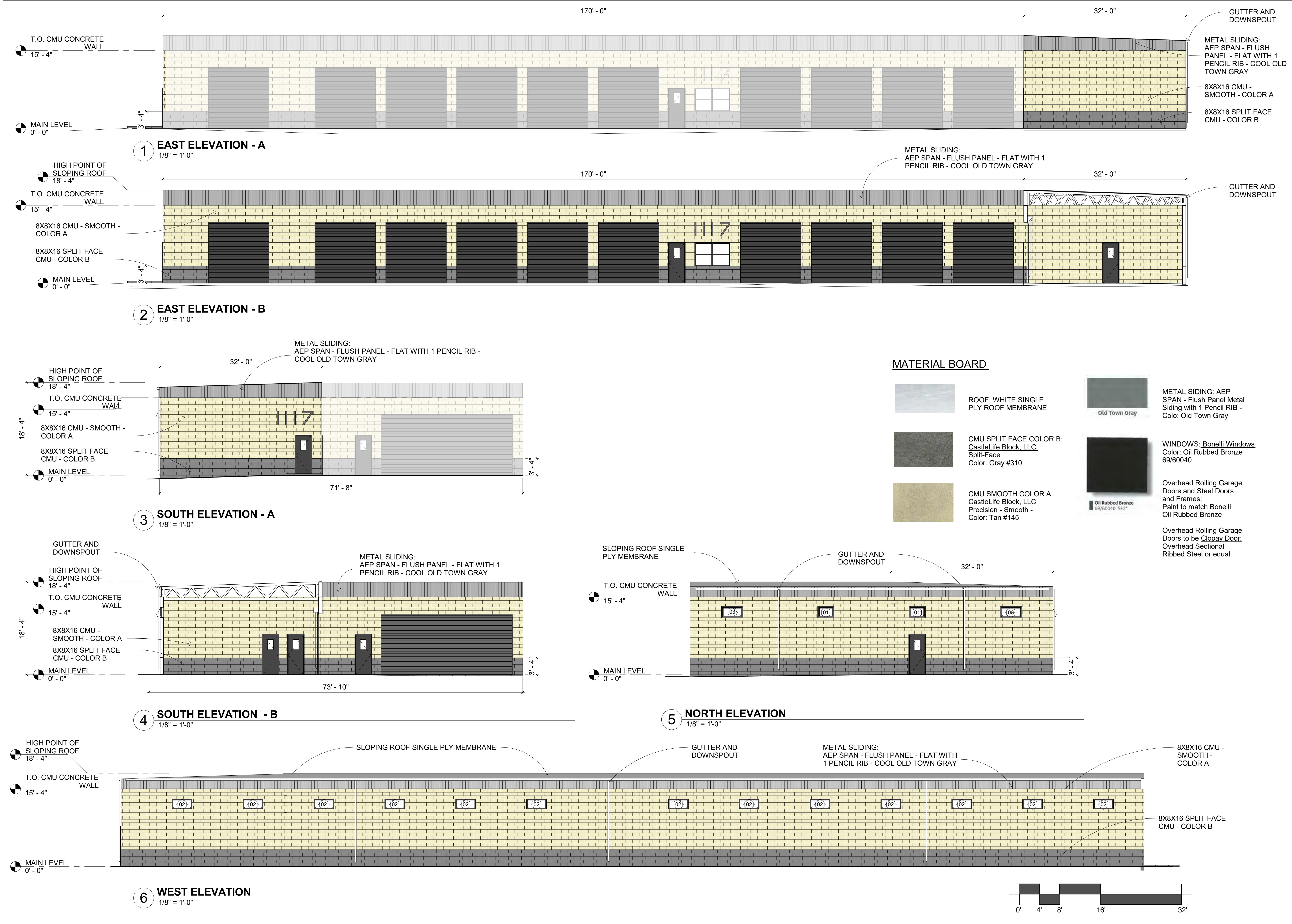
172 RUSS STREET
SAN FRANCISCO
CALIFORNIA 94103
415-391-1339
415-621-3393 f

JOHN ALAN
GOLDMAN
No. C-14203
REN. 11-30-21
STATE OF CALIFORNIA

**FOWLER AUTO CENTER
AUXILIARY BUILDING**
1117 COMMERCE DRIVE,
UKIAH, CALIFORNIA

PROPOSED ROOF PLAN

DATE: 4/6/2021
SCALE: 1/8" = 1'-0"
DRAWN: LG
JOB: 2002
SHEET: A2.2
OF SHEETS



#	Revision	Date

GOLDMAN ARCHITECTS

172 RUSS STREET
SAN FRANCISCO
CALIFORNIA 94103
415-391-1339
415-621-3393 f

JOHN ALAN GOLDMAN
No. C-14203
REN. 11-30-21
STATE OF CALIFORNIA

**FOWLER AUTO CENTER
AUXILIARY BUILDING**

1117 COMMERCE DRIVE,
UKIAH, CALIFORNIA

PROPOSED ELEVATIONS

DATE: 4/6/2021

SCALE: 1/8" = 1'-0"

DRAWN: LG

JOB: 2002

SHEET:

A3.1

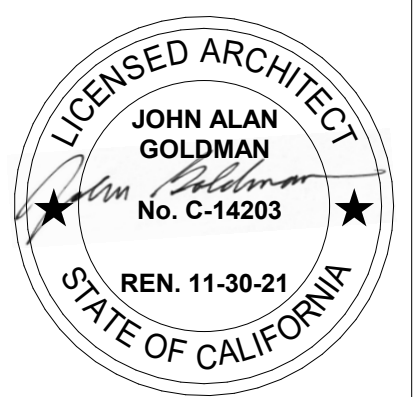
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#	Revision Date



ARCHITECTS

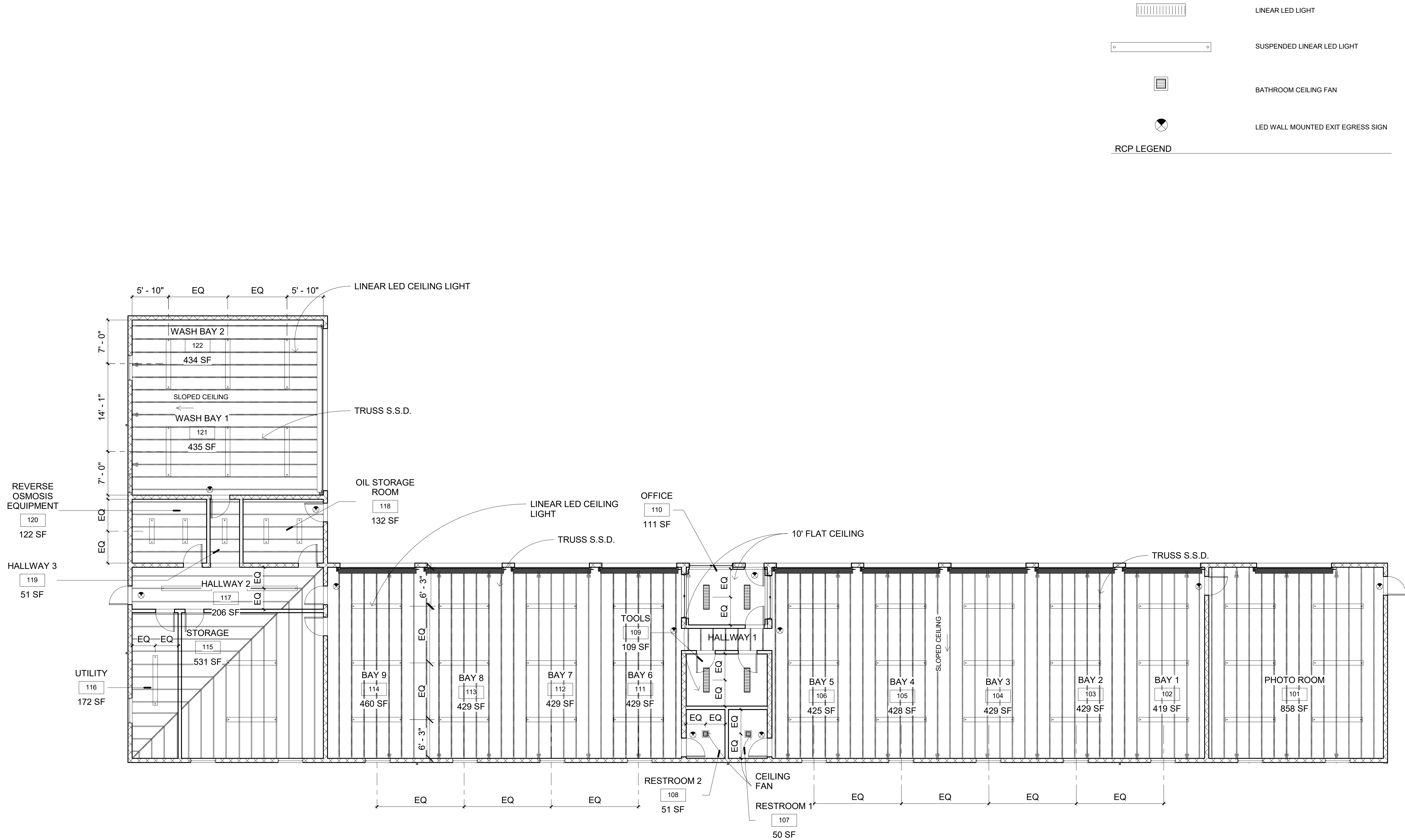
172 RUSS STREET
SAN FRANCISCO
CALIFORNIA 94103
415-391-1339
415-621-3393 f

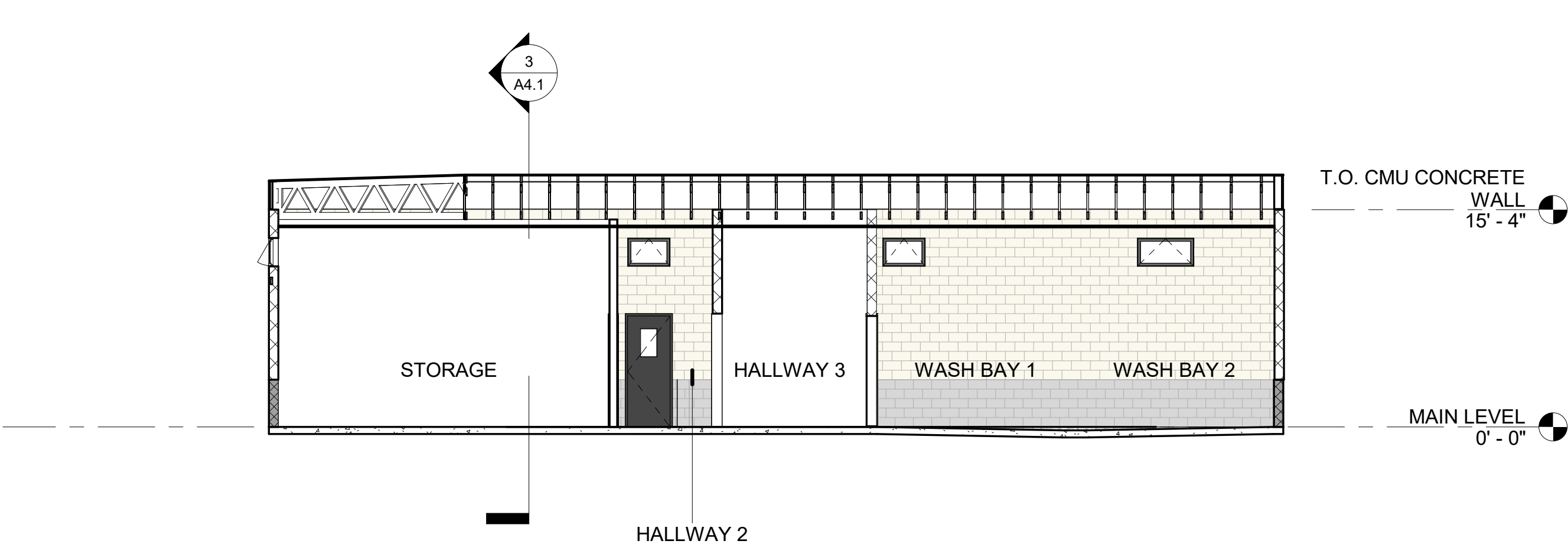


FOWLER AUTO CENTER
AUXILIARY BUILDING
1117 COMMERCE DRIVE,
UKIAH, CALIFORNIA

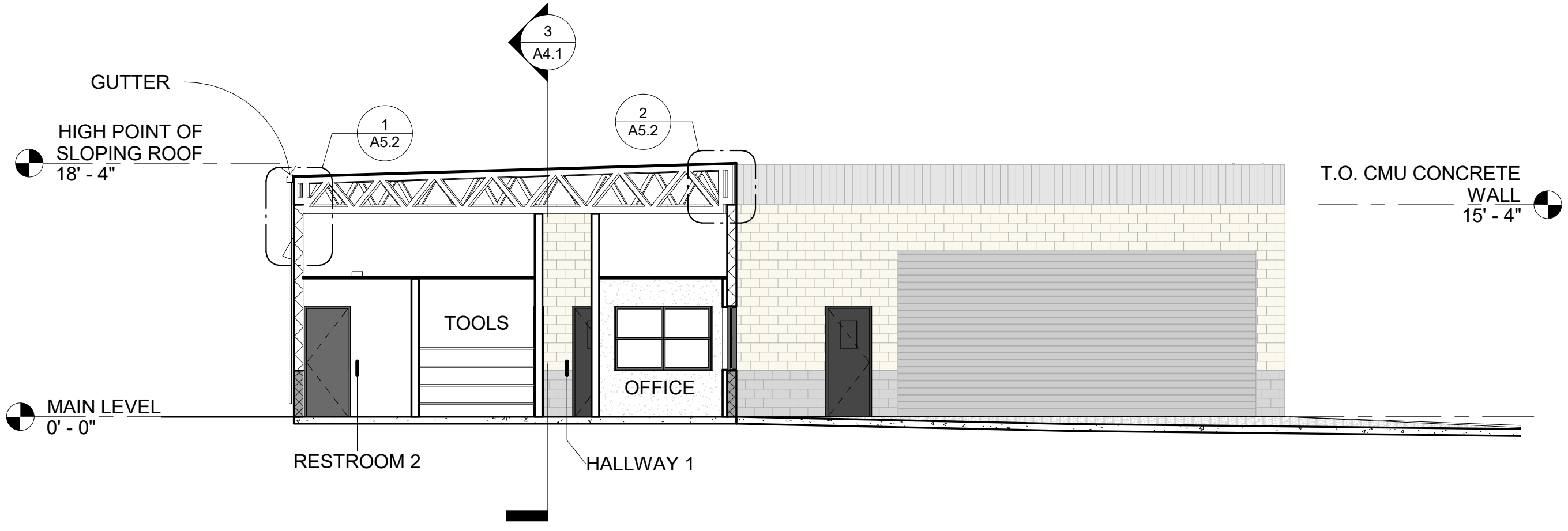
PROPOSED REFLECTED
CEILING PLAN

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DRAWN:	LG
JOB:	2002
SHEET:	
A2.3	
OF	SHEETS

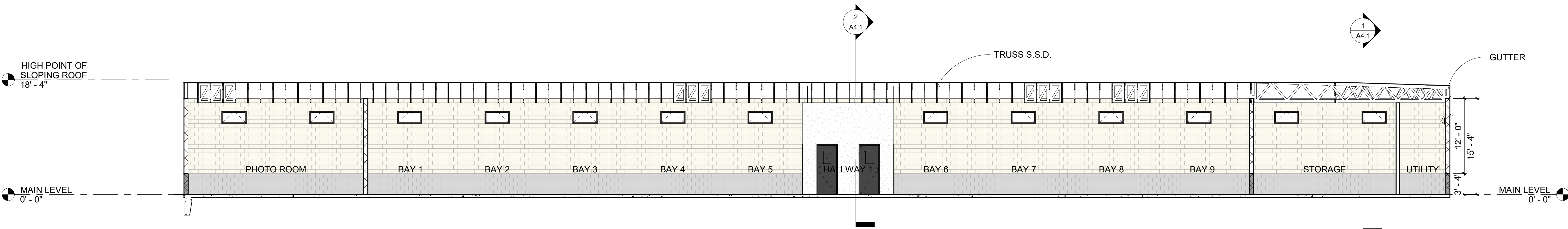




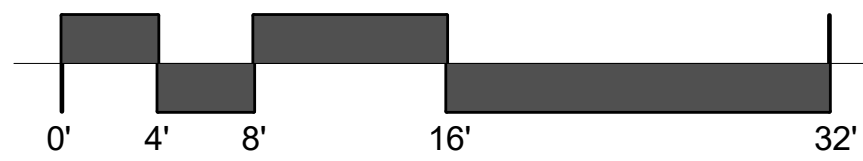
1 Section 3
1/8" = 1'-0"



2 Section 2
1/8" = 1'-0"



3 Section 1
1/8" = 1'-0"



#	Revision Date

GOLD
MAN

ARCHITECTS

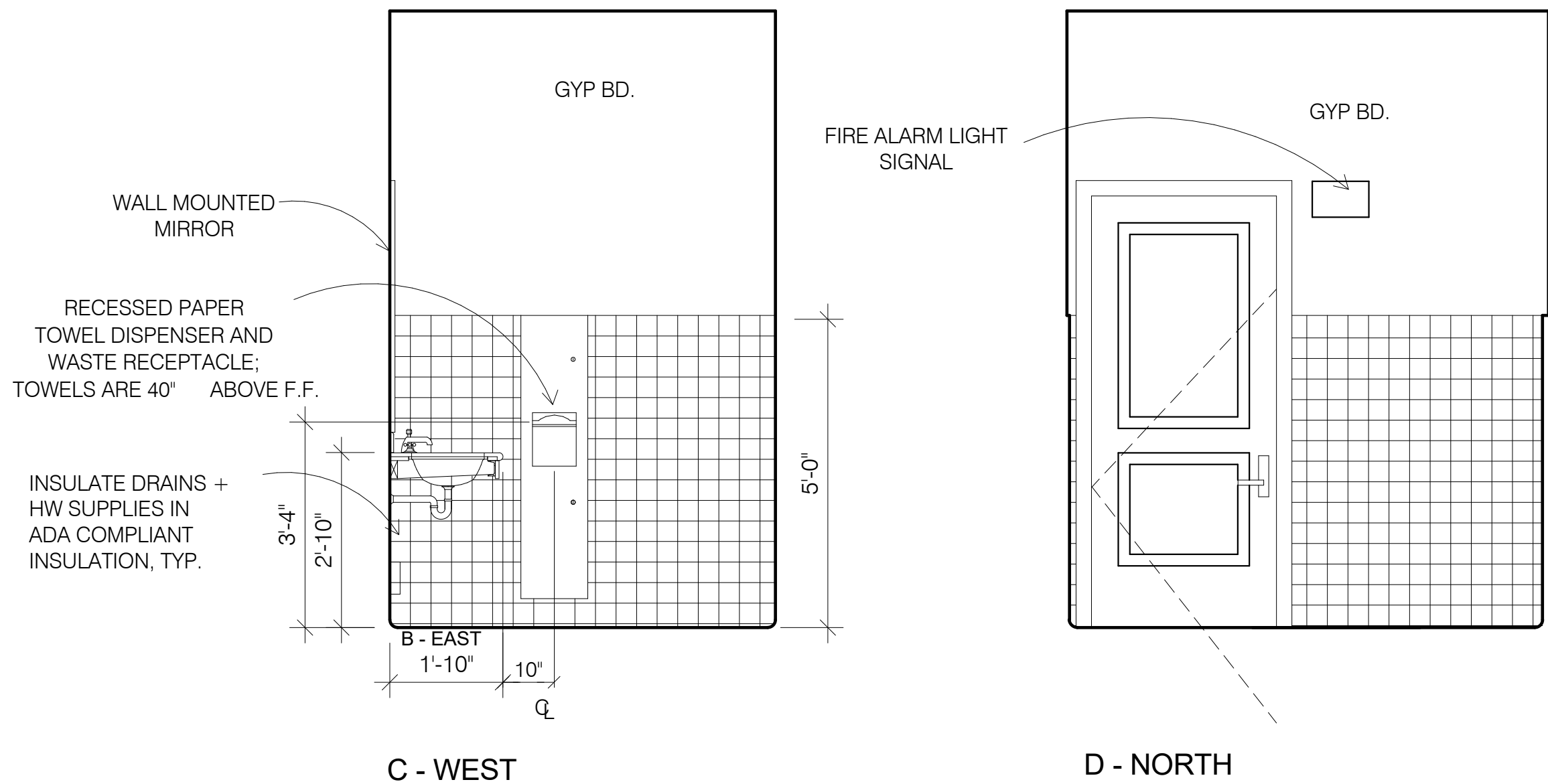
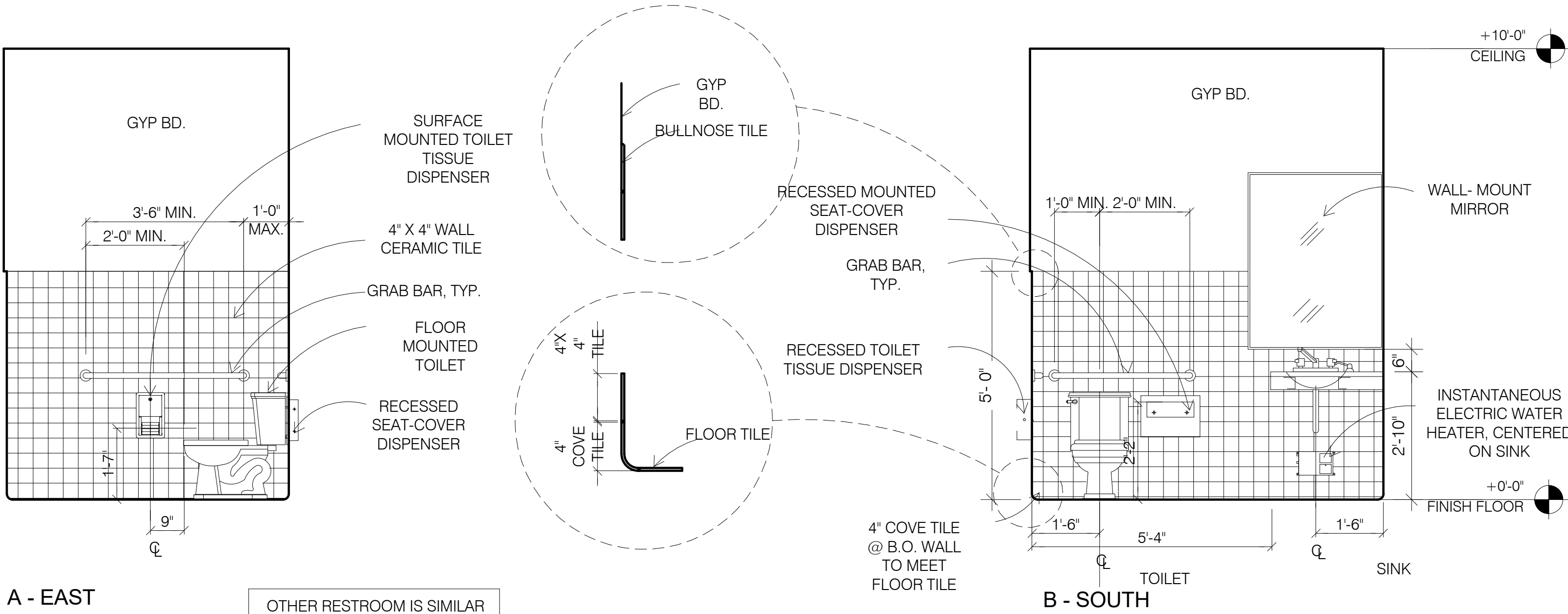
172 RUSS STREET
SAN FRANCISCO
CALIFORNIA 94103
415-391-1339
415-621-3393 f



