



Design Review Board

Regular Meeting AGENDA

(to be held both at the physical and virtual locations below)

Civic Center Annex ♦ 411 W. Clay St., Conf. Rm. #5 ♦ Ukiah, CA 95482

To participate virtually, go to the following link: <https://us06web.zoom.us/j/81821430811>

Meeting ID: 818 2143 0811

Passcode: 246191

Call toll free: 833 548 0282 or 877 853 5247

To raise hand: after being recognized, Enter *9

To unmute yourself: Enter *6

To view the meeting (without participating) go to: <http://www.cityofukiah.com/meetings/>

March 23, 2023 - 3:00 PM

The Design Review Board serves as an advisory body to City staff, Zoning Administrator, Planning Commission and City Council to make site design recommendations consistent with the City's Design Review Guidelines. The Design Review Board works with staff and applicants to review proposed site development permit applications, planned development applications and precise development plans, and make recommendations concerning architecture, site design layout, landscaping, parking, signage, exterior lighting and other aspects of urban design to City staff, Zoning Administrator, Planning Commission and City Council as appropriate.

The Design Review Board encourages applicants and/or their representatives to be available at the meeting to answer questions so that no agenda item need be deferred to a later date due to a lack of pertinent information.

1. CALL TO ORDER

2. ROLL CALL

3. CORRESPONDENCE

4. APPROVAL OF MINUTES

4.a. Approval of May 26, 2022, DRB Draft Special Meeting Minutes

Recommended Action: Review and approve May 26, 2022, DRB Draft Special Meeting Minutes

Attachments:

1. May 26, 2022, DRB Special Meeting Minutes-Draft

5. COMMENTS FROM AUDIENCE ON NON-AGENDA ITEMS

The Design Review Board (DRB) welcomes input from the audience that is within the subject matter jurisdiction of the DRB . In order for everyone to be heard, please limit your comments to three (3) minutes per person and not more than ten (10) minutes per subject. The Brown Act regulations do not allow action to be taken on audience comments.

6. NEW BUSINESS

- 6.a. Request for Review and Recommendation to the Planning Commission Regarding an Application for a Major Site Development Permit for Construction of a Redwood Credit Union Bank Facility at 101 S. Main St. APN 002-231-001; File No. 22-7977

Recommended Action: Review the proposed Major Site Development Permit application and formulate a recommendation to the Planning Commission

Attachments:

1. Project Description, Design Details, and Stamped Metal Eval.
2. Site Plans and Floor Plan
3. Architectural Plans and Elevations
4. Landscaping Plan
5. Photometric Plan
6. Site Improvement Plans

7. MATTERS FROM THE COMMISSION

8. MATTERS FROM STAFF

9. ADJOURNMENT

Please be advised that the City needs to be notified 72 hours in advance of a meeting if any specific accommodations or interpreter services are needed in order for you to attend. The City complies with ADA requirements and will attempt to reasonably accommodate individuals with disabilities upon request.

I hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda was posted on the bulletin board at the main entrance of the City of Ukiah Civic Center, not less than 72 hours prior to the meeting set forth on this agenda.

Date: March 16, 2023
Michelle Irace, Planning Manager

CITY OF UKIAH
DESIGN REVIEW BOARD SPECIAL MEETING MINUTES
Held remotely via Zoom
May 26, 2022
3:00 p.m.

1. CALL TO ORDER

Chair Liden called the Design Review Board meeting to order at 3:01 p.m.

Chair Tom Liden presiding.

2. ROLL CALL

Present: Members Meaux, Hawkes, and
Chair Liden

Absent: Member Morrow

Staff Present: Mireya Turner, Planning Manager

Others Present: Ron Verdier
Vern Anderson
Deb Ornelas

3. CORRESPONDENCE

No correspondence was received.

4. APPROVAL OF MINUTES

No minutes were presented.

5. COMMENTS FROM AUDIENCE ON NON-AGENDA ITEMS

None

6. NEW BUSINESS

6a. Review and recommendation to the Planning Commission for a Major Use and Site Development Permit for development of a 16-bed residential mental health rehabilitation services building, with outpatient and administrative services; Applicant: Redwood Quality Management Company; Located at 531 S. Orchard Ave (APN 002-340-47); File No. 22-6999

Planning Manager Mireya Turner presented the project.