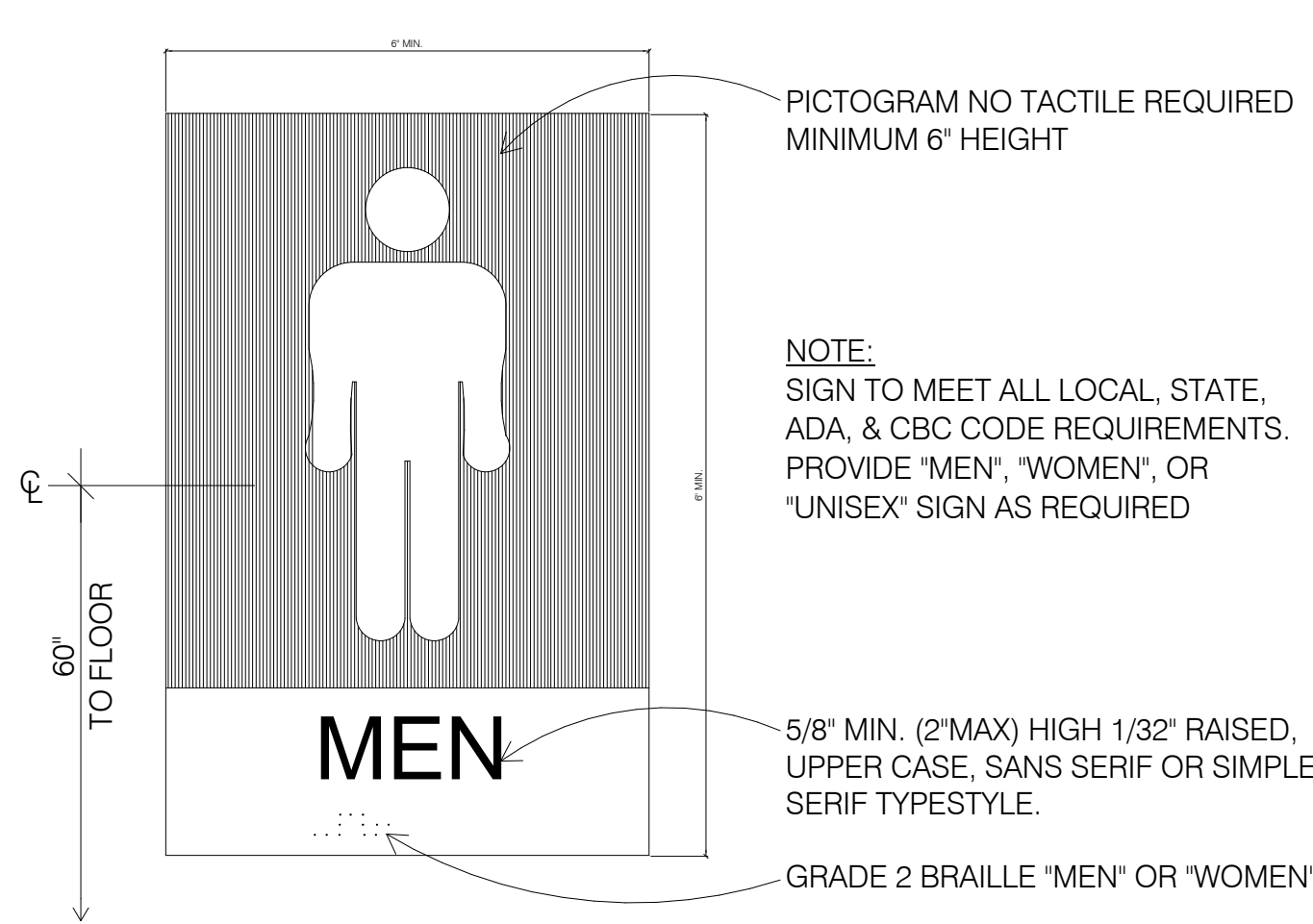
FOWLER AUTO CENTER
AUXILIARY BUILDING
1117 COMMERCE DRIVE,
UKIAH, CALIFORNIA

PROPOSED BUILDING
SECTIONS

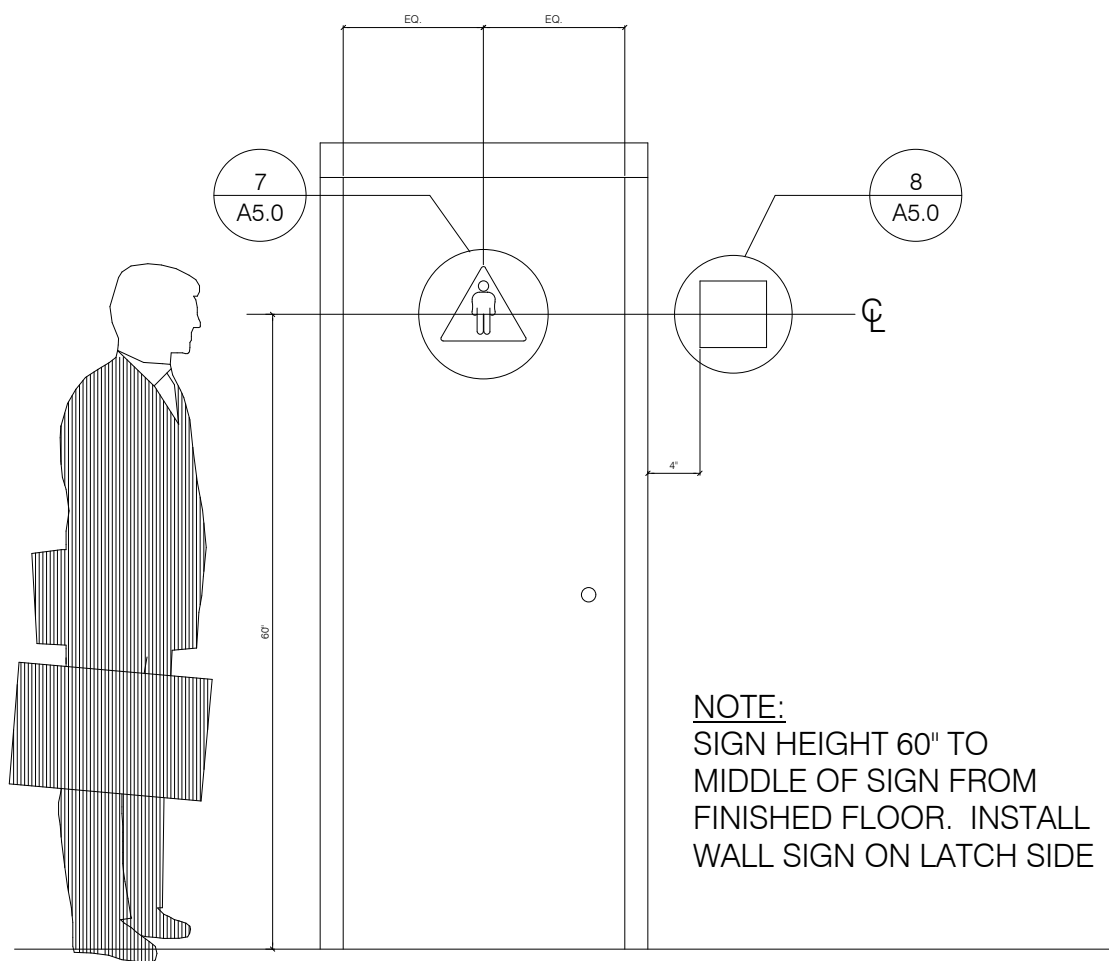
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JOB:	2002
SHEET:	A4.1 OF SHEETS



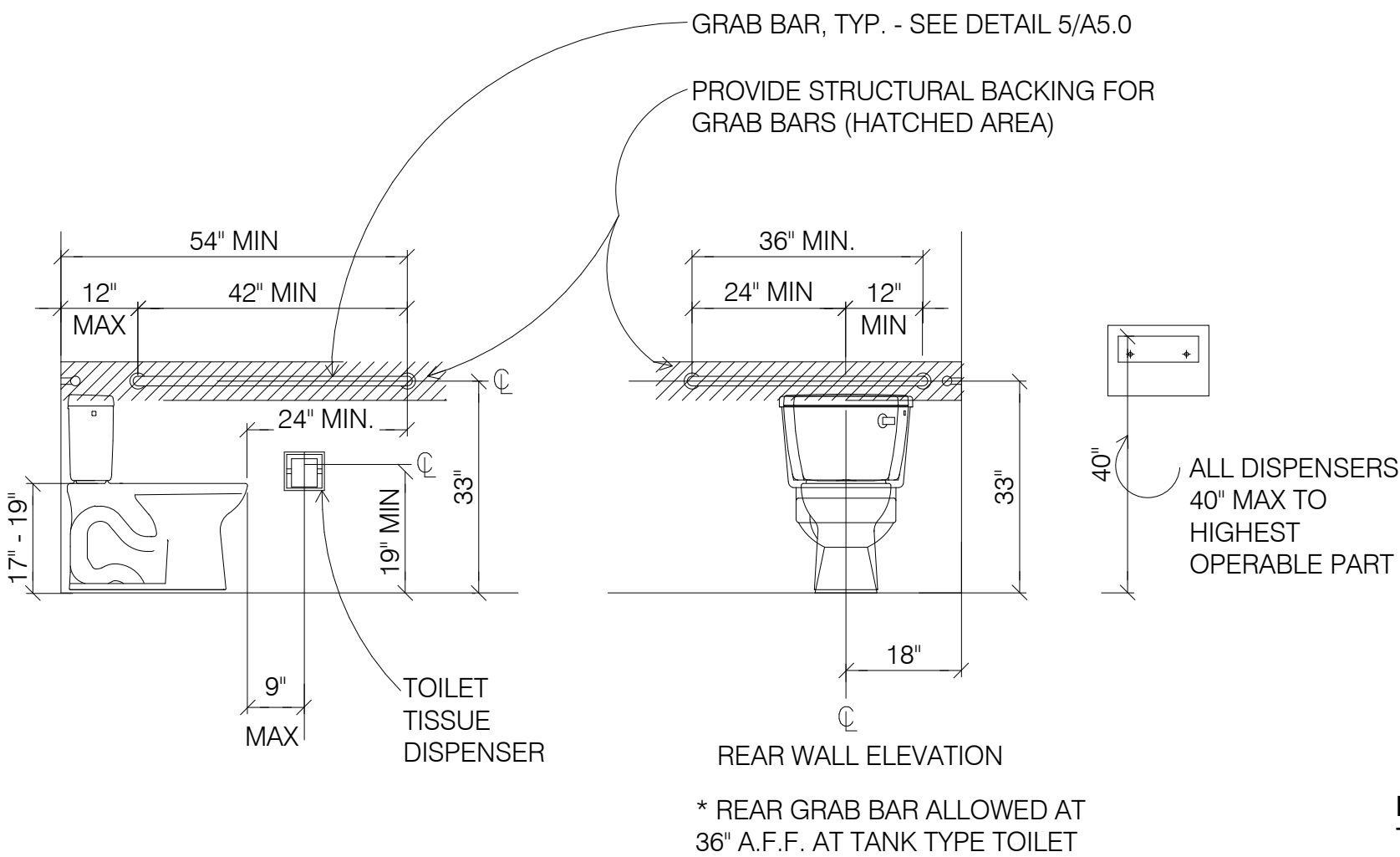
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SCALE: 1/2" = 1'-0"



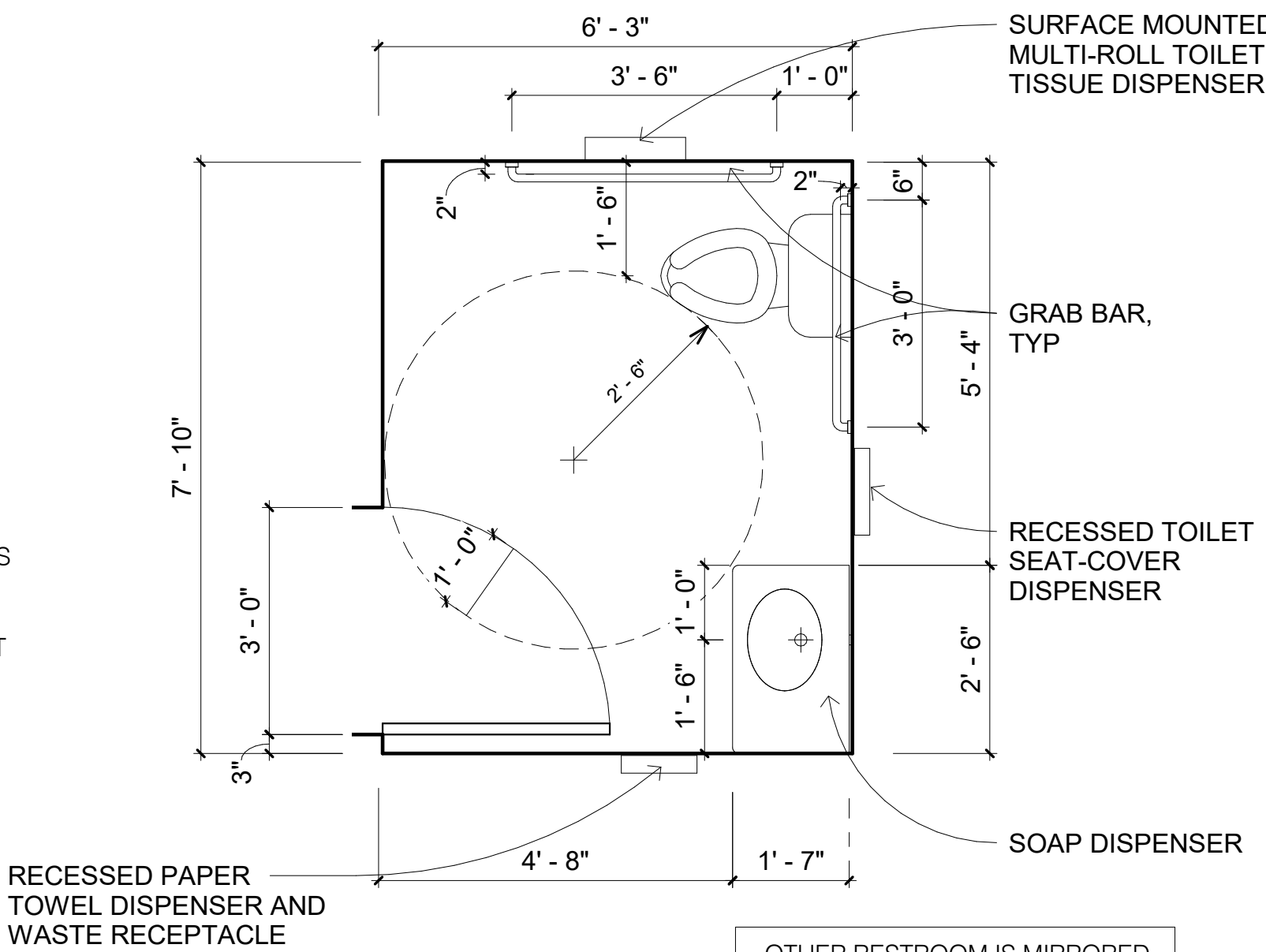
WALL MOUNTED SIGNAGE
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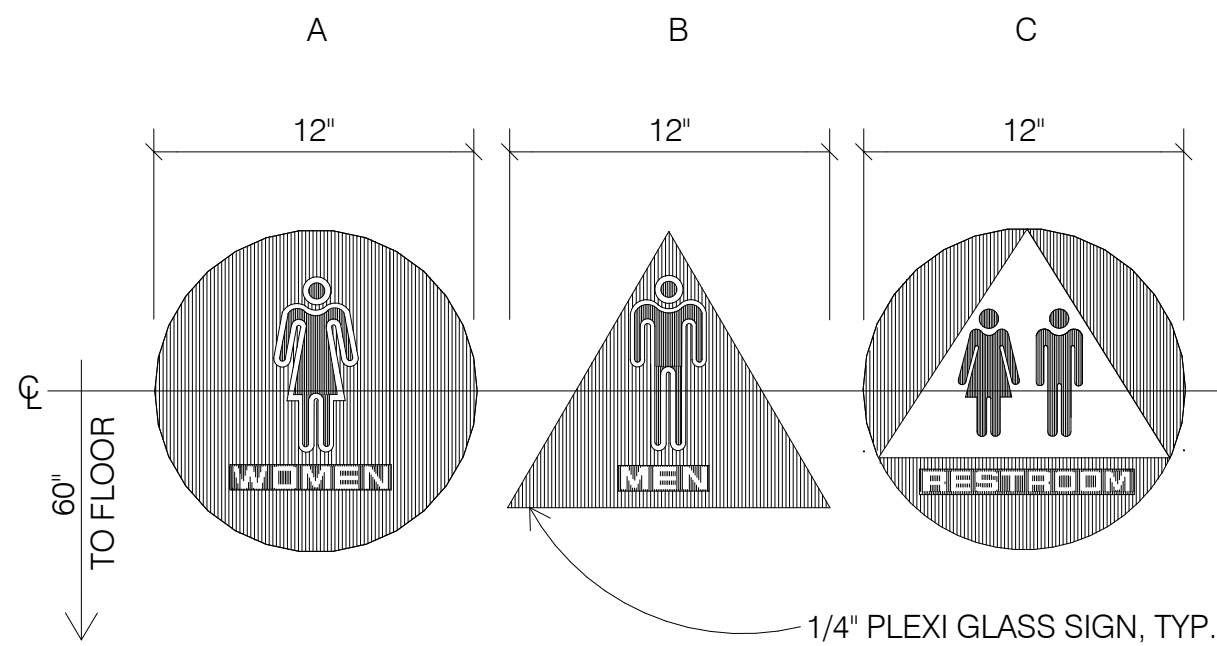
ACCESSIBILITY SIGNAGE DETAIL
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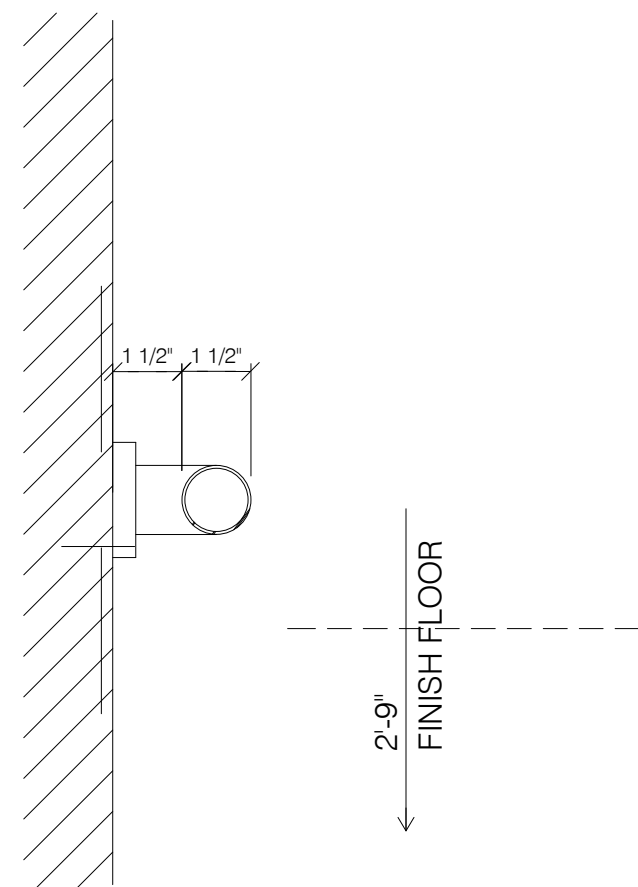
GRAB BAR & TOILET DETAILS
SCALE: 1/2" = 1'-0"



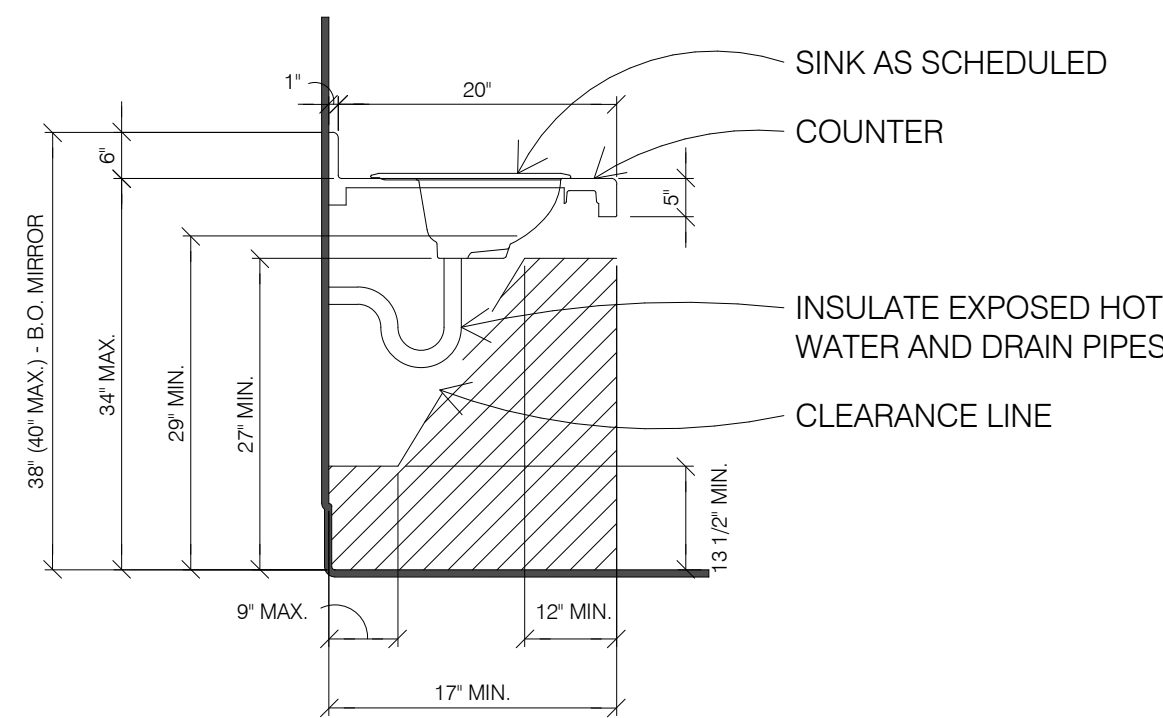
RESTROOM ENLARGED PLAN
SCALE: 1/2" = 1'-0"



DOOR MOUNTED SIGNAGE
SCALE: 1-1/2" = 1'-0"



GRAB BAR DETAIL
Scale: N.T.S.



LAVATORY DETAIL
SCALE: 3/4" = 1'-0"

Revision Date

GOLD MAN ARCHITECTS

172 RUSS STREET
SAN FRANCISCO
CALIFORNIA 94103
415-391-1339
415-621-3393 f

LICENSED ARCHITECT
JOHN ALAN GOLDMAN
No. C-14203
REN. 11-30-21
STATE OF CALIFORNIA

**FOWLER AUTO CENTER
AUXILIARY BUILDING**
1117 COMMERCE DRIVE,
UKIAH, CALIFORNIA

**RESTROOM INTERIORS
AND ENLARGED PLAN**

DATE: 4/6/2021
SCALE: 1/2" = 1'-0"
DRAWN: LG
JOB: 2002
SHEET:

A5.0
OF SHEETS

7



THIS DIAGRAMS ILLUSTRATES THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND IS INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION.

4
A5.1

WHERE A TACTILE SIGN IS PROVIDED AT DOOR, THE SIGN SHALL BE LOCATED ALONG SIDE THE DOOR AT THE LATCH SIDE.

WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH TWO ACTIVE LEAFS, THE SIGN SHALL BE LOCATED TO THE RIGHT OF THE RIGHT HAND DOOR.

WHERE THERE IS NO WALL SPACE AT THE LATCH SIDE OF A SINGLE DOOR OR AT THE RIGHT SIDE OF A DOUBLE DOORS, SIGNS SHALL BE LOCATED ON THE NEAREST ADJACENT WALL.

SIGNS CONTAINING TACTILE CHARACTERS SHALL BE LOCATED SO THAT A CLEAR FLOOR SPACE OF 18 INCHES MINIMUM BY 18 INCHES MINIMUM CENTERED ON THE TACTILE CHARACTERS, IS PROVIDED BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION AND 45 DEGREE OPEN POSITION.

WHERE PERMANENT IDENTIFICATION SIGNAGE IS PROVIDED FOR ROOMS AND SPACES THEY SHALL BE LOCATED ON THE APPROACH SIDE OF THE DOOR AS ONE ENTERS THE ROOM OR SPACE.

SIGNS THAT IDENTIFY EXITS SHALL BE LOCATED ON THE APPROACH SIDE OF THE DOOR AS ONE EXITS THE ROOM OR SPACE.



5
A5.1



CHARACTERS SHALL BE UPPERCASE.

CHARACTERS SHALL BE SANS SERIF. CHARACTERS SHALL NOT BE ITALIC, OBLIQUE, SCRIPT, HIGHLY DECORATIVE OR OTHER UNUSUAL FONTS.

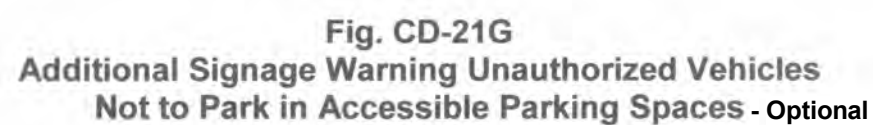
CHARACTERS SHALL BE SELECTED FROM FONTS WHERE THE WIDTH OF THE UPPERCASE LETTER "O" IS 60 PERCENT MINIMUM AND 110 PERCENT MAXIMUM OF THE HEIGHT OF THE UPPERCASE LETTER "I".

CHARACTER HEIGHT MEASURED VERTICALLY FROM THE BASELINE OF THE CHARACTER SHALL BE 5/8 INCH MINIMUM AND 2 INCHES MAXIMUM BASED ON THE HEIGHT OF THE UPPERCASE LETTER "I".

6
A5.1

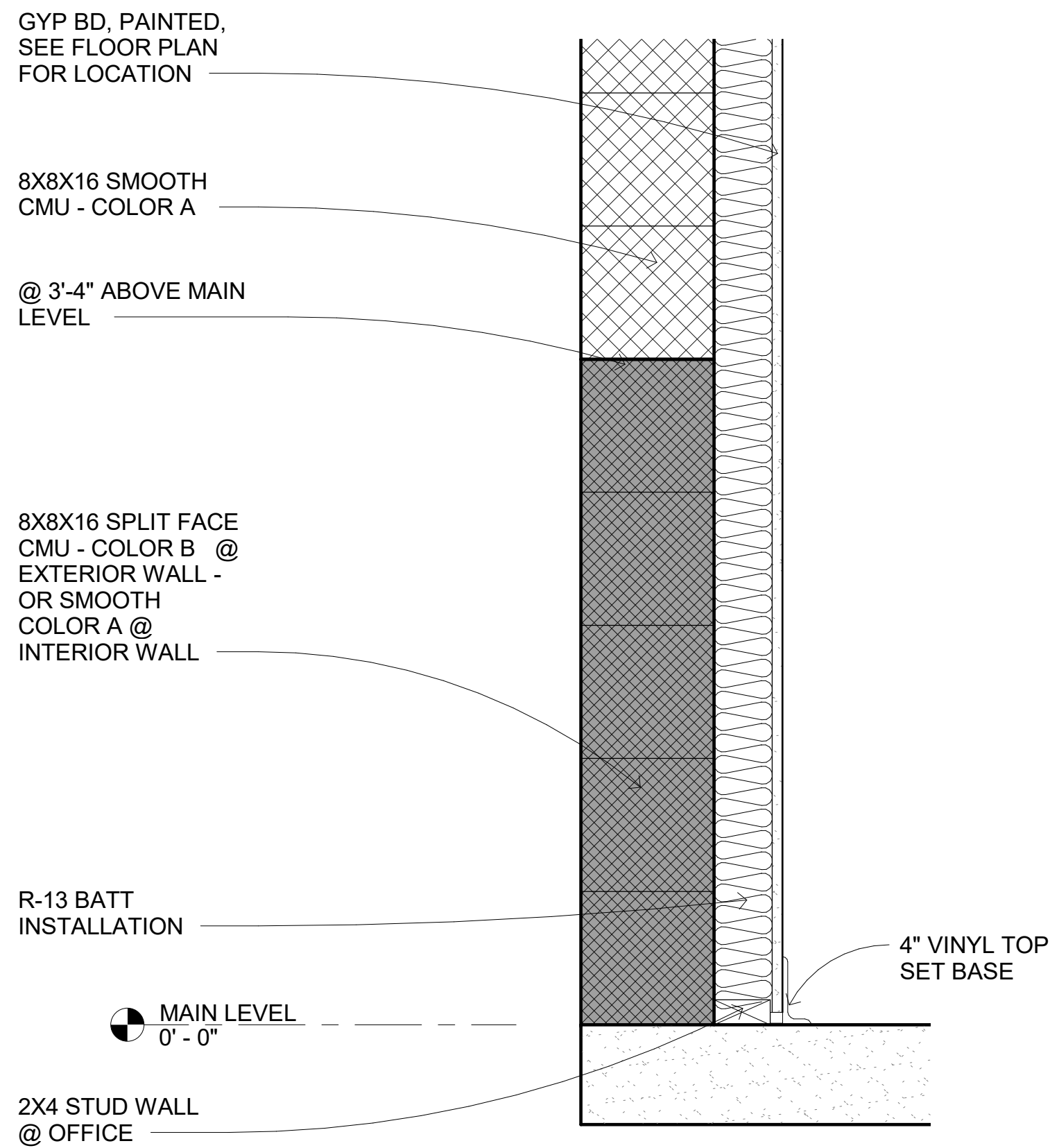


1
A5.1

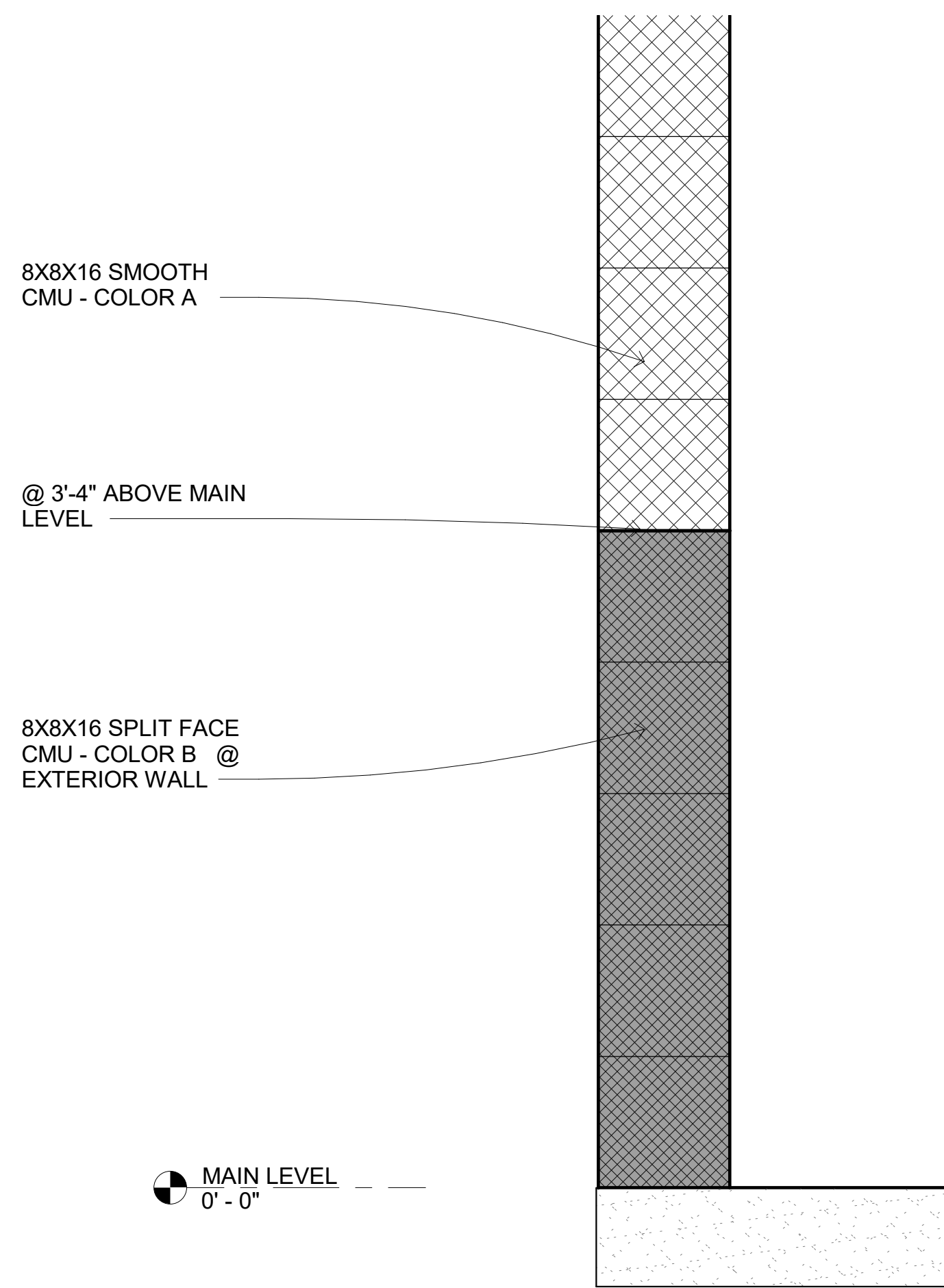


3
A5.1

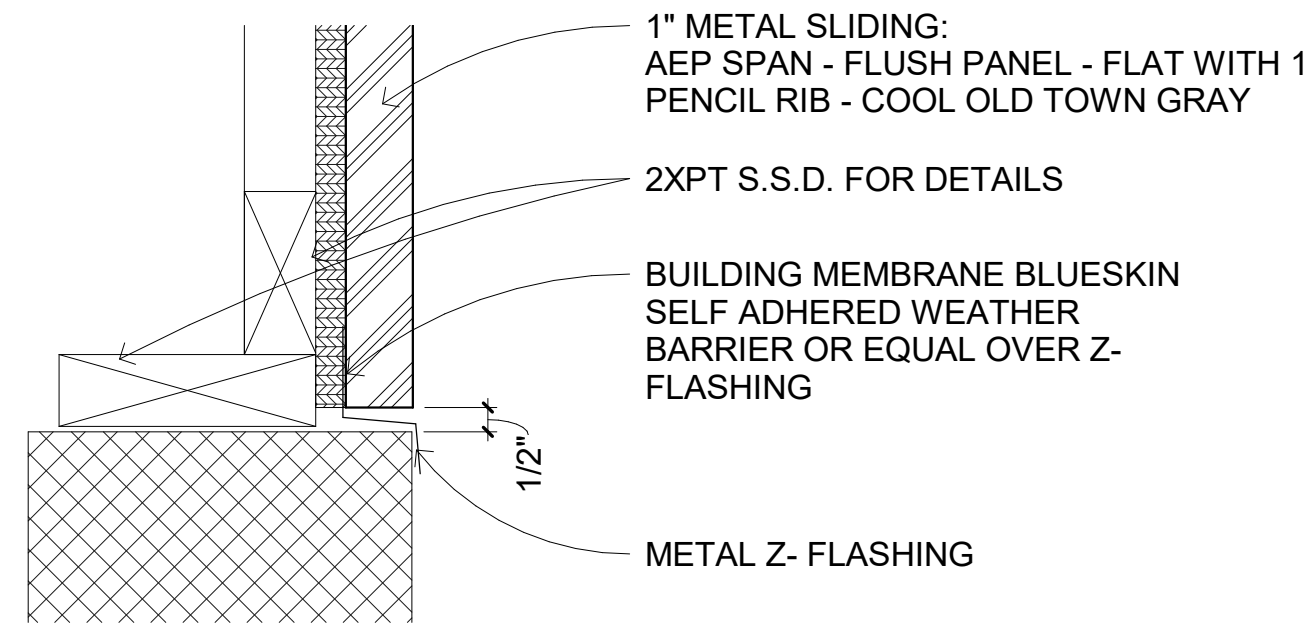
A5.1
OF SHEETS



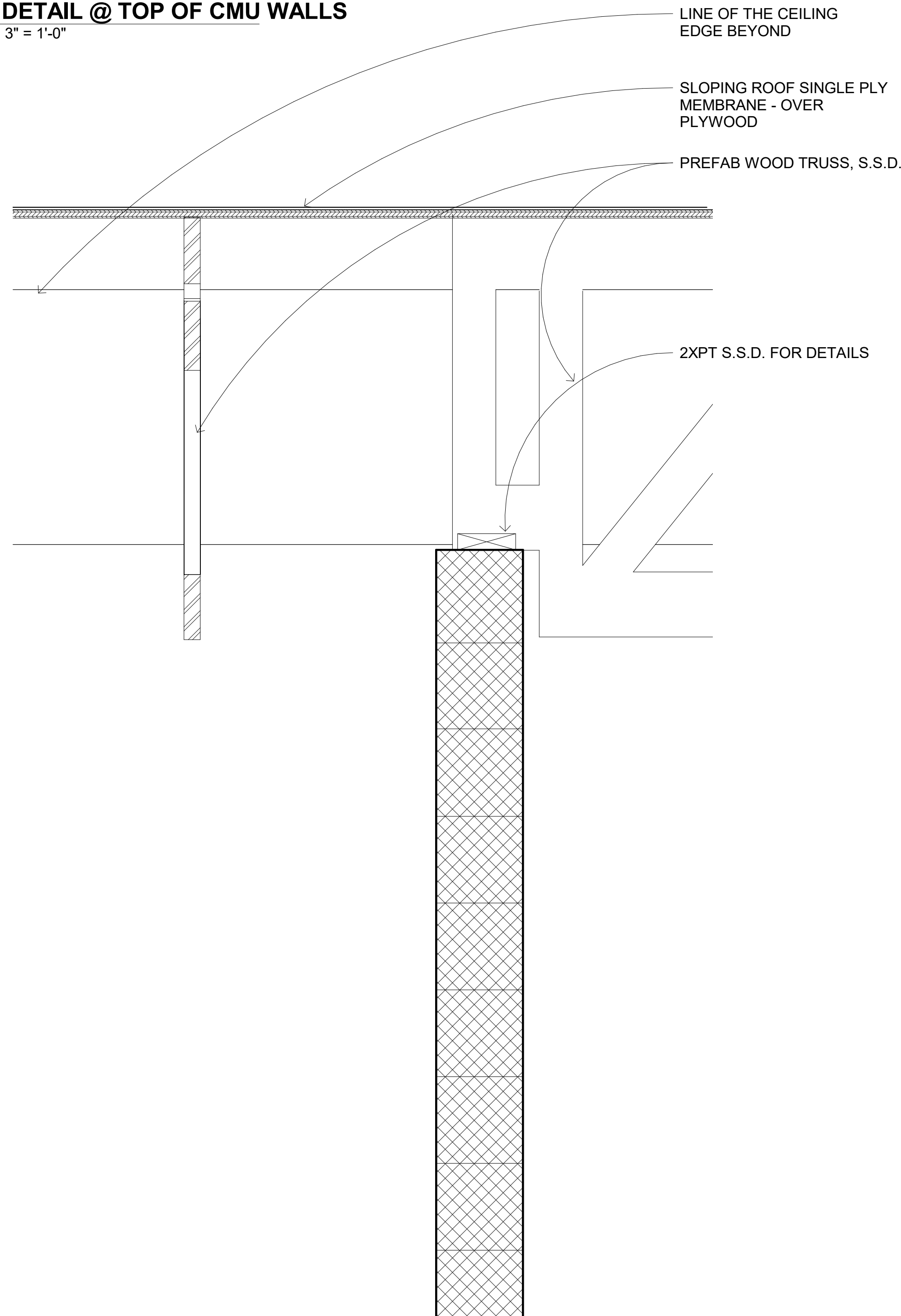
5 OFFICE WALL DETAIL
1 1/2" = 1'-0"



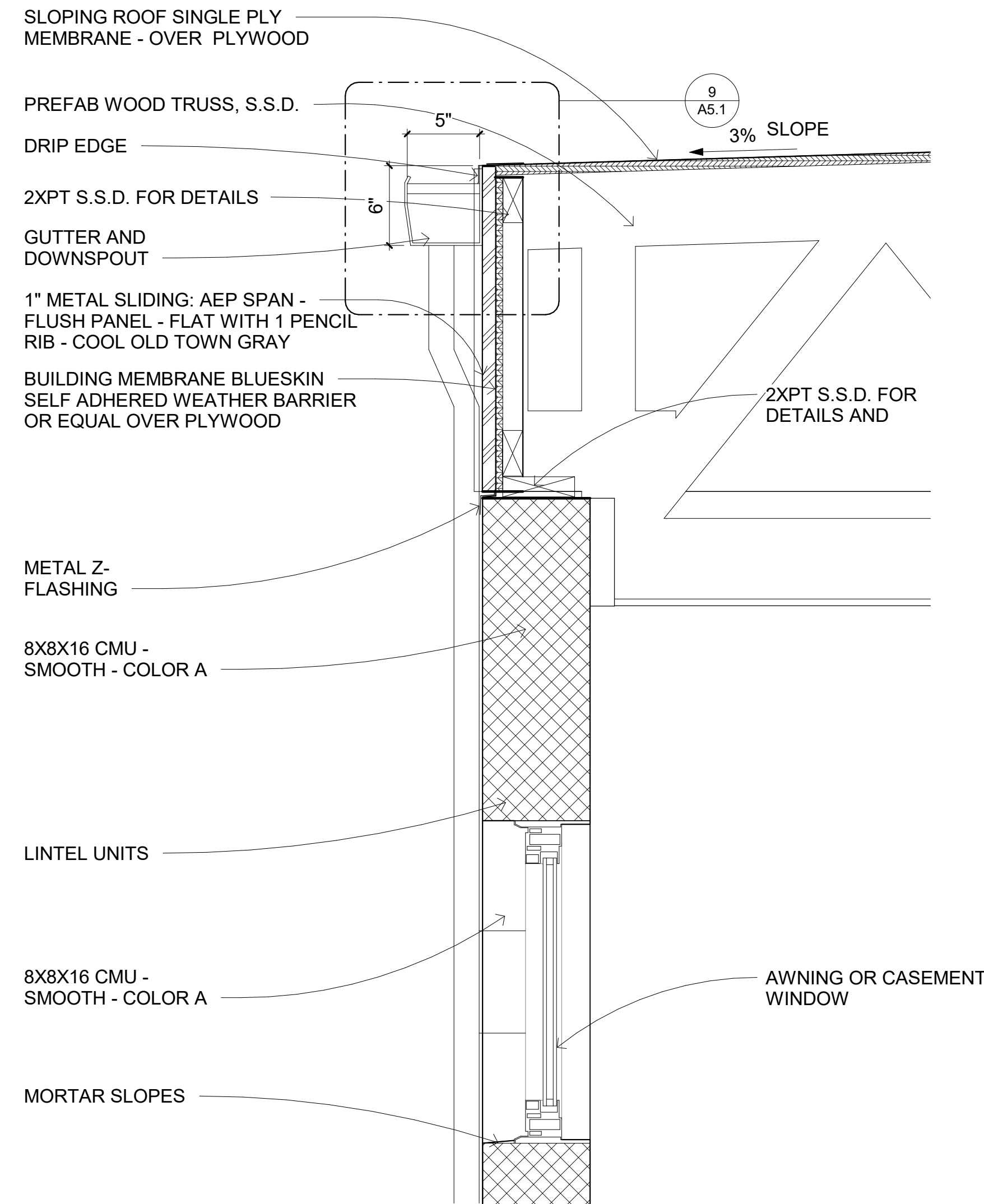
6 DETAIL @ CMU
1 1/2" = 1'-0"



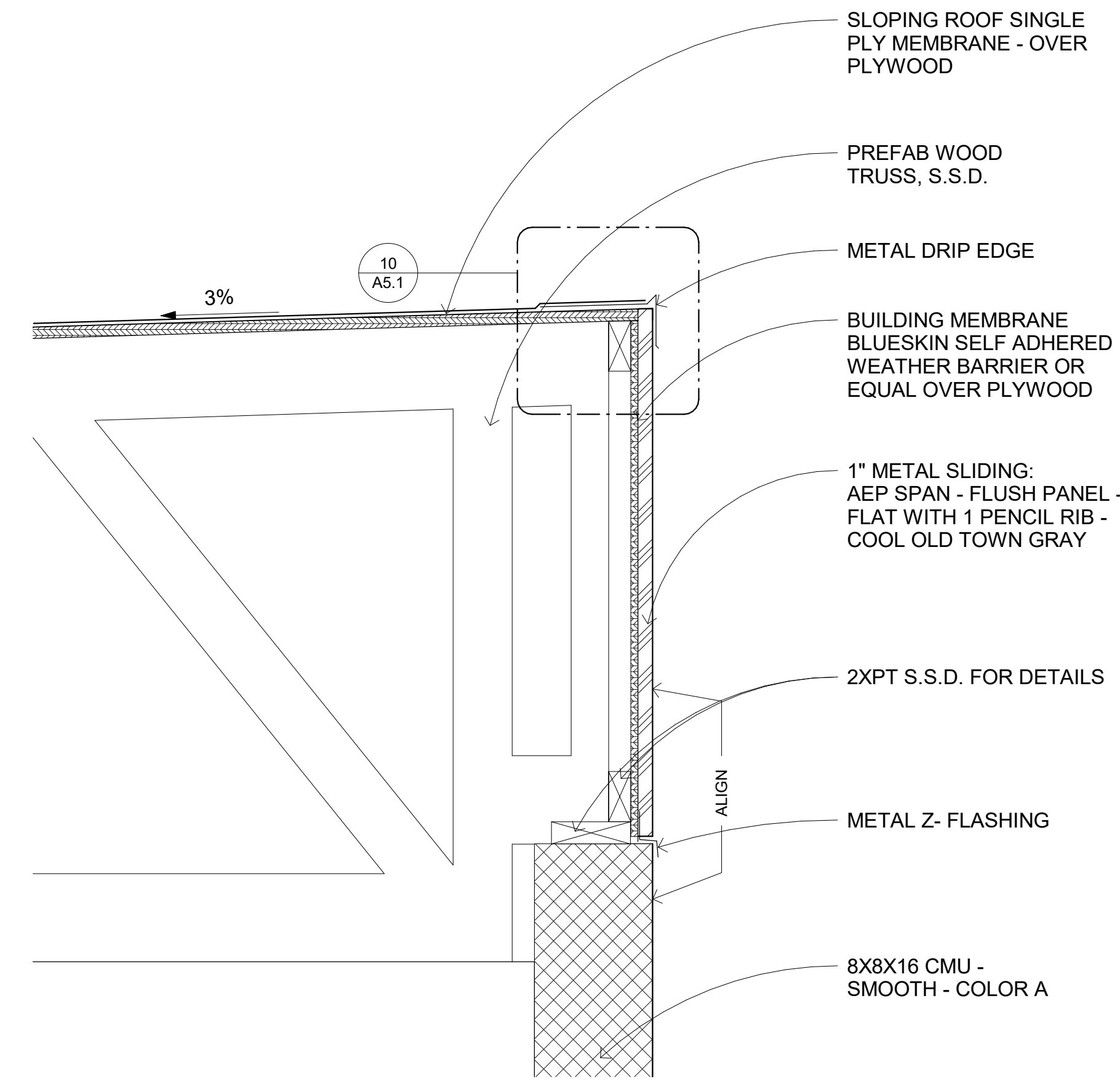
3 DETAIL @ TOP OF CMU WALLS
3" = 1'-0"



4 ROOF TO WALL DETAIL
1 1/2" = 1'-0"



1 TYPICAL ROOF EDGE AND WINDOW DETAIL
1 1/2" = 1'-0"



2 TYPICAL ROOF EDGE DETAIL
1 1/2" = 1'-0"

#	Revision Date

GOLDMAN ARCHITECTS

172 RUSS STREET
SAN FRANCISCO
CALIFORNIA 94103
415-391-1339
415-621-3393 f

JOHN ALAN GOLDMAN
No. C-14203
REN. 11-30-21
STATE OF CALIFORNIA

**FOWLER AUTO CENTER
AUXILIARY BUILDING**

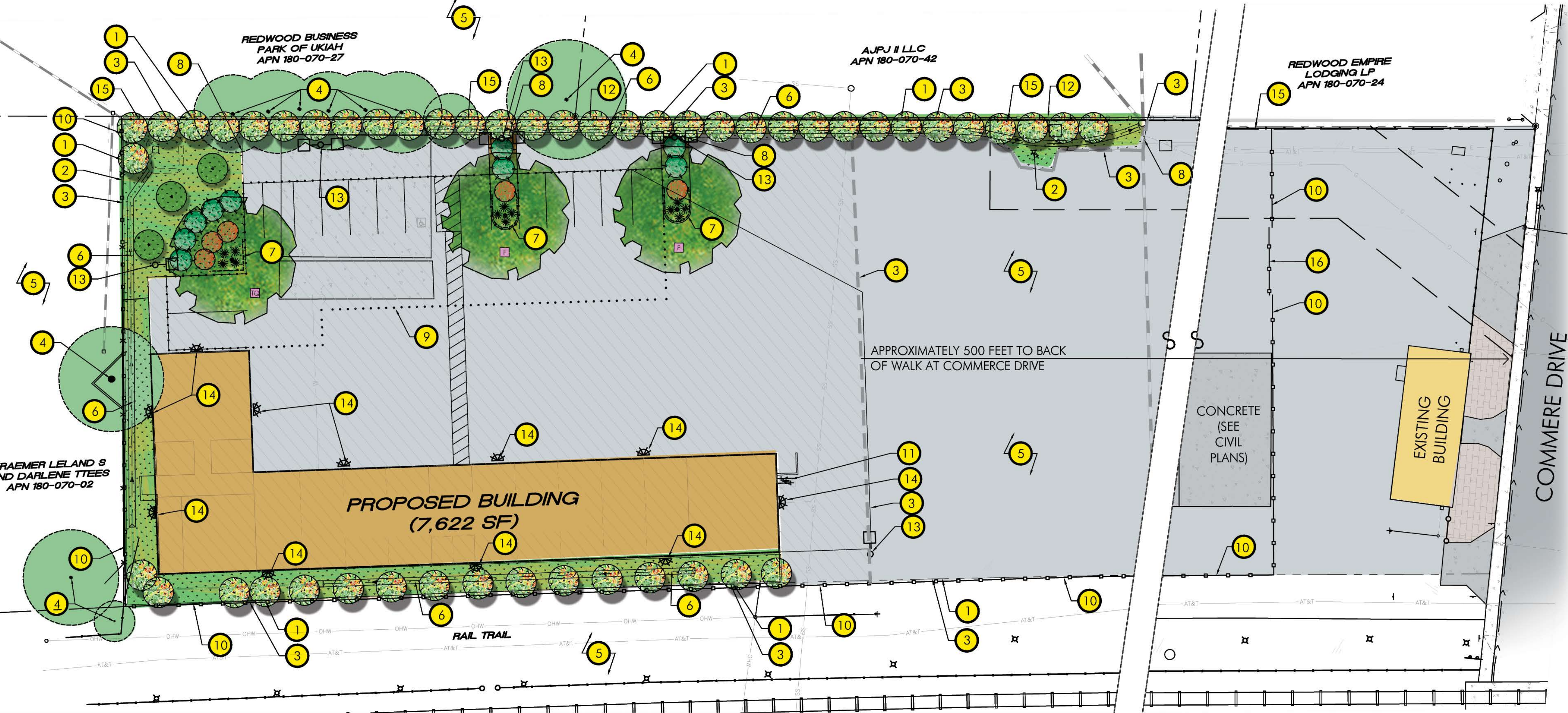
1117 COMMERCE DRIVE,
UKIAH, CALIFORNIA

EXTERIOR DETAILS

DATE:	4/6/2021
SCALE:	As indicated
DRAWN:	LG
JOB:	2002
SHEET:	

A5.2

OF SHEETS



SHADE CALCULATIONS

DESCRIPTION	SHADE AREA	QUANTITY	TOTAL	PERCENT
TOTAL PARKING AND BACK-UP AREA			6,502 SF	
SHADE AREA PROVIDED				
25 FOOT DIAMETER TREES				
F FULL	314 SF	0	0	0
TQ THREE QUARTER	235 SF	0	0	0
H HALF	157 SF	3	0	0
Q QUARTER	78 SF	0	0	0
40 FOOT DIAMETER TREES				
F FULL	1,256 SF	2	2,512 SF	40%
TQ THREE QUARTER	942 SF	1	942 SF	15%
H HALF	628 SF	0	0	0
Q QUARTER	314 SF	0	0	0
TOTAL SHADE AREA PROVIDED			3,454 SF	53%

PARKING LOT LANDSCAPE

DESCRIPTION	AREA	PERCENT
PARKING AND BACK-UP AREA	6,502 SF	
PARKING LOT LANDSCAPE	1,459 SF	22%

SITE LANDSCAPE AREA

DESCRIPTION	AREA	PERCENT
GROSS PROJECT AREA	38,229 SF	
TOTAL LANDSCAPE AREA	7,699 SF	20%

AB 1881 IRRIGATION NOTE

THIS LANDSCAPE HAS BEEN DESIGNED TO UTILIZE LOW TO MODERATE WATER USE GRASSES, SHRUBS, AND TREES. THE DESIGN INTENT IS TO GROUP PLANTINGS INTO HYDROZONES ALLOWING FOR MINIMAL WATER USE FOR OPTIMAL PLANT PERFORMANCE. THE PLANTS WILL BE IRRIGATED BY MEANS ON AN AUTOMATICALLY CONTROLLED LOW VOLUME DRIP IRRIGATION SYSTEM. THE CONTROLLER WILL ALSO FEATURE A RAIN/ FREEZE SHUT OFF SWITCH AS WELL AS REAL-TIME EVAPOTRANSPIRATION ADJUSTMENT TO ALLOW FOR FURTHER OPTIMIZATION OF IRRIGATION WATER. THE LANDSCAPE CALCULATIONS WILL BE PROVIDED TO DEMONSTRATE THAT THE ESTIMATED WATER USE FOR THE PROJECT WILL NOT EXCEED THE MAXIMUM APPLIED WATER ALLOWANCE (MAWA), IN ACCORDANCE WITH THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). CONTRACTOR WILL PERFORM A HORTICULTURAL SOILS ANALYSIS AND AMEND SOIL AS PER THE ANALYTICAL LABORATORIES RECOMMENDATIONS PRIOR TO ANY PLANTING.

TREE LIST

SYMBOL	BOTANICAL NAME/COMMON NAME	WATER USE	SIZE	QTY	REMARKS
TREES					
	ZELKOVA SERRATA SAWLEAF ZELKOVA	MED	15 GAL.	3	STANDARD FORM. SHADE CALCULATED WITH 40' CANOPY AS PER CITY OF UKIAH REQUIRED PARKING LOT TREE LIST. SEE DESIGN DEVELOPMENT, SHEET 2.

SHRUB/ SOD LIST

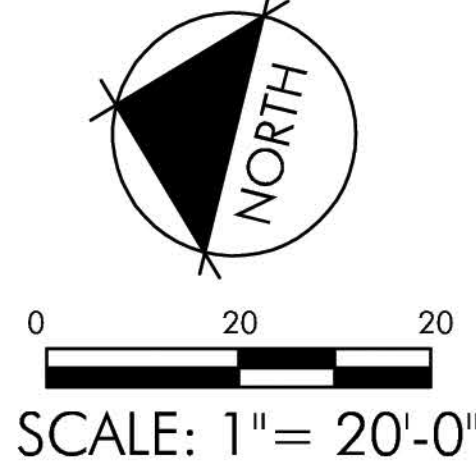
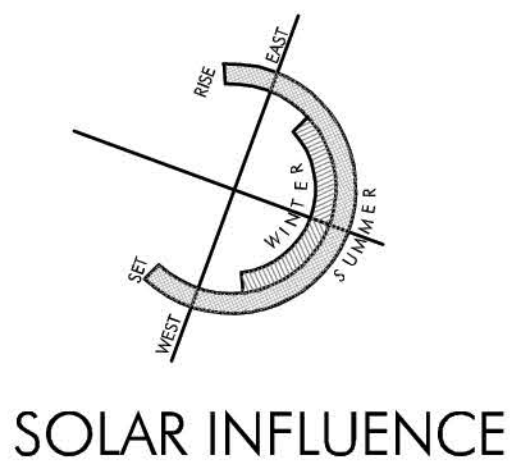
SYMBOL	BOTANICAL NAME/COMMON NAME	WATER USE	SIZE	QTY	REMARKS
SHRUBS					
	ARCTOSTAPHYLOS 'HOWARD MCMINN' MCMINN MANZANITA	LOW	5 GAL.	9	SEE DESIGN DEVELOPMENT, SHEET 2.
	HETEROMELES ARBUTIFOLIA TOYON	LOW	5 GAL.	49	SEE DESIGN DEVELOPMENT, SHEET 2.
	CERCIS OCCIDENTALIS WESTERN REDBUD	LOW	5 GAL.	3	SEE DESIGN DEVELOPMENT, SHEET 2.
	RIBES SANGUINEUM RED FLOWERING CURRANT	LOW	5 GAL.	5	SEE DESIGN DEVELOPMENT, SHEET 2.
	DIETES IRIDIODES AFRICAN IRIS	LOW	5 GAL.	12	SEE DESIGN DEVELOPMENT, SHEET 2.
SOD (NON-MOWED)					
	BIOFILTRATION SOD PURPLE NEEDLEGRASS - NASSELLA PULCHRA (CALIFORNIA'S STATE GRASS) MOLATE FESCUE - FESTUCA RUBRA CALIFORNIA BARLEY - HORDEUM CALIFICNICUM MEADOW BARLEY - HORDEUM BRACHYANTHERUM BRACHYANTHERUM	MED	SOD	6,410 SF	SEE DESIGN DEVELOPMENT, SHEET 2. . CONTACT DELTA BLUEGRASS: 800-637-8873

PLAN LEGEND

SYMBOL	DESCRIPTION
1	PROPERTY LINE. SHOWN FOR REFERENCE ONLY. SEE CIVIL ENGINEER'S PLANS.
2	EXISTING FIRE HYDRANT. TO REMAIN
3	LIMIT OF SITE DEVELOPMENT PERMIT WORK AREA.
4	EXISTING TREES. TO REMAIN. RETAIN AND PROTECT.
5	NOT A PART OF THIS PROJECT.
6	FLOWLINE OF VEGETATED SWALE. SHOWN FOR REFERENCE ONLY. SEE PLANS BY CIVIL ENGINEER
7	ROOT BARRIER. TYPICAL AT ALL PARKING LOT TREES AND TREES WITHIN 4 FEET OR CLOSER OF HARDSCAPE.
8	STEEL HEADER. INSTALL TO DEFINE LIMITS OF BIOFILTRATION SOD AND TO SEPARATE BIOFILTRATION SOD AND LANDSCAPE TOP DRESSING AT LANDSCAPE PLANTERS.
9	PARKING AND BACK-UP AREA. FOR USE IN PARKING LOT SHADE AND LANDSCAPE CALCULATIONS.
10	DECORATIVE 8 FOOT HIGH, BLACK TUBE STEEL, CURVED TOP FENCE, NO CLIMB SECURITY FENCING WITH SECURITY FINIALS. SEE DESIGN DEVELOPMENT.
11	BICYCLE PARKING. INVERTED 'U' STYLE RACK. 2 BIKE CAPACITY. SEE DESIGN DEVELOPMENT.
12	EXISTING WOOD FENCE. TO REMAIN.
13	AREA LIGHT. POLE-MOUNTED, DARK SKIES COMPLIANT, LED AREA LIGHTS. 12 FOOT LUMINERE HEIGHT. SEE DESIGN DEVELOPMENT.
14	BUILDING WALL PACK LIGHTING. DARK SKIES COMPLIANT, LED AREA LIGHTS. SHOWN FOR REFERENCE ONLY. SEE DESIGN DEVELOPMENT.
15	EXISTING CHAIN LINK FENCING . TO REMAIN.
16	GATE. MATCH DECORATIVE 8 FOOT HIGH SECURITY FENCING .

FOWLER AUTOMOTIVE, UKIAH
PRELIMINARY LANDSCAPE PLAN (SHEET 1 OF 2)

Prepared for:
GUILLON, INC
2550 LAKE WEST DRIVE SUITE 50
CHICO, CA 95928



Prepared by:
BRIAN FIRTH LANDSCAPE ARCHITECT, INC.
627 BROADWAY, SUITE 220, CHICO, CALIFORNIA 95928
PHONE: (530) 899-1130
www.BFLAdesign.com

DATE: SEPTEMBER 16, 2021
PROJECT NUMBER: 2249
DRAWN: JBB



ZELKOVA SERRATA
SAWLEAF ZELKOVA



ARCTOSTAPHYLOS 'HOWARD MCMINN'
MCMINN MANZANITA



HETEROMELES ARBUTIFOLIA
TOYON



CERCIS OCCIDENTALIS
WESTERN REDBUD



RIBES SANGUINEUM
RED FLOWERING CURRANT



DIETES IRIDIOIDES
AFRICAN IRIS



BIOFILTRATION SOD

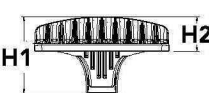
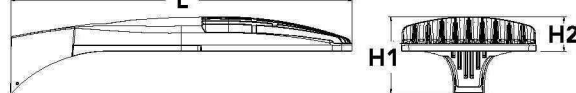
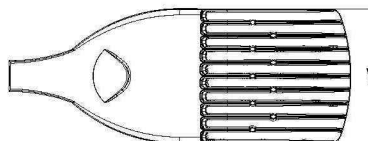


D-Series Size 1
LED Area Luminaire

UL LISTED ETL LISTED ICES LISTED

Buy American

Specifications	
EPA:	1.01 ft ² (0.094)
Length:	33" (838mm)
Width:	13" (330mm)
Height H1:	7-1/2" (190mm)
Height H2:	3-1/2" (91mm)
Weight (max):	27 lbs (12.3kg)



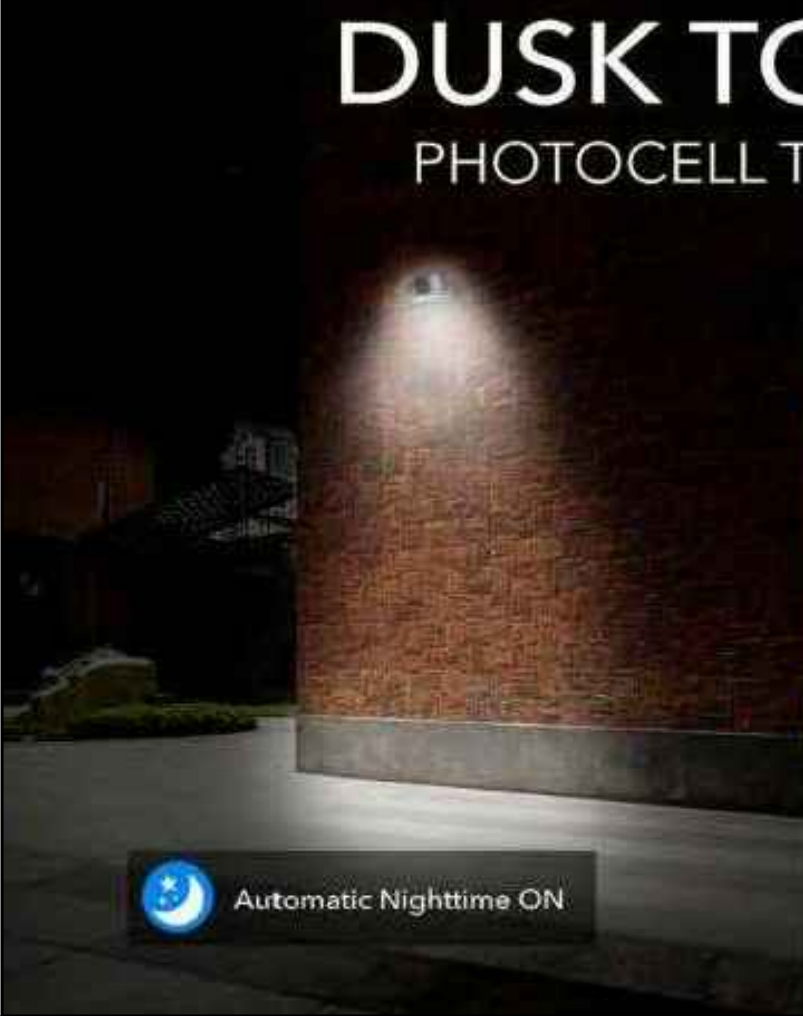
Introduction
The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

For the latest releases and changes to our specifications, visit us at [www.bfla.com](#)

AREA LIGHT. POLE-MOUNTED, DARK SKIES COMPLIANT, LED AREA LIGHTS. 12 FOOT LUMINERE HEIGHT



DUSK TO DAWN
PHOTOCELL TECHNOLOGY



 Automatic Nighttime ON

 Automatic Daytime OFF

Lighting fixture in the picture is the "ARC50-PC-4K-BZ"

BUILDING WALL PACK LIGHTING. DARK SKIES COMPLIANT, LED AREA LIGHTS. SHOWN FOR REFERENCE ONLY



DECORATIVE 8 FOOT HIGH, BLACK TUBE STEEL, CURVED TOP FENCE, NO CLIMB SECURITY FENCING WITH SECURITY FINIALS



BICYCLE PARKING. INVERTED 'U' STYLE RACK. 2 BIKE CAPACITY

FOWLER AUTOMOTIVE, UKIAH

DESIGN DEVELOPMENT (SHEET 2 OF 2)

Prepared for:
GUILLON, INC
2550 LAKE WEST DRIVE SUITE 50
CHICO, CA 95928

DATE: SEPTEMBER 16, 2021
PROJECT NUMBER: 2249
DRAWN: JBB

Prepared by:
 **BRIAN FIRTH LANDSCAPE ARCHITECT, INC.**
627 BROADWAY, SUITE 220, CHICO, CALIFORNIA 95928
PHONE: (530) 899-1130 www.BFLAdesign.com

Flush Panel

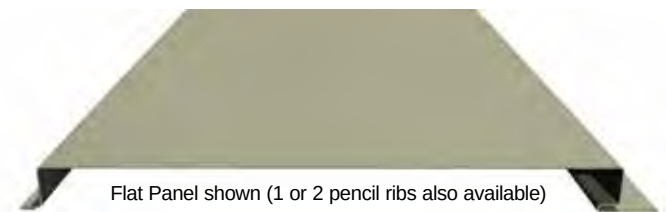
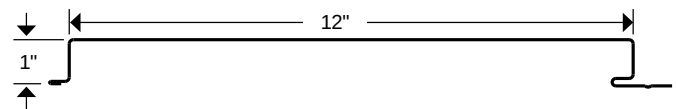


CLEAN LINES FOR A DISTINCT DESIGN

Flush Panel is a low profile, concealed fastener panel ideal for wall, soffit, fascia, and mechanical screen applications. Available in both flat and vented panels, Flush Panel provides a distinct design for any project.

Features and Benefits:

- Tested in accordance to ASTM E1592 and ASTM E283 & E331.
- Available in standard 24ga for soffit or fascia applications and 22ga for wall applications.
- Select from a variety of standard and premium finishes. Refer to AEP Span Color Charts for full range of color options and paint systems.
- 40 year Limited Warranty, including Vented Flush Panels.
- Available in flat, vented, and 1 or 2 pencil ribs. Vented panels can be used for exterior screen applications.
- Venting available with no additional lead times.
- Optional venting provides 7.8% open area (11.3 in²/ft² panel).
- Panel design allows for horizontal and vertical wall application, 22ga or heavier is required. (Inquire for heavier gauges)
- Sealant is not factory applied.



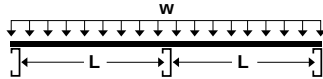
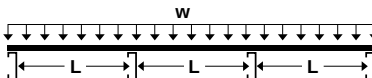
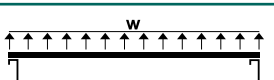
Flush Panel

Properties									Standard Finishes	
Gauge	Base Steel Thickness (in)	Yield (ksi)	Tensile (ksi)	Wt. (lbs/ft ²)	I+ (in ⁴ /ft)	S+ (in ³ /ft)	I- (in ⁴ /ft)	S- (in ³ /ft)	Metallic Coating	Paint System
24	0.0232	50	65	1.30	0.0282	0.0338	0.0368	0.0381	AZ50	Cool Dura Tech™ 5000 (polyvinylidene fluoride) or Dura Tech™ mx (metallic polyvinylidene)
22	0.0294	50	55	1.64	0.0374	0.0493	0.0478	0.0503	AZ50	

NOTES: The moments of inertia, I⁺ and I⁻, presented for determining deflection are: (2I_{Effective} + I_{Gross})/3

Gauge	Span	Cond.	Allowable Inward Loads (lbs/ft ²) per Span (ft.-in.)						
			2' - 0"	2' - 6"	3' - 0"	3' - 6"	4' - 0"	4' - 6"	5' - 0"
24	Single Span	ASD, W/Ω	168	108	75	55	42	33	27
		L/180	-	-	-	-	38	27	20
	Double Span	ASD, W/Ω	159	108	77	58	45	35	29
		L/180	-	-	-	-	-	-	-
	Triple Span	ASD, W/Ω	187	129	93	70	55	44	35
		L/180	-	-	-	-	-	-	-
22	Single Span	ASD, W/Ω	246	157	109	80	62	49	39
		L/180	-	-	-	76	51	36	26
	Double Span	ASD, W/Ω	208	141	101	76	59	47	38
		L/180	-	-	-	-	-	-	-
	Triple Span	ASD, W/Ω	244	169	122	93	72	58	48
		L/180	-	-	-	-	-	-	-

Gauge	Allowable Outward Loads (lbs/ft ²) per Span (ft.-in.)						
	2' - 0"	2' - 6"	3' - 0"	3' - 6"	4' - 0"	4' - 6"	5' - 0"
24	66	60	55	49	43	38	32
22	112	101	89	78	67	55	44

Inward Loads	Single Span		NOTES: The information in these tables applies to uniform loads only. The upper values, ASD (W/Ω) are based on allowable panel strength. L/180 values based on allowable service load deflections. Table values denoted by "-" indicate that capacities are limited by panel strength vs. deflection. Values are based on AISI S100-07/S2-10. Maximum allowable outward load capacities are shown and dependent upon fastener-to-substrate capacities. Specifications subject to change without notice.
	Double Span		
	Triple Span		
Outward Loads			

Oil Canning : All flat metal surfaces can display waviness commonly referred to as "oil canning". "Oil canning" is an inherent characteristic of steel products, not a defect, and therefore is not a cause for panel rejection.



Roof:
White Single Ply
Roof Membrane



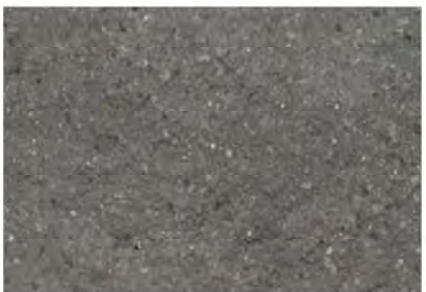
Overhead Rolling Garage Doors
and Steel Doors and Frames:
Paint to match Bonelli
Oil Rubbed Bronze



CMU Smooth Color A:
CastleLite Block LLC
Precision Smooth
Color: Tan#145



Windows:
Bonelli
Color: Oil Rubbed Bronze 69/60040



CMU Split-Face Color B:
CastleLite Block LLC
Split-Face
Color: Gray#310



Metal Siding:
AEP SPAN - Flush Panel-
Flat with 1 Pencil RIB
Color: Old Town Gray

ORDINANCE NO. 1213**ORDINANCE OF THE CITY COUNCIL OF THE CITY OF UKIAH AMENDING THE AIRPORT INDUSTRIAL PARK PLANNED DEVELOPMENT**

The City Council of the City of Ukiah hereby ordains as follows:

Section One

The purpose of this amendment to the Airport Industrial Park (AIP) Planned Development Ordinance No. 1141, adopted on May 15, 2013, amended by Ordinance No. 1146, adopted on January 15, 2014, as revised by Ordinance No. 1173, adopted as an urgency ordinance on November 16, 2016, and Ordinance No. 1178, adopted on June 21, 2017 is to change the Land Use Designation on ± 2.64 acres of land currently zoned designated "Professional Office" to "Industrial/Auto Commercial" to allow for development of an auto wash/detail facility and paved parking for auto sales inventory.

Section Two

The change in the land use designations will decrease the amount of land designated Professional Office by ± 2.64 acres and increase the land designated "Industrial/Auto Commercial" by ± 2.64 acres, to a total of ± 6.93 acres

Section Three

This amendment to the AIP Planned Development Ordinance is exempt from the requirements of the California Environmental Quality Act pursuant to CEQA Guidelines Section 15332, Class 32 In-fill Development Projects.

Section Four

The overall purpose of the AIP Planned Development is to provide for a coordinated development of compatible industrial, office, and commercial land uses, and to protect and preserve the pond and wetland area within the AIP. It details both allowed and permitted uses within each land use category, regulates nuisances, and provides development standards and design guidelines. The AIP Planned Development is consistent with the "Master Plan" land use designation for the property contained in the Ukiah General Plan.

Section Five

This Ordinance also formally amends the Land Use Map (Exhibit "A") that illustrates which land use designations are assigned to the various properties throughout the Airport Industrial Park. The map shows the approximate ± 2.64 acres located at 1117 Commerce Drive (APN 180-070-03) being re-designated from "Professional Office" to "Industrial/Auto Commercial". The land use designations apply to the 138- acre Airport Industrial Park in the following manner:

1. **Professional Office:** Applies to the northwest portion of the site, bounded by Talmage Road on the north, Airport Park Boulevard on the east, and Commerce Drive on the south, with the exception of 1117 Commerce Drive (± 9.67 acres).
2. **Highway Commercial:** Applies only to the northeastern portion of the site, bounded by Talmage Road to the north, Airport Park Boulevard to the west, Highway 101 to the east, and the existing large commercial retail store property to the south (approximately 1.4 acres).
3. **Retail Commercial:** Applies to 13.44 acres north of Commerce Drive, and approximately 38.71 acres south of Commerce Drive, bounded by Airport Park Boulevard on the west, and Highway 101 on the east (approximately 52.3 acres).

4. **Industrial:** Applies to the property situated at the southern end of the Airport Industrial Park (approximately 18.3 acres).
5. **Industrial/Automotive Commercial:** Applies to ±6.93 acres east of Airport Park Boulevard between Retail Commercial designated lands located on the north and south ends of the Airport Industrial Park Planned Development, and 1117 Commerce Drive. These ±6.93 acres include A PNs 180-070-03, 180-080-56, 180-080-60, 180-080-61.
6. **Light Manufacturing/Mixed -Use:** Applies to the lands west of Airport Park Boulevard south of Commerce Drive. Includes the (2) acres adjacent to and north of the existing Mendocino Brewing Company parcel, and the approximate one (1) acre west of and adjacent to the existing pond. It also includes the approximate 3.27 acres east of Airport Park Boulevard south of the Retail Commercial designated lands and north of the existing pond (approximately 32.8 acres).
7. **Open Space:** Applies to the +/- 2.47 acres of pond and wetlands east of Airport Park Boulevard in the southern portion of the Park.
8. **Roads and Landscaping:** Approximately 14.2 acres.
9. **Total Acreage AIP:** Approximately 138 acres.

Section Six

The AIP Planned Development was originally approved by City Council Resolution No. 81-59 on March 4, 1981, embodied in Use Permit No. 81-39. It was amended and further articulated in 1991 when the City Council adopted Resolution No. 91-4. In 1992, the City Council adopted a revised Ordinance (929) to allow "General Commercial" in addition to the approved "Highway Oriented Commercial" land uses in the area bounded by Talmage Road on the north, Highway 101 on the east, Commerce Drive on the south, and Airport Park Boulevard on the west. This Ordinance also created the Planned Development Ordinance out of what was previously a Use Permit. On June 19 1996, the City Council adopted Ordinance 964, which amended the AIP Planned Development to make it a more organized and useable set of regulations. On October 30, 1996, the Planned Development was amended again by the adoption of Ordinance 964, which created an Industrial/Automotive Commercial Land Use Designation for the 16 acres directly south of the home improvement center/hardware store facility east of Airport Park Boulevard. On April 2, 1997, the Planned Development was amended by the adoption of Ordinance 991, which permitted drive-thru restaurants on the lands designated as Highway Commercial. On November 3, 1999, the Ordinance was amended by Ordinance 1024 to designate the 32 acres south of Hastings Avenue and west of Airport Park Boulevard as Industrial/Mixed-Use. On September 6, 2000, the Ordinance was revised by Ordinance 1030 to list hotels and sit-down restaurants as "allowed" uses in the Professional Office Land Use Designation. On January 7, 2004, the Ordinance was amended by Ordinance 1051 to change the "Industrial Mixed Use" designation to "Light Manufacturing/Mixed Use," and to establish new standards for commercial, professional office, light manufacturing, and low density residential land uses in the Light Manufacturing/Mixed- Use area that are separate from those contained in **Section "G" of this Ordinance.** On August 1, 2007, the Ordinance was amended by Ordinance 1098 to change the land use designation on approximately 14.5 acres of land in the southern portion of the Airport Industrial Park Planned Development east of Airport Park Boulevard. Ordinance 1098 changed the land use designation of approximately 8 acres of land designated Industrial/Automotive Commercial to Light Manufacturing/Mixed Use, and changed the land use designation of approximately 6.5 acres designated Industrial to Light Manufacturing/Mixed Use. Ordinance 1146 adopted on January 15, 2014 changed the land use Designation on: 1) approximately 4.1 acres that was designated Industrial/Automotive Commercial to Retail Commercial; and 2) on approximately 11.2 acres of Light Manufacturing/Mixed Use to Retail Commercial in order to allow the development of the Costco Warehouse and Fueling Station Project. The change in the land use designations increased the amount of land designated Retail Commercial by +/- 15.3 acres and decreased the

amount of land designated Industrial/Auto Commercial by +/- 4.1 acre. It also decreased the amount of land designated Light Manufacturing/Mixed Use +/- 11.2 by acres respectively. Ordinance 1178, adopted on June 21, 2017 changed the land use designation for ±4.1 acres in the AIP from Industrial/Automotive Commercial land use designation and ±11.2 acres from the Light Manufacturing/Mixed Use land use designation, to the Retail Commercial land use designation.

Section Seven

AIP Planned Development, as amended herein, provides a mixture of industrial, commercial, low density residential, office, and open space land uses within a Planned Development (PD), consistent with the City of Ukiah General Plan Master Plan land use designation.

Section Eight

The Development Map (Generalized Land Use Map) for this Planned Development, as well as the design guidelines and development standards constitute the Concept Development Plan, as required by Article 14, Chapter 2 (Zoning), Division 9 of the Ukiah City Code. The Development Map (Generalized Land Use Map) attached as Exhibit "A", is approved.

Section Nine

Development standards not addressed in the Planned Development regulations shall be those specified in Chapter 2 (Zoning), Division 9 of the Ukiah City Code.

Section Ten

Amendment to this Ordinance requires City Council action. All Major Variance, Use and Site Development Permits for proposed developments within the AIP require City Planning Commission review and action. Minor permits are subject to the review and action by the City Zoning Administrator. Decisions on Major and Minor Variance, Site Development and Use Permits made by the City Planning Commission or Zoning Administrator are appealable to the City Council pursuant to Section 9266 of the Ukiah Municipal Code.

Section Eleven

Some small commercial land uses may be permitted on the Industrial designated land if they are primarily intended to provide commercial type services to employees within the Airport Industrial Park.

Section Twelve

This version of the Airport Industrial Park (AIP) Planned Development supersedes all past versions, and shall govern and regulate the growth and development within the AIP.

Section Thirteen

The regulations for this Planned Development, as required in Article 14, Chapter 2, Division 9, of the Ukiah City Code are as follows:

A. INDUSTRIAL DESIGNATION

1. Allowed Uses

The following industrial uses are allowed in the Industrial designation with the securing of a Site Development Permit.

- a. Manufacturing - activities or operations involving the processing, assembling, blending, packaging, compounding, or fabrication of previously prepared materials or substances into new products.
- b. Warehouse and Distribution Activities - includes warehousing, and storage not available to the general public; warehousing and distribution activities associated with manufacturing, wholesaling, or non-retail business uses; delivery and transfer services;

freight forwarding ; moving and storage; distribution terminals for the assembly and breakdown of freight; or other similar use involving shipping, warehousing , and distribution activities.

- c. Wholesaling and Related Uses - includes establishments engaged in wholesale trade or warehousing activities including maintaining inventories of goods; assembling, sorting, and grading goods into large lots; breaking bulk and redistribution in smaller lots; selling merchandise to retailers, industrial, commercial , institutional, or business users, or other wholesalers.
- d. Contractor's Offices - includes business office for building, plumbing, electrical, roofing, heating, air conditioning, and painting contractors including storage of incidental equipment and supplies.
- e. Agricultural - allowed as a continuation of the existing land use, including all necessary structures and appurtenances .
- f. Research and Development Laboratories, and computer and data processing.
- g. Accessory Uses and Structures - activities such as administrative offices and warehouses which are related and ancillary to an allowed use. Ancillary structures containing ancillary uses shall be located on the same parcel as the primary use/structure, and shall not exceed 25% of the gross floor area of structure(s) containing the primary use.

2. Permitted Uses

The following small commercial, business support, and repair service land uses may be permitted in the Industrial land use designation with the securing of a Use Permit, provided they are situated on a parcel no larger than one-half acre in size, and do not exceed 20 percent of the total land dedicated to the Industrial Land Use Designation:

- a. Delicatessen, sandwich shop, or small sit-down restaurant (no drive-thru restaurants shall be permitted).
- b. Small grocery or convenience store.
- c. Banking facility.
- d. Child day-care facility.
- e. Industrial and business support services - establishments primarily engaged in providing services to business and industry, such as blueprinting and photocopying, janitorial and building maintenance, equipment rental and leasing, medical labs, commercial testing laboratories and answering services.
- f. Public Facilities - includes all public and quasi-public facilities such as utility substations, post offices, fire stations, and government offices.
- g. Repair Services - includes repair services such as radio and television, furniture, automotive repair, body and fender shops.
- h. Communication Installations - includes radio and television stations, telegraph and telephone offices, cable T.V., and microwave stations.

B. PROFESSIONAL OFFICE DESIGNATION

1. Purpose

The purpose of the Professional Office Land Use Designation is to provide opportunity for a variety of business and professional offices, as well as a limited number of highway commercial land uses. Land uses such as child care facilities, delicatessens, and small retail stores and shops are intended to be ancillary components to professional office development projects, and the limited highway commercial land uses.

2. General Requirements

- a. Child care facilities, delicatessens, and small commercial retail stores and shops shall not exceed 20 percent of the total developable square footage of any one parcel. The resulting square footage that comprises this 20 percent shall only be developed with individual store/shop spaces that do not exceed 2,000 square feet in size.

3. Allowed Uses

The following uses are allowed in the Professional Office designation with the securing of a Site Development Permit:

- a. Professional and business offices such as accountants, engineers, architects, landscape architects, surveyors, attorneys, advertising, consultants, bookkeeping, medical and dental offices, and other similar activities.
- b. Business and office support services - includes services such as branch banks, savings and loan, credit unions, insurance brokers, real estate sales, blueprinting and photocopying and answering services.
- c. Child day-care facility.
- d. Retail commercial in the built-out northwest portion of this area outside the boundaries of the Redwood Business Park.
- e. Hotels and sit-down restaurants (no drive-thru restaurants).

4. Permitted Uses

The following uses are permitted in the Professional Office Designation with the securing of a Use Permit:

- a. Delicatessen and sandwich shop.
- b. Small grocery or convenience store.
- c. Small retail commercial stores and shops of 2,000 square feet or less, and in combination not exceeding 20 percent of the total developable square footage on a parcel.

C. HIGHWAY COMMERCIAL DESIGNATION

1. Allowed Uses

The following uses are allowed in the Highway Commercial designation with the securing of a Site Development Permit:

- a. Businesses such as motels, sit-down and drive-thru restaurants, service stations, and other similar uses that provide services and merchandise primarily to highway travelers.
- b. Retail commercial stores.

D. RETAIL COMMERCIAL DESIGNATION

1. Allowed Uses

The following uses are allowed in the Retail Commercial designation with the securing of a Site Development Permit:

- a. Retail commercial stores.
- b. Child day-care facility.
- c. Delicatessen, sandwich shop, and ice cream parlor.

2. Permitted Uses

The following uses are permitted in the Retail Commercial designation with the securing of a Use Permit:

- a. Restaurants (no drive-thru restaurants).
- b. Small grocery or convenience store.
- c. Banking facility.

E. INDUSTRIAL/AUTOMOTIVE COMMERCIAL DESIGNATION

1. Allowed Uses

The following uses are allowed in the Industrial/Automotive Commercial Land Use Designation with the securing of a Site Development Permit:

- a. All the allowed industrial uses listed in Item A (1) above.
- b. Automobile dealerships, except for those that exclusively sell used vehicles.

2. Permitted Uses

The following uses are allowed in the Industrial/Automotive Commercial Land Use Designation with the securing of a Use Permit:

- a. All the permitted industrial land uses listed in Item A (2) above.
- b. Delicatessen, sandwich shop, or small sit-down restaurant (no drive-thru restaurants).
- c. Automotive service (gas) station.
- d. Small grocery store, mini-market, or convenience store.
- e. Uses related to automobile dealerships such as tire stores, auto parts stores, car-washing facilities, automobile repair business, etc.

F. LIGHT MANUFACTURING/MIXED-USE DESIGNATION

1. Purpose and Intent

The purpose of the Light Manufacturing I Mixed-Use land use designation is to provide for a compatible mix of light manufacturing activities, commercial land uses, professional offices, and limited low-density residential uses. The intent is to provide an opportunity for a diversity of land uses to locate near each other that would typically be viewed as incompatible, but because of creative site planning and design, they can function in harmony without adversely impacting one another. For example, the Ordinance permits "live-work" land uses where small dwelling units can be incorporated into low intensity light manufacturing or warehousing

operations. There is also opportunity for low-density apartments to be situated above commercial shops and professional offices.

The purpose of the Light Manufacturing/Mixed-Use designation is also to promote Smart Growth and New Urbanism planning techniques. The Ordinance contains design standards that will lead to the development of office, light manufacturing, commercial, and residential uses in a pedestrian oriented, aesthetically pleasing, mixed-use neighborhood.

The Ordinance requires light manufacturing land uses, if proposed, to be situated along the railroad tracks on the rear of the parcels, and to develop other land uses along the front of the parcels on Airport Park Boulevard, except for the parcels east of Airport Park Boulevard where light manufacturing land uses can occur anywhere on the parcels with the required yard setbacks. The majority of parking facilities are required to be situated in-between the light manufacturing and commercial land uses in the middle of the parcels, rather than along the Airport Park Boulevard frontage.

The land uses along Airport Park Boulevard are held to a higher design and site planning standard than the light manufacturing land uses, because it is situated in the more visible location, and because light manufacturing land uses are highly desired and a lesser design standard provides an inherent incentive.

It is possible to develop full light manufacturing, office, or commercial land uses on a parcel, provided they are laid out and designed to be compatible with surrounding land uses. Professional office and commercial land uses, if proposed as stand along developments must adhere to a high site planning and design standard.

The regulations are intended to create a compatible mix of land uses with ample landscaping and strategic open areas, pedestrian walkways, and attractive architecture in an inviting scale, with hidden parking and practical functionality.

2. General Requirements

- a. Light manufacturing and warehousing land uses should be located along the railroad tracks on the western portion of the current parcels or anywhere on the designated parcels east of Airport Park Boulevard with the required yard setbacks. Light manufacturing and warehousing can be situated along Airport Park Boulevard if it conforms to the site planning and design standards for commercial development.
- b. The majority of parking spaces for mixed-use development shall be located in-between the light manufacturing/warehousing land uses and the land uses along Airport Park Boulevard. Every attempt shall be made to create parking that cannot be seen from public streets.
- c. Shared access is strongly encouraged between land uses on the same and adjacent parcels to reduce encroachments onto Airport Park Boulevard.
- d. Street trees and a meandering sidewalk are required along Airport Park Boulevard.
- e. The architectural facades for buildings situated along and facing Airport Park Boulevard shall be consistent with Section 5(f) of this Subsection, and shall be designed to soften height, bulk, and mass.
- f. The orientation, height, and design of buildings, as well as the theme for property development shall be based on creating compatibility between land uses.

- g. There is opportunity for low density residential land uses such as apartment units above offices or commercial spaces, but densities are limited west of Airport Park Boulevard because of airport constraints to a total of 60 people per acre on a given parcel.

3. Permitted Land Uses

- a. Notwithstanding Subsection "K", all light manufacturing, commercial, professional office, low density residential, and mixed-use projects require the securing of a Use Permit from the City Planning Commission. The Use Permit process shall include an analysis of site planning and architecture, pursuant to Section 9262 of the Ukiah Municipal Code.

4. Required Findings

- a. Prior to approving a Use Permit for a project situated on land in the Mixed-Use designation, the Planning Commission and/or the City Council shall make the following findings:
 - 1. The proposed land use is consistent with the goals and policies of the Ukiah General Plan, the provisions of the Airport Industrial Park Planned Development Ordinance, the Ukiah Municipal Code, and the Ukiah Airport Master Plan.
 - 2. The proposed land use is compatible with surrounding land uses and will not be detrimental to the public's health, safety and general welfare.
 - 3. There is sufficient variety, creativity, and articulation to the architecture and design of the structure(s) to avoid monotony and/or a box-like uninteresting external appearance.
 - 4. For all land uses other than light manufacturing, there is uniqueness and an exemplary approach to the site planning, design, and architecture, consistent with the Site Planning and Design Standards contained herein, that results in a quality and sophisticated development.
 - 5. The Findings shall not be vague. The findings shall be sufficiently detailed to apprise a reviewing court of the basis for the action by bridging the gap between the evidence and the decision-maker's conclusions, and shall be based upon evidence contained in the administrative record.

5. Site Planning and Design Standards - Commercial Development

The following site planning and design standards are specifically adopted for the Light Manufacturing/Mixed-Use Land Use Designation. They shall apply to all commercial, professional office, low-density residential, and mixed-use development projects not involving light manufacturing/ warehousing unless it is situated along the Airport Park Boulevard street frontage. The Development Standards contained in Section "G" and the Design Standards in Section "I" of this Ordinance shall apply to the Light Manufacturing/Mixed Use designation unless superseded by the following specific standards:

a. Yard Setbacks:

- 1. Front: 25 feet from the Airport Park Boulevard right-of-way.
Architectural features, such as bay windows, porches and landing spaces, column treatments, and similar features may extend up to two-feet into the required front yard setback.
- 2. Side and Rear: The side and rear yard setbacks shall be determined in the discretionary review process. Factors that shall be considered include, but are not

limited to Building Code requirements, traffic circulation, landscaping requirements, softening of the bulk and mass of structures, and compatibility with adjacent structures and land uses.

3. Relief: Relief from the front yard setback requirements may be granted through the approval of a variance pursuant to Chapter 2, Article 20 of the Ukiah Municipal Code.

b. Maximum Building Height:

1. The maximum height of any building or structure shall be 40 feet, provided it complies with the side-slope criteria for the Ukiah Airport.
2. Mechanical penthouse and equipment may extend an additional 10 feet beyond the maximum height provided it is adequately screened from view.
3. Relief: Relief from the height standards may be granted through the discretionary review process if a finding is made that the proposed height is compatible with the scale and character of the development on adjacent and nearby parcels and would not have an adverse impact on the health and safety of the general public.

c. Minimum Lot Area:

1. The minimum lot area for parcels in the mixed-use area shall be determined through the subdivision and/or discretionary review process. In no case shall lots be created that are less than 20,000 square feet in size.

d. Maximum Lot Coverage:

1. Commercial and mixed land uses may cover up to 40 percent of a lot provided that the site planning, architecture, parking, and landscaping are consistent with the requirements of the AIP Planned Development Ordinance.
2. Relief: Relief from the lot coverage standard may be granted through the discretionary review process provided a finding is made that the proposed lot coverage is compatible with the scale and character of the development on adjacent and nearby parcels and would not have an adverse impact on the health and safety of the general public.

e. Building Orientation:

1. Buildings shall be shaped and oriented to take advantage of passive solar energy and solar collection in the winter, and to control solar cooling loads in the summer.
2. Buildings shall be shaped and oriented to be compatible with surrounding land uses in terms of noise, visual privacy, and functionality.

f. Architectural Design:

1. Buildings shall incorporate projecting columns, exterior wainscoting, framed panels, and/or other features to provide relief to large open blank walls.
2. Architectural features such as arches, raised and decorative parapets, decorated and flared cornices, extended eaves and overhangs, balconies, entry insets, and a variety of roof angles and pitches are required to make buildings unique and interesting.
3. Windows shall be used to break up the mass and volume of buildings into smaller components. Buildings shall use different shaped and framed windows in a

coordinated theme. Awnings and other attractive window treatments are strongly encouraged.

4. All four elevations of buildings shall incorporate the architectural design requirements listed above in a reasonable and feasible manner.
5. The use of strong or loud colors as the dominant building color shall not be permitted. The dominant colors used on buildings shall be subdued and earth tone in nature. Colors of buildings shall be compatible with adjoining buildings.
6. Storage areas, loading docks and ramps, transformers, storage tanks, refuse collection areas, mechanical equipment, and other appurtenant items of poor visual quality shall be screened by the use of masonry walls, landscaping materials, or decorative fencing. All roof mounted electrical and mechanical equipment and/or ductwork shall be screened from view by an enclosure which is consistent with the building design. Fences exceeding six (6) feet in height may be appropriate for some commercial and industrial uses to screen the outdoor storage of building materials, supplies, construction equipment, etc. The Planning Commission may consider fences exceeding six (6) on a case-by-case basis during the review of Site Development and Use Permit applications.

g. Signs:

1. The colors, materials, and lighting of every sign on a site shall be restrained and harmonious with the building and site.
2. Freestanding signs shall be tastefully designed with an interesting base, and shall not exceed twelve feet in height from finished grade. If a freestanding sign is placed on a berm, the Planning Commission shall have the discretion to limit its height to less than twelve feet from finished grade. No pole signs are permitted. Freestanding signs shall have a decorative support base.
3. The size and amount of signs shall generally comply with the requirements of the Ukiah Municipal Code (UMC). The Planning Commission shall have the discretion to reduce the size and amount of signs to something less than permitted by the UMC if they make a finding that the proposed size and amount of signage is out of scale with the building and too dominating on the site.
4. Signs are not permitted on the roof or projecting above the roof of any building.
5. Relief: Relief from the sign standards may be granted through the discretionary review process provided a finding is made that the proposed sign is compatible with the scale and character of the development on adjacent and nearby parcels and would not have an adverse impact on the health and safety of the general public.

h. Pedestrian Orientation:

1. Pedestrian walkways shall be included that directly and safely link all parking areas with building entrances, off-site transportation facilities, established sidewalks, and adjacent public rights-of-way.
2. Outdoor pedestrian spaces shall be landscaped and include such features as planters along sidewalks, pedestrian oriented signs, attractive street furniture, low-level lighting, and outdoor seating areas.

3. Lots with frontages along the primary street shall provide a 5-foot wide meandering sidewalk located within the required front setback. The sidewalk may be located over the public utility easement. Every effort shall be made to link developments with attractive and accessible pedestrian facilities.
 4. Secondary streets accessing the rear portion of parcels shall include 5-foot wide sidewalks or alternative pedestrian facilities that link the development on the rear portion of the parcels with Airport Park Boulevard.
- i. Lighting:**
1. Exterior lighting shall be subdued and of low wattage. It shall enhance building design and landscaping, as well as provide safety and security.
 2. Exterior lighting shall not spill out and create glare on adjoining properties, and shall not be directed towards the night sky.
 3. Light standard heights shall be predicated on the lighting need of the particular location and use. Tall lighting fixtures that illuminate large areas shall be prohibited.
 4. Lighting fixtures, standards, and all exposed accessories shall be harmonious with building design, and innovative in style.
 5. All pedestrian and building access areas shall be adequately lighted to provide safety, security, and aesthetic quality, without violating number 2 above.
- j. Energy Conservation:**
1. Passive solar orientation is required. Active solar design is strongly encouraged.
 2. Deciduous trees and/or other vegetation shall be planted on the south side of buildings whenever feasible to increase energy efficiency.
 3. Sunlight shall be used for direct heating and illumination whenever possible.
 4. Solar heating equipment need not be screened, but shall be as unobtrusive as possible and complement the building design. Every effort shall be made to integrate solar panels into the roof design, flush with the roof slope.
- k. Outdoor Storage and Service Areas:**
1. Storage areas shall be limited to the rear of a site, and shall be screened from public view with a solid fence or wall using concrete, wood, stone, brick, or other similar material.
 2. All outdoor storage areas and enclosures shall be screened, when possible, with landscaping.
 3. If trash and recycling areas are required in the discretionary review process, they shall be designed to harmonize with the building and landscaping, and shall be consistent with the size and design requirements of the Ukiah Municipal Code.
- l. Landscaping:**
1. Landscaping shall comply with Section "l" of this Ordinance.
 2. Landscaping Plans shall include outdoor shaded sitting/resting areas for employees and the general public, unless infeasible.

m. Ukiah Airport Master Plan:

1. All development within the Airport Industrial Park shall comply with the Federal Aviation Administration side slope criteria, density requirements ("181" Compatibility Zone = 60 persons per acre Compatibility Zone = 150 people per acre) and all other applicable provisions of the Ukiah Airport Master Plan.

n. Public Utility Easements, Public Streets, and Access Driveways:

1. All Public Utility Easements, Public Streets, and Access Driveways shall comply with Section "H" of this Ordinance.

6. Site Planning and Design Standards for Light Manufacturing and Industrial Development

The Site Planning and Design Standards for Light Manufacturing and Industrial development are less demanding than those for commercial, professional office and mixed-use development. The lesser design standards are meant to encourage and promote light manufacturing and industrial development, particularly along the western portion of the parcels. The Following Site Planning and Design Standards shall apply to all Light Manufacturing and Industrial Development:

a. Yard Setbacks:

1. Front: 25 feet from the Airport Park Boulevard right-of-way if located along the frontage. If the development does not have frontage along Airport Park Boulevard, and is served by a private access easement, the front yard setback shall be determined in the discretionary review process. Architectural features, such as bay windows, porches and landing spaces, column treatments, and similar features may extend up to two-feet into the required front yard setback.
2. Side and Rear: The side and rear yard setbacks shall be determined in the discretionary review process. Factors that shall be considered include, but are not limited, to Building Code requirements, traffic circulation, landscaping requirements, softening of the bulk and mass of structures, and compatibility with adjacent structures and land uses.
3. Relief: Relief from the front yard setback requirements may be granted through the approval of a variance.

b. Maximum Building Height:

1. The maximum height of any building or structure shall be 50 feet, provided it complies with the side-slope criteria for the Ukiah Airport.
2. Mechanical penthouse and equipment may extend an additional 10 feet beyond the maximum height provided it is adequately screened from view.
3. Relief: Relief from the height standards may be granted through the discretionary review process if a finding is made that the proposed height is compatible with the scale and character of the development on adjacent and nearby parcels and would not have an adverse impact on the health and safety of the general public.

c. Minimum Lot Area:

1. The minimum lot area for light manufacturing and industrial development parcels in the mixed-use area shall be determined through the subdivision and/or discretionary

review process. In no case shall lots be created that are less than 20,000 square feet in size.

d. Maximum Lot Coverage:

1. Light manufacturing and industrial land uses may cover up to 60 percent of a lot provided that the site planning, architecture, parking, and landscaping are consistent with the requirements of the AIP Planned Development Ordinance.
2. Relief: Relief from the lot coverage standard may be granted through the discretionary review process provided a finding is made that the proposed lot coverage is compatible with the scale and character of the development on adjacent and nearby parcels and would not have an adverse impact on the health and safety of the general public.

e. Building Orientation:

1. Buildings shall be shaped and oriented to take advantage of passive solar energy and solar collection in the winter, and to control solar cooling loads in the summer.
2. Buildings shall be shaped and oriented to be compatible with surrounding land uses in terms of noise, visual privacy, and functionality.

f. Architectural Design:

1. Buildings shall incorporate projecting columns, exterior wainscoting, framed panels, and/or other features to provide relief to large open blank walls.
2. The use of strong or loud colors as the dominant building color shall not be permitted. The dominant colors used on buildings shall be subdued and earth tone in nature. Colors of buildings shall be compatible with adjoining buildings.

g. Signs:

1. The colors, materials, and lighting of every sign on a site shall be restrained and harmonious with the building and site.
2. Freestanding signs shall be tastefully designed with an interesting base, and shall not exceed eight feet in height from finished grade. If a freestanding sign is placed on a berm, the Planning Commission shall have the discretion to limit its height to less than eight feet from finished grade. No pole signs are permitted.
3. The size and amount of signs shall comply with the requirements of the Ukiah Municipal Code (UMC). The Planning Commission shall have the discretion to reduce the size and amount of signs to something less than permitted by the UMC if they make a finding that the proposed size and amount of signage is out of scale with the building and too dominating on the site.
4. Signs are not permitted on the roof of any building.
5. Relief: Relief from the sign standards may be granted through the discretionary review process provided a finding is made that the proposed sign is compatible with the scale and character of the development on adjacent and nearby parcels and would not have an adverse impact on the health and safety of the general public.

h. Lighting:

1. Exterior lighting shall be subdued. It shall enhance building design and landscaping, as well as provide safety and security.

2. Exterior lighting shall not spill out and create glare on adjoining properties, and shall not be directed towards the night sky.
 3. Light standard heights shall be predicated on the lighting need of the particular location and use. Tall lighting fixtures that illuminate large areas shall be prohibited.
- i. **Outdoor Storage and Service Areas:**
 1. Storage areas shall be limited to the rear of a site, and shall be screened from public view with a solid fence or wall using concrete, wood, stone, brick, or other similar material.
 2. All outdoor storage areas and enclosures shall be screened, when possible, with landscaping.
 - j. **Landscaping:**
 1. Landscaping shall generally comply with Section "I" of this Ordinance, although a lesser amount of landscaping may be approved depending upon the scale, intensity, and visibility of the development.
 - k. **Ukiah Airport Master Plan:**
 1. All development within the Airport Industrial Park shall comply with the Ukiah Municipal Airport Master Plan.
 - l. **Pedestrian Orientation:**
 1. Pedestrian walkways shall be included that directly link all parking areas with building entrances, off-site transportation facilities, established sidewalks, and adjacent public rights-of-way.
 2. Lots with frontages along the primary streets shall provide a 5-foot wide meandering sidewalk located within the required front setback. The sidewalk may be located over the public utility easement. Every effort shall be made to link developments with attractive and accessible pedestrian facilities.
 3. Secondary streets accessing the rear portion of parcels shall include 5-foot wide sidewalks or alternative pedestrian facilities that link the development on the rear portion of the parcels with Airport Park Boulevard.

G. OPEN SPACE

1. Purpose

The purpose of the Open Space land use designation is to provide for the protection and preservation of an existing pond and wetland area and its habitats, to provide contrast to the built environment, to preserve the existing scenic qualities of the area, and to preserve capacity and water quality of the storm water drainage system.

2. General Requirements

All areas designated "Open Space" shall be kept in their natural state except for areas already disturbed with drainage or utility infrastructure, in which case maintenance and repairs may occur. Otherwise, no development is allowed or permitted.

3. Allowed Uses

The following uses are allowed in the Open Space designation:

- a. Open Space

- b. Maintenance and repair of existing drainage and utility infrastructure.
 - c. Restoration of wetlands including, but not limited to removal of non-native vegetation and the replanting with native wetland plant species.
 - d. Trash removal
- 4. Permitted Uses**
The following uses are permitted in the Open Space designation with the securing of a Minor Use Permit:
- a. None
- 5. Minimum Lot Size Requirement**
- a. None
- 6. Prohibited Uses**
- a. Construction and development
 - b. Public Access
 - c. Off-Road vehicle activity, except for City vehicles
 - d. Application of pesticides and/or herbicides

H. NUISANCES

- 1. No lot shall be used in such a manner as to create a nuisance to adjacent parcels. Proposed uses shall comply with the performance criteria outlined below:**
- a. All activities involving the storage of flammable and explosive materials shall be provided with adequate safety devices against the hazard of fire and explosion by adequate fire-fighting and fire suppression equipment and devices standard in industry. All incineration is prohibited.
 - b. Devices which radiate radio-frequency energy shall be so operated as not to cause interference with any activity carried on beyond the boundary line of the property upon which the device is located.
 - c. The maximum sound level radiated by any use of facility, when measured at the boundary line of the property upon which the sound is generated, shall not be obnoxious by reason of its intensity or pitch, as determined by standards prescribed in the Ukiah Municipal Code and/or City General Plan.
 - d. No vibration shall be permitted so as to cause a noticeable tremor beyond the property line.
 - e. Any use producing emissions shall comply with all the requirements of the Mendocino County Air Quality Management District.
 - f. Projects involving the use of toxic materials or hazardous substances shall comply with all Federal, State, and all local Laws and regulations.
- 2. Prohibited Uses or Operations**
Industrial uses such as petroleum bulk stations, cement batching plants, pulp and paper mills, lumber mills, refineries, smelting plants, rendering plants, junk yards, auto wrecking, and similar "heavy industrial" uses which typically create external and environmental effects are

specifically prohibited due to the detrimental effect the use may have upon the general appearance, function, and environmental quality of nearby uses.

I. DEVELOPMENT STANDARDS

The following standards have been established to ensure compatibility among uses and consistency in the appearance and character of development. These standards are intended to guide the planning, design, and development of both individual lots and the entire Airport Industrial Park. Projects shall be reviewed on a case-by-case basis for high quality design, efficient function, and overall compatibility with surrounding land uses.

1. Minimum Lot Requirement

The minimum lot area shall be 20,000 square feet. Each lot shall have a minimum frontage of 100 feet on a public street. Except for lots fronting on Airport Park Boulevard, or other public streets shown on the Land Use Map, access easements to a public street may be authorized in lieu of public street frontage in the discretion of the appropriate decision-maker and with the approval of the City Engineer. Proposed access easements shall be consistent with the standards contained in Table 4-1. The Planning Commission may approve a public street frontage of less than 100 feet for lots located on cul-de-sacs, street curves, or having other extraordinary characteristics.

2. Maximum Lot Coverage

No more than 40 percent of the lot shall be covered by buildings or structures. Above ground parking lots and landscaping areas shall not be included in the calculation of lot coverage. Industrial land uses may cover a maximum of 60 percent of a lot provided that the site planning, architecture, parking, and landscaping are consistent with the requirements of the AIP Planned Development Ordinance.

3. Minimum Building Setbacks

All buildings and structures shall be setback from the property line a minimum of 25 feet along the entire street frontage. Lots abutting U.S. Highway 101 shall maintain a minimum setback of 60 feet from the property line adjacent to the freeway. Side yard setbacks shall be determined in the Site Development or Use Permit review process.

4. Maximum Building Height

The maximum height of any building or structure shall be 50 feet. Mechanical penthouse and equipment may extend an additional 10 feet beyond the maximum building height.

5. Ukiah Airport Master Plan

All development within the Airport Industrial Park shall comply with the Federal Aviation Administration side slope criteria, density requirements "B1" Compatibility Zone = 60 persons per acre "C" Compatibility Zone = 150 people per acre) and all other applicable provisions of the Ukiah Airport Master Plan.

6. Screening

Storage areas, loading docks and ramps, transformers, storage tanks, refuse collection areas, mechanical equipment, and other appurtenant items of poor visual quality shall be screened by the use of masonry walls, landscaping materials, or decorative fencing. All roof mounted electrical and mechanical equipment and/or ductwork shall be screened from view by an enclosure which is consistent with the building design. Fences exceeding six (6) feet in height may be appropriate for some commercial and industrial uses to screen the outdoor storage of building materials, supplies, construction equipment, etc. The Planning Commission may consider fences exceeding six (6) on a case-by-case basis during the review of Site Development and Use Permit applications.

7. Public Utility Easement

All lots shall provide a 5-foot easement in the required front setback for the provision of utilities.

8. Sidewalk Requirements

Lots with frontages along the primary street shall provide a 5-foot curvilinear sidewalk located within the required front setback. The sidewalk may be located over the public utility easement. Every effort shall be made to link developments with attractive and accessible pedestrian facilities.

9. Bicycle Lanes

Class III Bicycle lanes shall be provided on all primary streets according to Caltrans standards.

10. Development Integration

Every effort shall be made to "master plan" development within the Airport Industrial Park. Applicants shall be encouraged to coordinate development proposals to ensure compatible architectural themes, high quality site planning, efficient and functional traffic circulation, coordinated pedestrian circulation, and compatible land uses.

11. Required Public Streets

Lot line adjustments, parcel maps, tentative and final subdivision maps, and Site Development and Use Permits shall not be approved, unless public streets identified on the Land Use Map serving the parcels covered by the lot line adjustment, map or permit have been or will be dedicated to the City of Ukiah upon approval of the lot line adjustment, map or permit.

12. Street Width Standards

The following street standards have been established by the Ukiah Department of Public Works. All primary and secondary streets shall be designed and constructed in accordance with these standards:

Table 4-1: Minimum Street Standards

Airport Park Boulevard and Commerce Drive

	Primary	Secondary	Access Easement
1. Right-of-way	66 feet	44 feet	32 feet
2. Pavement	64 feet	40 feet	30 feet
a. travel lanes (2)	14 feet	20 feet	15 feet
b. left turn lane	12 feet	12 feet	
3. Curbs (both sides)	1 foot	1 foot	
4. Cul-de-sac (turn-arounds)	100 feet diameter		
5. Curb Returns Radius	35 feet	35 feet	

13. Access Driveways and Deceleration Lanes

- a. Every effort shall be made to minimize access driveways along Airport Park Boulevard. All driveway and intersection radii shall be designed to accommodate heavy truck turning movements, consistent with the requirements of the City Engineer.
- b. Every effort shall be made to design common driveways for individual developments.
- c. No Talmage Road access shall be permitted for the parcel or parcels located at the southeast corner of Talmage Road and Airport Park Boulevard.

- d. All major driveways, as determined by the City Engineer, shall have left turn pockets in the median area where feasible.
- e. Deceleration and acceleration lanes shall not be required unless the City Engineer determines they are necessary to ensure safety and efficient traffic flow.

14. Minimum Parking and Loading Requirements

- a. No loading or unloading shall be permitted on the street in front of the building. A sufficient number of off-street loading spaces shall be provided to meet the needs of the approved use. Adequate apron and dock space also shall be provided for truck maneuvering on individual lots.
- b. The number of entrance/exit driveways shall be limited to one per every 100 feet of street frontage with a maximum curb cut of 40 feet. The Planning Commission may relax these standards when a comprehensive plan for an entire block has been prepared and presented to the City Planning Commission for review and approval.
- c. Adequate off-street parking shall be provided to accommodate the parking needs of employees, visitors, and company vehicles. The minimum number of off-street parking spaces shall generally be provided according to the requirements of the Ukiah Municipal Code.
- d. The Planning Commission may deviate from the parking requirements contained in the Ukiah Municipal Code on a case-by-case basis. Any deviation must be supported by findings related to a unique use, such as a Mixed-use development, or use not specifically described in the Ukiah Municipal Code, and findings that otherwise demonstrate no on-street parking congestion will result.

15. Signage

Except as indicated elsewhere in this Ordinance, building identification and other signs shall generally comply with the sign regulations for industrial, commercial and office land uses contained in the Ukiah Municipal Code. All proposed development projects shall include a detailed sign program.

J. DESIGN GUIDELINES

The following guidelines shall be used by the Planning Commission when approving a Site Development or Use Permit to ensure high quality design, and the coordination and consistency of development.

1. Landscaping and Open Space

- a. A comprehensive landscape plan shall be submitted for review and approval as a part of the Site Development or Use Permit process.
- b. Existing trees shall be retained whenever possible.
- c. A variety of tree species shall be used that provides diversity in form, texture, and color.
- d. Landscaping at corners should be arranged to maintain traffic visibility.
- e. Landscaping along an entire street frontage should be coordinated to achieve a uniform appearance.
- f. Landscaping shall be proportional to the building elevations.

- g. Landscape plantings shall be those which grow well in Ukiah's climate without extensive irrigation. Native species are strongly encouraged.
- h. All landscape plantings shall be of sufficient size, health and intensity so that a viable and mature appearance can be attained in three years.
- i. Deciduous trees shall constitute the majority of the trees proposed along the south and west building exposures; non-deciduous street species shall be restricted to areas that do not inhibit solar access.
- j. Parking lots with twelve (12) or more parking stalls shall have a tree placed between every four (4) parking stalls within a continuous linear planting strip, rather than individual planting wells, unless clearly infeasible. Parking lot trees shall primarily be deciduous species, and shall be designed to provide a tree canopy coverage of 50 percent over all paved areas within ten years of planting. Based upon the design of the parking lot, a reduced number of trees may be approved through the discretionary review process.
- k. Parking lots shall have a perimeter planting strip with both trees and shrubs.
- l. Parking lots with twelve (12) or more parking stalls shall have defined pedestrian sidewalks or marked pedestrian facilities within landscaped areas and/or separated from automobile travel lanes. Based upon the design of the parking lot, and the use that it is serving, relief from this requirement may be approved through the discretionary review process.
- m. Street trees may be placed on the property proposed for development instead of within the public right-of-way if the location is approved by the City Engineer, based upon safety and maintenance factors.
- n. All new developments shall include a landscaping coverage of 20 percent (20%) of the gross area of the parcel, unless because of the small size of a parcel, such coverage would be unreasonable. A minimum of 50 percent (50%) of the landscaped area shall be dedicated to live plantings.
- o. Landscaping Plans shall include an automatic irrigation system.
- p. All required landscaping for commercial development projects shall be adequately maintained in a viable condition.
- q. The Planning Director, Zoning Administrator, Planning Commission, or City Council shall have the authority to modify the required elements of a Landscaping Plan depending upon the size, scale, intensity, and location of the development project.

2. Orientation and Location of Buildings

- a. The location of buildings shall be coordinated with other buildings and open space on adjacent lots, and should include design elements, oriented to pedestrian usage, such as, linked walkways and sidewalks.
- b. Buildings should be sited to preserve solar access opportunities, and should include passive and active solar design elements.
- c. Buildings should be oriented to minimize heating and cooling costs.

- d. Buildings should be creatively sited to provide open views of the site and surrounding environment.
- e. Buildings shall not be sited in the middle of large parking lots.

3. Architectural Design

- a. Individual projects shall exhibit a thoughtful and creative approach to site planning and architecture.
- b. Projects shall be designed to avoid the cumulative collection of large structures with similar building elevations and facades.
- c. Buildings shall be limited in height, bulk, and mass, and shall be designed to avoid a box-like appearance.

4. Building Exteriors

- a. Colors and building materials shall be carefully selected, and must be compatible with surrounding developments, and shall be finalized during the Site Development or Use Permit process.
- b. The Planning Commission may permit exterior walls of architectural metal where it is compatible with adjacent structures, and the overall appearance and character of the Airport Industrial Park.

5. Lighting

- a. A lighting plan shall be submitted for review and approval with all Site Development and Use Permit applications. All lighting plans shall emphasize security and safety, and shall minimize energy usage.
- b. Lighting for developments shall include shielded, non-glare types of lights.
- c. Lighting shall not be directed towards Highway 101, the Ukiah Municipal Airport, adjacent properties, or upwards towards the sky.

6. Design Amenities

- a. Bicycle parking facilities shall be provided near the entrance to buildings. One (1) bicycle space shall be provided for every ten (10) employees, plus one (1) space for every fifty (50) automobile parking spaces.
- b. Fountains, kiosks, unique landscape islands, outdoor sitting areas, and other quality design amenities are encouraged.

K. CIRCULATION PLAN

The Circulation Plan for the Airport Industrial Park is illustrated on the attached Exhibit "B". As shown, the plan includes points of access at Talmage Road at the north, Hastings Avenue at the northwest, and Airport Road at the southwest. In lieu of the originally envisioned southern access road (Airport Park Boulevard to Norgard Lane) an emergency access is provided through the airport to a future gated encroachment along the southern portion of Airport Road. Internal access includes an extension of Airport Road from the west into the southern portion of the site; Airport Park Boulevard from Talmage Road on the north, extending south to intersect with the Airport Road extension; and Commerce Drive from west to east in the northern portion of the AIP. All streets within the AIP shall be public. Property owners of parcels with frontage along the railroad right-of-way are encouraged to plan for possible future use of the railroad.

L. DISCRETIONARY REVIEW

The discretionary permit review process for development projects within the Airport Industrial Park (AIP) is the same as for discretionary permits elsewhere in the City. As articulated in Section 9 of this ordinance, a Site Development Permit or Use Permit is required for development projects proposed in the AIP.

1. Site Development Permits and Use Permits

- a. As articulated in Section 9 above, development projects within the Airport Industrial Park are subject to the Site Development or Use Permit process, depending upon the proposed use and its location. A Site Development Permit shall not be required for any development proposal requiring a Use Permit. Within the Use Permit review process, all site development issues and concerns shall be appropriately analyzed.
- b. All Major Use Permits, Variances, and Site Development Permits for proposed developments within the Airport Industrial Park require City Planning Commission review and action. Minor Use Permits, Variances, and Site Development Permits shall be subject to Zoning Administrator review and action.
- c. Decisions on Site Development and Use Permits made by the City Planning Commission and Zoning Administrator are appealable to the City Council pursuant to Section 9266 of the Ukiah Municipal Code.
- d. Major modifications to approved Site Development Permits and Use Permits, as determined by the Planning Director, shall require the filing of a new application, payment of fees, and a duly noticed public hearing before the Planning Commission. Minor modifications to approved Site Development Permits and Use Permits, as determined by the Planning Director shall require the filing of a new application, payment of processing fees and a duly noticed public hearing before the City Zoning Administrator.
- e. The Planning Commission's decision on major modifications to an approved Site Development Permit, Variance or Use Permit is appealable to the City Council. The Zoning Administrator's decision on minor modifications to an approved Site Development Permit, Variance or Use Permit is appealable directly to the City Council.

2. Building Modifications

- a. Exterior modifications to existing buildings shall be designed to complement and harmonize with the design of the existing structure and surrounding developments.
- b. A Site Development Permit shall be required for all substantial exterior modifications to existing structures, site design elements, and landscaping within the Airport Industrial Park. The application procedure shall be that prescribed in Article 20 the Ukiah Municipal Code.

Section Fourteen

Whenever a use is not listed in this Planned Development Ordinance as a permitted or allowed use in any of the land use designations, the Planning Director shall determine whether the use is appropriate in the land use designation where the subject property is situated, and make a decision as to whether or not it is an allowed or permitted land use. In making this determination, the Planning Director shall find as follows:

1. That the use would not be incompatible with existing nearby land uses, or the allowed and permitted land uses listed for the particular land use designation.
2. That the use would not be detrimental to the continuing development of the area in which the use would be located.

3. That the use would be in harmony and consistent with the purpose and intent of the Airport Industrial Park Planned Development Ordinance and Ukiah General Plan.
4. In the case of determining that a use not articulated as an allowed or permitted use could be established with the securing of a Use Permit, the Planning Director shall find that the proposed use is similar in nature and intensity to the uses listed as allowed uses. All determinations of the Planning Director regarding whether a use can be allowed or permitted in any land use designation within the Airport Industrial Park shall be final unless a written appeal to the City Council, stating the reasons for the appeal, and the appeal fee, if any, established from time to time by City Council Resolution, is filed with the City Clerk within ten (10) days of the date the decision was made. Appeals may be filed by an applicant or any interested party. The City Council shall conduct a duly noticed public hearing on the appeal in accordance to the applicable procedures as set forth in this chapter. At the close of the public hearing, the City Council may affirm, reverse, revise or modify the appealed decision of the Planning Director. All City Council decisions on appeals of the Planning Director's actions are final for the City of Ukiah.

Section Fifteen

This Ordinance shall be published as required by law and shall become effective thirty (30) days after it is adopted.

Introduced by title only on March 17, 2021, by the following roll call vote:

AYES: Councilmembers Crane, Rodin, Duenas, Brown, and Mayor Orozco
NOES: None
ABSENT: None
ABSTAIN: None

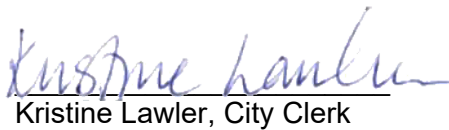
Passed and adopted on April 7, 2021, by the following roll call vote:

AYES: Councilmembers Crane, Rodin, Duenas, Brown, and Mayor Orozco
NOES: None
ABSENT: None
ABSTAIN: None



Juan V. Orozco, Mayor

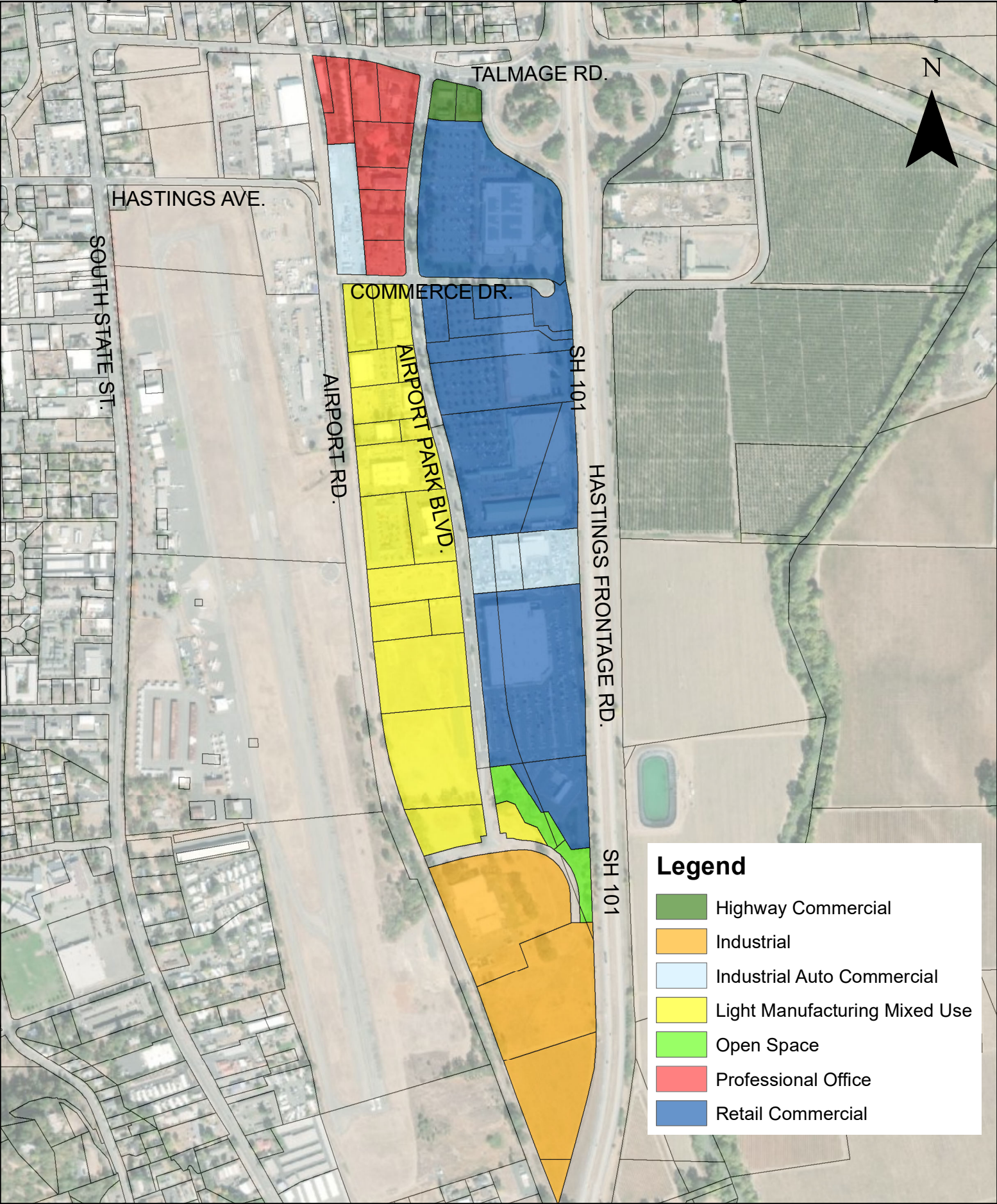
ATTEST:



Kristine Lawler, City Clerk

Exhibit A

Airport Industrial Park Land Use Designation Map





PROJECT DESCRIPTION

The Applicant (Fowler Automotive) now seeks a Major Use Permit to facilitate construction of a 7,973 square foot (sf) concrete masonry structure for the repair, maintenance, cleaning, and detailing of automobiles exclusively associated with Fowler Automotive. Per the AIP-PD Section 13(E)(2)(e), within the Industrial/Automotive Commercial Land Use Designation, "*Uses related to automobile dealership...such as car washing facilities, automobile repair business, etc., require securement of a Use Permit.*"

As requested by the Applicant, development of the Project Site is to be phased. Phase 1 will focus on ±.89 acres situated along the northern and western peripheries of the Project Site. The application, project description, relevant plans and design elements are included as **Attachment 1**. The initial proposed development includes the following components:

- One (1) 7,973 sf building; with a storage room for new and used oil, a storage room for equipment, parts, and supplies, an office including file storage, and a photo-room with an internal car turntable.
 - The proposed auxiliary building would feature two (2) car-wash bays; four (4) detail bays; and five (5) regular bays for automotive repair;
- A total of 16,200 sf of existing pavement would be removed and 18,900 sf of asphalt would be placed for the proposed project.
- A 1,033 sf vegetated swale and five (5) downspouts would border the structure to the north and west, with a 5,804 sf vegetated area and a 136 sf bio-retention area located on the northwest corner of the Site;
- Thirteen (13) new parking stalls would be developed; including (1) ADA compliant stall; bicycle parking is identified;
- Replace existing fencing with 8' black tube steel, curved top, no climb security fencing along portions of the northern, southern and western frontages of the Project Site.
 - o The perimeter fencing includes two (2) electronic rolling gates; Refer to **Attachment 2** for locations of proposed fencing and gate.

Automobile sales will not be conducted from the Project Site, nor will the facilities be open to the general public. Existing uses, particularly automobile inventory storage, as well as the non-conforming structure will be continued. Those aspects are not considered a component of this project.

FINDINGS

Per the plans submitted April 30, 2021, Staff offers the following Findings per Airport Industrial Park Planned Development (AIP-PD) Section J (Design Guidelines) for discussion and consideration of the Design Review Board:

1. LANDSCAPING AND OPEN SPACE

- a) **A comprehensive landscape plan was submitted for review and approval as a part of the Site Development or Use Permit process.**
 - *On April 30, 2021, a comprehensive Landscaping Plan was submitted to the attention of City Staff. It is included for review as **Attachment 2**.*
- b) **Existing trees shall be retained whenever possible.**



AGENDA ITEM NO. 6b

Department of Community Development
300 Seminary Ave.
Ukiah, CA 95482
planning@cityofukiah.com

- *Existing trees will be retained as indicated on the provided Landscaping Plan; identified trees include those situated along the eastern property line. Additionally, while not noted on the landscaping plan, three Sequoia sempervirens near the southeastern corner of the property are to be retained, as they were included as part of the approved landscape plan for the previously approved site development permit and variance.*
- c) A variety of tree species shall be used that provides diversity in form, texture, and color.**
 - *Refer to Tree & Shrub/Sod List included in the Landscaping Plan. A variety of shrubs will be utilized, as well as Sawleaf Zelkova trees, which will provide diversity in form, texture and color.*
- d) Landscaping at corners should be arranged to maintain traffic visibility.**
 - *While landscaping is proposed within corners near the northern periphery, the impacts to traffic are minimized, as the development is clearly separated from the encroachments onto Commerce Drive. That being said, should landscaping be reinserted along Commerce Drive, visibility would need to be reassessed.*
- e) Landscaping along an entire street frontage should be coordinated to achieve a uniform appearance.**
 - *There are no proposals for revised landscaping for the street frontage along Commerce Drive; existing Sequoia trees within this vicinity, however, are to remain. A portion of the frontage along the Great Redwood Trail is to be improved and made uniform by the installation of new perimeter security fencing.*
- f) Landscaping shall be proportional to the building elevations.**
 - *Existing trees will provide proportionality between the proposed improvements and landscaping. Elevations of the proposed improvements are included within **Attachment 1**. Per the AIP-PD, fences exceeding six (6) feet in height may be appropriate for some commercial and industrial uses to screen the outdoor storage of building materials, supplies, construction equipment, etc. The proposed fencing is 8 feet in height. Given the activities and storage of automobiles, this fencing is considered appropriate and an improvement from the existing chain-link presently installed.*
- g) Landscape plantings shall be those which grow well in Ukiah's climate without extensive irrigation. Native species are strongly encouraged.**
 - *Toyon, which is native throughout the western part of California is one of the predominant species featured in the submitted landscaping plan. Additionally, the Sawleaf Zelkova trees are identified by the City of Ukiah Street Tree list as appropriate to provide shade canopy.*
- h) All landscape plantings shall be of sufficient size, health and intensity so that a viable and mature appearance can be attained in three years.**
 - *The Landscaping plan features a mixture of shrubs and trees that will allow for mature appearance within three years.*
- i) Deciduous trees shall constitute the majority of the trees proposed along the south and west building exposures; non-deciduous street species shall be restricted to areas that do not inhibit solar access.**
 - *The western property line will feature a vegetated swale that will not inhibit solar access. Additionally, along the western property line no new*



trees for planting are identified that would inhibit photovoltaic power generation on the subject property should it be pursued.

- j) **Parking lots with twelve (12) or more parking stalls shall have a tree placed between every four (4) parking stalls within a continuous linear planting strip, rather than individual planting wells, unless clearly infeasible. Parking lot trees shall primarily be deciduous species, and shall be designed to provide a tree canopy coverage of 50 percent over all paved areas within ten years of planting. Based upon the design of the parking lot a reduced number of trees may be approved through the discretionary review process.**
- As provided on the Landscaping Plan, there is approximately 6,502 sq ft of 'Parking and Back Up Area' and 3,454 sq ft of total shade area. The resulting canopy coverage is 53%, and satisfies the objective standard. As reviewed, the landscaping plan does not insert trees between every 4 parking stalls. However, three distinct landscaped areas separate the clustered parking and allow for a shared path of travel to the proposed auxiliary structure. The trees utilized are Sawleaf Zelkova, which aligns with the request that trees be deciduous. This finding is only applied to the employee parking area, due to the fact that inventory storage does not necessitate the same space or requirements that are typically associated with commercial parking spaces. Landscaping improvements are not included outside of Phase 1, including the frontage along Commerce Drive. As indicated, this proposed car wash facility is for the exclusive use of Fowler Automotive, and will not be utilized by the general public.*
- k) **Parking lots shall have a perimeter planting strip with both trees and shrub.**
- As provided on the Landscaping Plan, perimeter-planting strips are included to the north and east of the parking lot area.*
- l) **Parking lots with twelve (12) or more parking stalls shall have defined pedestrian sidewalks or marked pedestrian facilities within landscaped areas and/or separated from automobile travel lanes. Based upon the design of the parking lot, and the use that it is serving, relief from this requirement may be approved through the discretionary review process.**
- The provided parking lot includes a dedicated pedestrian facility that traverses the Project Site to provide access from the employee parking area to the auxiliary structure.*
- m) **Street trees may be placed on the property proposed for development instead of within the public right-of-way if the location is approved by the City Engineer. Based upon safety and maintenance factors.**
- Street trees and additional landscaping requirements will be addressed as part of subsequent development. Modification of this Site Development Permit will be required to facilitate future improvements.*
- n) **All new developments shall include a landscaping coverage of 20 percent (20%) of the gross area of the parcel, unless because of the small size of a parcel, such coverage would be unreasonable. A minimum of 50 percent (50%) of the landscaped area shall be dedicated to live plantings.**
- As described in the Application materials, the Phase 1 project area is 38,229 sq ft. 7,699 sq ft of that area is described as landscaped, satisfying the 20% threshold. Beyond the Phase 1 project area, future development*



will require subsequent review of the Design Review Board and the Planning Commission.

- o) Landscaping Plans shall include an automatic irrigation system.**
 - Landscaping will be watered by an automatically controlled low volume drip irrigation system. The controller will feature a rain/ freeze shut off switch. As well as real-time evapotranspiration adjustment to allow for further optimization of irrigation water.*
- p) All required landscaping for commercial development projects shall be adequately maintained in a viable condition.**
 - As conditioned, the Applicant will be required to maintain the installed landscaping so that it remains viable and in alignment with the AIP-PD.*
- q) The Planning Director, Zoning Administrator, Planning Commission, or City Council shall have the authority to modify the required elements of a Landscaping Plan depending upon the size, scale, intensity, and location of the development project.**
 - Given the nature of the development, a phased incremental development is appropriate to ensure the viability for future land uses that may otherwise be considered prohibitive if fully landscaped and developed.*

2. ORIENTATION AND LOCATION OF BUILDINGS

- a) The location of buildings shall be coordinated with other buildings and open space on adjacent lots. and should include design elements, oriented to pedestrian usage, such as, linked walkways and sidewalks.**
 - A shared path of travel is provided from the parking lot area to the auxiliary structure. The location of the auxiliary structure is intentional to ensure that open space remains for future development activities related to automotive or commercial uses.*
- b) Buildings should be sited to preserve solar access opportunities, and should include passive and active solar design elements.**
 - The proposed auxiliary structure is sited so as to preserve existing and future solar access opportunities for the Project Site. The design and coloration of the proposed facility includes passive solar design elements, such as thermal mass, roof color, and appropriately located windows. The ability to open the garage doors also presents opportunity for passive air flow and ventilation.*
- c) Buildings should be oriented to minimize heating and cooling costs.**
 - See Above: While heating and cooling aspects are separate from solar considerations, there are many similar aspects, such as window placement, and materials selection. The bays are designed not to feature HVAC units, relying instead on passive heating and cooling. This design feature minimizes associated costs.*
- d) Buildings should be creatively sited to provide open views of the site and surrounding environment.**
 - By being located in along the northern property line, the improvements are sited so to provide open views of the area utilized for inventory storage.*
- e) Buildings shall not be sited in the middle of large parking lots.**
 - The Building and associated development is intentionally sited to ensure more comprehensive use of the Project Site in the future. The proposed*



auxiliary structure is not sited in the middle of a large parking lot, as it otherwise could be.

3. ARCHITECTURAL DESIGN

- a) Individual projects shall exhibit a thoughtful and creative approach to site planning and architecture.**
 - The Building and associated development is thoughtful in its incremental approach to site development. The design for the auxiliary structure is included with this **Attachment 1** for the review of the DRB.*
- b) Projects shall be designed to avoid the cumulative collection of large structures with similar building elevations and facades.**
 - Only a single structure and associated improvements are proposed at this time, and the proposed designs are included with this Staff Report for the review of the DRB.*
- c) Buildings shall be limited in height, bulk, and mass, and shall be designed to avoid a box-like appearance.**
 - The facility, while utilitarian, does not exhibit box-like appearance, and is situated in a corner. Proposed designs are included with this Staff Report for the review of the DRB.*

4. BUILDING EXTERIORS

- a) Colors and building materials shall be carefully selected, and must be compatible with surrounding developments, and shall be finalized during the Site Development or Use Permit process.**
 - Colors and building materials are included with this Staff Report for the review of the DRB.*
- b) The Planning Commission may permit exterior walls of architectural metal where it is compatible with adjacent structures, and the overall appearance and character of the Airport Industrial Park.**
 - Colors and building materials are included with this Staff Report for the review of the DRB. Overhead Rolling Garage Doors and Steel Doors and Frames are to be painted to match Bonelli Oil Rubbed Bronze.*

5. LIGHTING

- a) A lighting plan shall be submitted for review and approval with all Site Development and Use Permit applications. All lighting plans shall emphasize security and safety, and shall minimize energy usage.**
 - An interior lighting plan was provided, and exterior lighting placement is noted on the landscape plan.*
- b) Lighting for developments shall include shielded, non-glare types of lights.**
 - The project will be conditioned to include shielded, non-glare types of lights, and not allow for light-trespass. Exterior lights are to be minimized where possible.*
- c) Lighting shall not be directed towards Highway 101, the Ukiah Municipal Airport, adjacent properties or upwards towards the sky.**
 - The project will be conditioned to include shielded, non-glare types of lights, and not allow for light-trespass. Exterior lights are to be minimized*



where possible to comply with expectations of the Ukiah Municipal Airport planning documents.

6. DESIGN AMENITIES

- a) **Bicycle parking facilities shall be provided near the entrance to buildings. One (1) bicycle space shall be provided for every ten (10) employees, plus one (1) space for every fifty (50) automobile parking spaces.**
 - *An inverted 'U' style rack with 2 bike capacity is included and described in the landscaping plan.*
- b) **Fountains, kiosks, unique landscape islands, outdoor sitting areas, and other quality design amenities are encouraged.**
 - *The business is not intended to be open to be the public, and is otherwise oriented towards automobile and industrial uses.*



TO: Design Review Board

FROM: Mireya G. Turner, Planning Manager

DATE: January 20, 2022

SUBJECT: Request for review and recommendation to the Planning Commission for a Major Use and Site Development Permit to allow for construction of an addition to an existing dental office building; 772 South Dora Street; APN 001-313-11; File No. 21-6738

PROJECT DESCRIPTION

The Applicant proposes construction of a single-story addition to the rear of an existing dental office in order to add additional treatment rooms and ADA accessible entrances. The Applicant also requests relief from the on-site parking requirements and maximum lot coverage.

The existing structure is 2,122 sf, with a proposed rear addition of 1,533 sf for a total of 3,675 sf. This would allow for the addition of seven (7) treatment rooms. Accessible entrances would be installed at both the front and side entrances. The entry way would be enclosed to add additional area to the Reception space. A five-unit bicycle rack will be installed at the side of the structure. Eight (8) standard parking spaces, including one (1) ADA Accessible space, are proposed. The existing sign would be relocated next to the new entrance walkway. The largest area of the addition would be visible from Pomolita Drive.

The Project Site is located outside the flood plain, and just outside the Airport Land Use Compatibility Zone 6 Other Airport Environs.

The addition would be similar in height, style, and materials as the existing structure. There is one existing tree along South Dora Street. No further street trees are proposed, due to the parking spaces along both roads.

SETTING

The Project Site lies within the Neighborhood Commercial (CN) zoning district, and is designated Commercial (C) under the City's General Plan. Located at the northwest corner of the intersection at South Dora Street and Pomolita Drive, the Site is outside any flood plain, and is adjacent but outside the Airport Land Use Compatibility Zone 6 (Other Airport Environs). The property is bordered by other health care providers along the same side of S. Dora Street, and residential uses across South Dora Street and along Pomolita Drive. Table 1 includes a summary of adjacent land uses, with corresponding maps and aerial and street views in Figures 1-5.

Table 1, Zoning and Land Use

ZONING:		USE:
NORTH	Neighborhood Commercial and Low Density Residential	Medical offices and single-family residences
EAST	Neighborhood Commercial	Multi-family residences
SOUTH	Neighborhood Commercial and Public Facilities	Professional office and Yokayo School
WEST	Low Density Residential	Single-family residences

Figure 1: General Plan Land Use

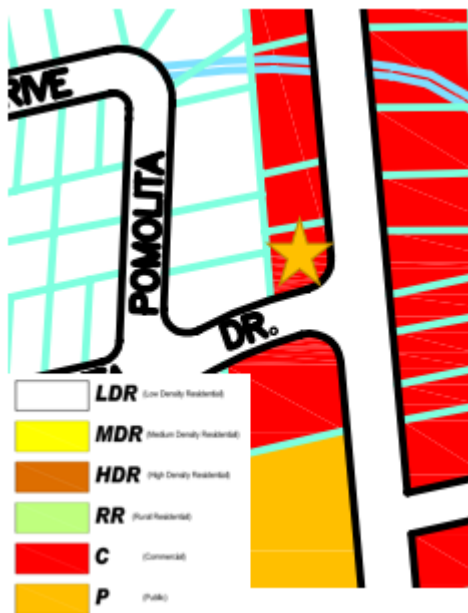


Figure 2: Zoning Designation



Figure 3. Aerial Image



Figure 4. Street view from South Dora Street



Figure 5. Street view from Pomolita Drive



DISCUSSION

According to Ukiah City Code (UCC) Section 9261, a major site development permit is required for new commercial construction exceeding 640 sf within the Neighborhood Commercial zoning district. A use permit is required to exceed the maximum thirty percent floor area ratio standard. The Project Parcel is approximately 0.21 acre (9,147.6 sf). The proposed addition will bring the lot coverage to 3,675 sf, or 40.2% coverage, requiring an approved major use permit.

Parking for Professional Office uses, including dental offices, is assessed at one parking space for each 300 sf of gross leasable area (UCC Section 9198). UCC Section 9199.B allows for a five-bicycle rack to exempt one parking space, with a limit of two parking spaces total. At 3,675 sf, the total required parking is twelve (12) spaces. The Applicant proposes eight (8) spaces, with one 5-unit bicycle rack. UCC Section 9067.D allows for relief from the parking requirements *“through the discretionary review process, providing a finding is made that there is a unique circumstance associated with the use or property that results in a demand for less parking than normally expected”*. In this location, along South Dora Street, there is parking along South Dora Street and Pomolita Avenue that the Applicant requests be deemed sufficient to satisfy the three space exemption request.

STAFF REQUEST

Staff requests the DRB review the project for its conformance to the Design Guidelines for Projects located outside the Downtown Design District, and make a recommendation to the Planning Commission.

ATTACHMENTS

1. Application and Project Description
2. Site Plan, Landscape Plan, Elevations



City of Ukiah

Community Development Department
 Planning Division
 300 Seminary Ave., Ukiah CA 95482
 Email: planning@cityofukiah.com
 Web: www.cityofukiah.com
 Phone: (707) 463-6268
 Fax: (707) 463-6204

Planning Permit Application 21-6738

PROJECT NAME: Khoury Dental Office					
PROJECT ADDRESS/CROSS STREETS: 772 S. Dora / Pomolita Dr.				AP NUMBER(S): 001-313-11	
APPLICANT/AUTHORIZED AGENT: RON VERDIER, ARCH		PHONE NO: 707-469-1491		FAX NO: —	
E-MAIL ADDRESS: VASEPACIFIC.NET		APPLICANT/AUTHORIZED AGENT ADDRESS: 12861 Ornbaum Rd.		CITY: Boonville	
STATE/ZIP: CA 95415		PROPERTY OWNER IF OTHER THAN APPLICANT/AGENT: Nicholas Khoury		PHONE NO: 530-219-1610	
E-MAIL ADDRESS: Khoury.dentistry@gmail.com		FAX NO: —		PROPERTY OWNER ADDRESS IF OTHER THAN APPLICANT: 772 S. Dora	
CITY: Ukiah		STATE/ZIP: CA 95482		HAS YOUR PROJECT RECEIVED A PRELIMINARY REVIEW? ☒ YES ☐ NO	
☐ AIRPORT LAND USE COMM. DETERMINATION REFERRAL 100.0800.611.003	\$	☐ REZONING – PLANNED DISTRICT 100.0800.611.001	\$	☐ USE PERMIT – AMENDMENT 100.0400.449.001	\$
☐ ANNEXATION 100.0800.611.001	\$	☐ SITE DEVELOPMENT PERMIT – AMENDMENT 100.0400.449.001	\$	☐ USE PERMIT – MAJOR 100.0400.449.001	\$
☐ APPEAL 100.0400.449.001	\$	☐ SITE DEVELOPMENT PERMIT – MAJOR 100.0400.449.001	\$	☐ USE PERMIT – MINOR 100.0400.449.001	\$
☐ GENERAL PLAN AMENDMENT 100.0800.611.001	\$	☒ SITE DEVELOPMENT PERMIT – MINOR 100.0400.449.001	\$ 1,500	☐ VARIANCE – MAJOR 100.0400.449.001	\$
☐ MURAL PERMIT 100.0400.449.001	\$	☐ SPECIFIC/MASTER PLAN 100.0800.611.003	\$	☐ VARIANCE – MINOR 100.0400.449.001	\$
☐ PRE-DEVELOPMENT MEETING 100.0800.611.003	\$	☐ MINOR SUBDIVISION TENTATIVE PARCEL MAP (4 OR FEWER LOTS) 100.0800.610.001	\$	☐ ZONING AMENDMENT MAP OR TEXT 100.0800.611.001	\$
☐ STAFF RESEARCH (MORE THAN 1 HOUR) 100.23100.411.53	\$	☐ MAJOR SUBDIVISION TENTATIVE SUBDIVISION MAP (5 OR MORE LOTS) 100.0800.610.001	\$	☐ REZONING 100.0800.611.001	\$
☐ LOT LINE ADJUSTMENT OR MERGER 100.0800.610.001	\$	☐ OTHER	\$	☐ OTHER	\$
COUNTY CEQA FILING FEE: CHECK PAYABLE TO MENDOCINO CO.	\$	MAJOR PERMIT DEPOSIT:	\$	FILING DATE:	
COUNTY CEQA (NEG DEC) FEE: CHECK PAYABLE TO MENDOCINO CO.	\$	MINOR PERMIT FEE:	\$	TOTAL AMOUNT PAID: \$	
COUNTY CEQA (EIR) FEE: CHECK PAYABLE TO MENDOCINO CO.	\$	TOTAL FEE:	\$	RECEIPT NUMBER:	
APPLICATION NUMBER(S):					

Recommendation: Prior to submitting an application, discuss your project with Staff to discover what fees (sewer, water, in-lieu park fees, traffic impact fees, etc.) may be required for your project. Also, ask about street tree requirements, required sidewalk repairs, drainage issues, storm water mitigation requirements, frontage improvements, etc.

Project Description

Please attach a written project description including summary of work (both interior and exterior for construction and operation) and/or business proposed. The purpose of the project description is to assist Staff in understanding the project. The project description will also be included in the Staff Report required to review (and ultimately approve or deny) the planning permit. Providing complete information will help expedite the project review process and in determining what additional information, if any, related to the project and required environmental review is required.

Environmental Review and Reports

Please be aware that projects are required to comply with the California Environmental Quality Act (CEQA). Projects will be reviewed by Staff for compliance with CEQA and Staff will determine the appropriate CEQA document to prepare for the project (exemption, negative declaration, etc.). In order to make this determination, specific reports (traffic, arborist, soils, etc.) and or additional information may be required.

Use Information

Please provide the following information related to the use of the site and building:

Description of Building & Site			
Parcel Size: .21 ACRES	Building Size: 3675	Number of Floors: 1	
Use of Building (check all that apply)	Description	Square Footage	Number of Units/Suites
☐ Office (business/professional)			
☒ Office (medical/dental)	Dentist OFFICE		
☐ Retail			
☐ Light Industrial			
☐ Residential			
☐ Other:			
Operating Characteristics			
Days and Hours of Operation: 5 / 8-4			
Number of Shifts: 1	Days and Hours of Shifts:		
Number of Employees/Shift: 8 FULL TIME 2 PART TIME			
Loading Facilities: ☐ Yes ☒ No	Type/Vehicle Size: N/A		
Deliveries: ☐ Yes ☒ No N/A	Type: N/A	Number (day/week/month): N/A	Time(s) of Day: N/A
Outdoor areas associated with use? (check all that apply)	Sales area: ☐ Yes ☒ No	Unloading of deliveries: ☐ Yes ☒ No	Storage: ☐ Yes ☒ No
☐ Yes ☒ No	Square Footage:	Square Footage:	Square Footage:
Noise Generating Use? ☐ Yes ☒ No	Description: N/A		

To Be Completed by Staff

General Plan Designation:	Zoning District:	Airport Land Use Designation:
City's Architectural & Historic Inventory: ☐ YES ☐ NO	Age of Building:	Demolition Policy:
Hillside: ☐ YES ☐ NO	Flood Designation FIRM Map:	Flood Designation Floodway Map:
Tree Policies		
General Plan Open Space Conservation ☐ NO ☐ YES GOAL/POLICY #:	Community Forest Management Plan ☐ NO ☐ YES GOAL/POLICY #:	
Landscaping and Streetscape Design Guidelines ☐ NO ☐ YES GUIDELINE #:	Commercial Development Design Guidelines ☐ NO ☐ YES GUIDELINE #:	
Tree Protection and Enhancement Policy ☐ NO ☐ YES NOTES:	Tree Planting and Maintenance Policy ☐ NO ☐ YES NOTES:	
UCC: Street Tree Policy, Purpose and Intent ☐ NO ☐ YES NOTES:	Other:	
Notes		

Project Description

Khoury Dentistry

APPLICANT:

Nicholas Khoury
Cell: 707-529-5335

PARCEL DETAILS:

772 S Dora Street
Ukiah, CA 95482

ZONING: Commercial – CN **PARCEL AP#:** 001-313-11-00 **PARCEL SIZE:** 0.12 acre

OCCUPANCY: B-Business **CONSTRUCTION TYPE:** V-B **FIRE DISTRICT:** City of Ukiah

SETBACKS: Note: This project is on a corner and has two front yards and two side yards
FRONT: 10'

SIDE: 5'

HEIGHT: single story

UTILITIES:

Sewer, water and fuel by City of Ukiah. Power by PG&E

PROPOSED USE:

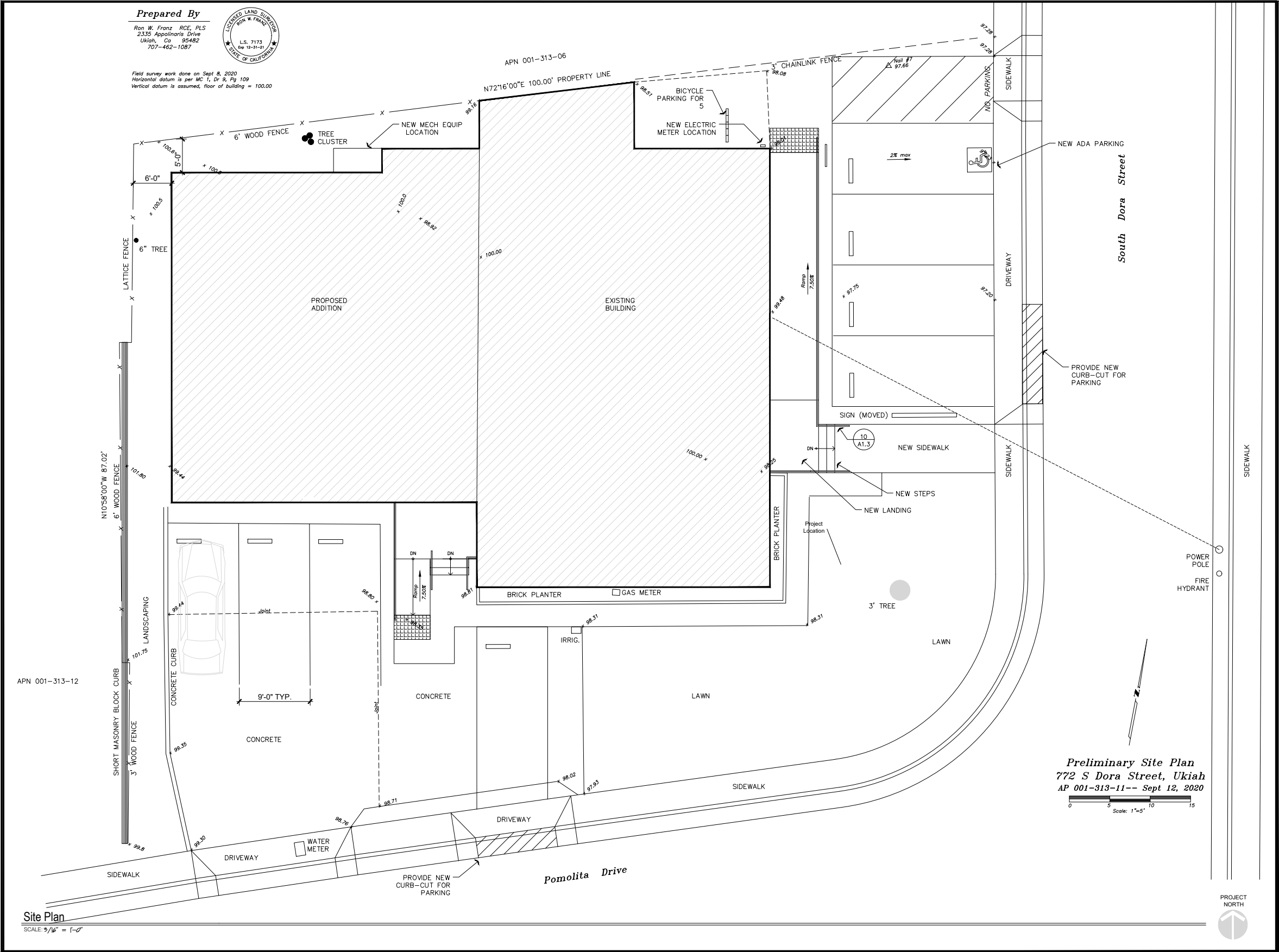
Existing Building 2,122 Sq Ft
Proposed Addition 1,553 Sq Ft
Total 3,675 Sq Ft

This project proposes a single-story addition to the rear of an existing Dental Office. The existing office has 4 treatment rooms and the proposed addition would create 7 more. Two new ADA accessible entrances will be created, one to the front of the existing offices, the other at the side of the proposed addition. There will be 8 parking spaces, including one van-accessible ADA space. Two new curb cuts will be required. There will also be covered bicycle parking for 5 bikes.

There is an existing sign which will be relocated next to the new entrance walkway. There are no proposed changes to existing fences on the parcel. There is one existing large Acer on the corner of the parcel but no new trees are proposed. Landscaping is existing lawn and raised planters with small shrubs.

There is a fire hydrant located directly opposite the parcel on South Dora Street.

Neighboring parcels are a mix of health care service providers and residential properties.



Verdier Architects

12861 Ormbaum Road Boonville, CA 95415
Tel: 707-489-1491



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other project without written permission.

Revisions Date

Issued for Plan Check: 1 Feb 2021

Issued for Plan Check: 17 Dec 2021

Khoury Dental Office

Remodel and Addition

772 S. Dora
Ukiah, CA 95482

APN: 001-313-11-00

Drawing Title

PROPOSED SITE PLAN

Scale As Noted

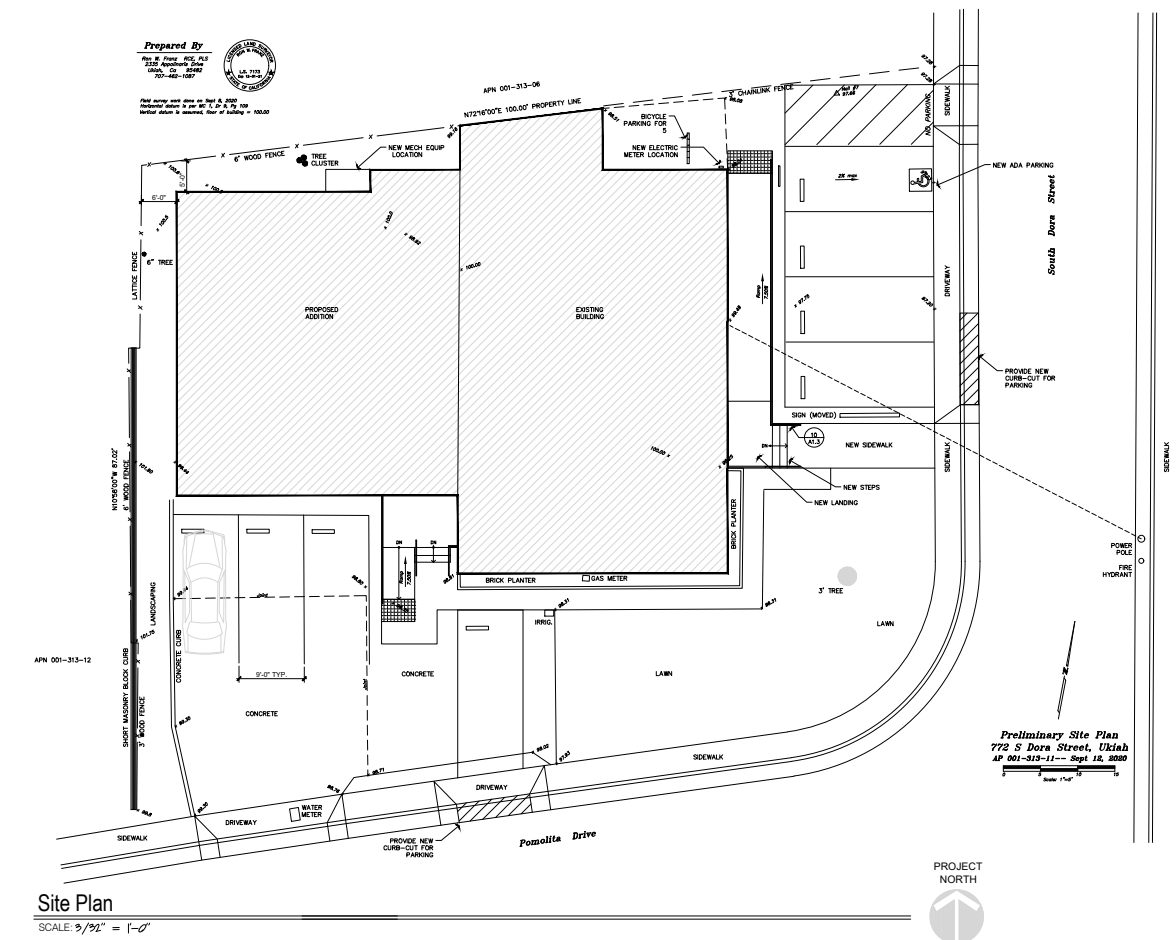
Date January 2021

Drawn RV

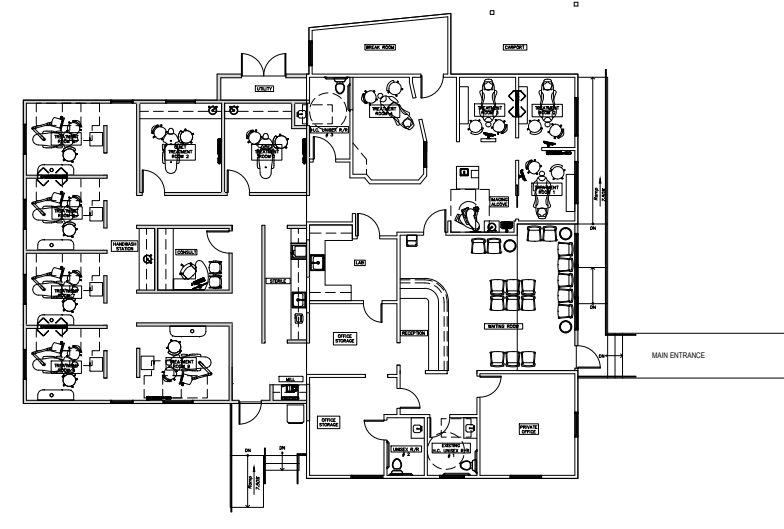
Job Number 2020

Drawing Number

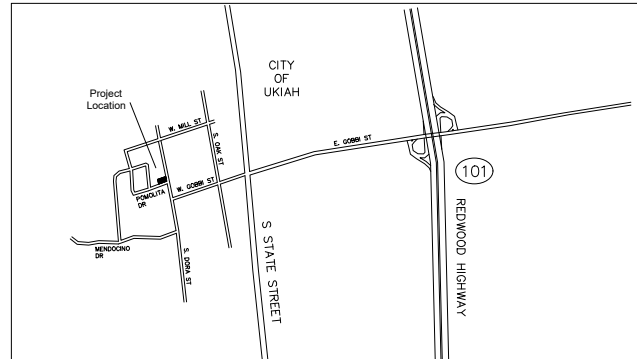
SDP2



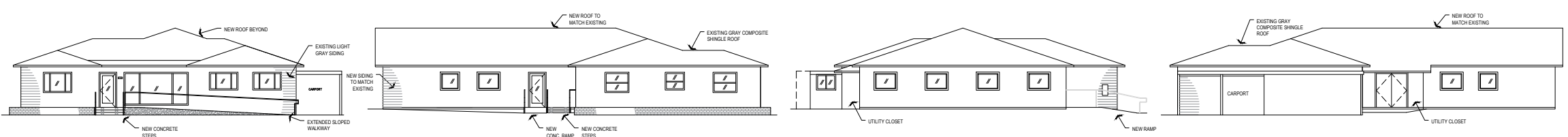
Site Plan
SCALE: 3/32" = 1'-0"



Floor Plan
SCALE: 3/32" = 1'-0"



Vicinity Map
SCALE: not to scale



Elevations
SCALE: 3/32" = 1'-0"



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Revisions	Date
Issued for Plan Check: 1 Feb 2021	
Issued for Plan Check: 17 Dec 2021	

Khouri Dental Office

Remodel and Addition

772 S. Dora
Ukiah, CA 95482

APN: 001-313-11-00
Drawing Title
PROPOSED SITE PLAN
PROPOSED FLOOR PLAN
VICINITY MAP
PROPOSED ELEVATIONS
Scale As Noted
Date January 2021
Drawn RV
Job Number 2020
Drawing Number

SDP1