Chair Liden opened the item for public comment at 3:13 p.m. Vern Anderson and Ron Verdier spoke.

No one else was present wishing to speak and Chair Liden closed the public comment at 3:45 p.m.

Motion/Second Meaux/Hawkes made a motion to recommend approval of the project to the Planning Commission, with a recommendation to increase the size of the tree wells in conjunction with wheel stops.

The motion was passed by roll call vote (3 ayes, Member Morrow ABSENT).

Motion/Second Meaux/Hawkes made a motion to encourage the Applicant to consider an alternative color to the Antique White Siding.

The motion was passed by roll call vote (3 ayes, Member Morrow ABSENT).

7. MATTERS FROM THE BOARD

Chair Liden noted that a number of Board Members terms will end at the end of this year. He requested Staff consult with the City Clerk and confirm the term expiration date with the Board via email.

Member Meaux requested clarification on the Board's role with City-led projects.

8. MATTERS FROM STAFF

Planning Manager Mireya Turner reported on the Department's movement toward hybrid style meetings. If it is a priority of the Board, the Department will accelerate this transition. The Board expressed a preference to move toward hybrid meetings, which Staff will convey to the Department Director.

9. ADJOURNMENT

There being no further business, the meeting adjourned at 4:03 p.m.



AGENDA ITEM NO. 6a
Department of Community Development
300 Seminary Ave.
Ukiah, CA 95482
planning@cityofukiah.com

TO: Design Review Board

FROM: Michelle Irace, Planning Manager

DATE: March 16, 2023

SUBJECT: Request for Review and Recommendation to the Planning Commission Regarding an Application for a Major Site Development Permit for Construction of a Redwood Credit Union Bank Facility at 101 S. Main St. APN 002-231-001; File No. 22-7977

LOCATION

The ±0.48-acre Project site (APN 002-231-01) is located on the corner of Perkins Street and South Main Street in downtown Ukiah, approximately 0.5-mile west of U.S. Highway 101. The project site is developed with a parking lot and two buildings with separate street addresses: one ±3,328 sf building that was previously occupied by the Dragon's Lair retail business (101 S. Main St.); and one ±2,880 sf building that was previously occupied by Tom's Glass repair service (105 S. Main St.). The parcel is accessed via a driveway from South Main Street, as well as a driveway located along Perkins Street. Additionally, there is a shared driveway that shares access with the adjacent parcel immediately to the east (225 East Perkins Street) that has historically been occupied by commercial (restaurant) businesses. Figure 1 provides a location map of the project.

BACKGROUND

In September 2021, Demolition Permit No. 21-6155 was submitted by the property owner for demolition of the two structures on-site. Because the structures are over the age of 50 years, and the 101 S. Main St. structure was listed on the City's 1985 "Ukiah Historic Resource Survey" and the 1999 "City of Ukiah Architectural Survey" as a local historic resource, the Demolition Permit required review by the Demolition Permit Review Committee and approval by the City Council, in accordance with Ukiah City Code Section 3016(b).

The Demolition Permit was reviewed by the Demolition Permit Review Committee on December 28, 2021, and by City Council on May 4, 2022 and May 18, 2022. Ultimately, on May 18, 2022, the City Council approved authorization to issue the Demolition Permit and approved the Initial Study and Mitigated Negative Declaration (City File No. 21-6623; State Clearinghouse No.2022030389) that was prepared for the project. As a part of their review and approval, the Council determined that the 101 S. Main St. structure met the following historic criteria under UCC 3016(e): 1) Has special or particular quality such as oldest, best example, largest, or last surviving example of its kind-in this case the pressed metal "clad" siding; and 2) Exemplifies or reflects special elements of the City's cultural, social, economic, political, or architectural history because it is the only remaining building to tell the story of how this block functioned as a service hub for agricultural commerce. As such, the following mitigation measure related to demolition

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and future development was adopted and included as a Condition of Approval for the Demolition Permit:

CUL-2: The 101 South Main Street building shall not be demolished until there is a development proposal approved in accordance with the Ukiah City Code and, specifically, the Downtown Zoning Code. At the time of demolition, the pressed metal siding on the west and north portions of the building shall be salvaged. If the pressed metal siding is not able to be salvaged, similar pressed metal siding may be used. Any new development will incorporate into the design all, or a portion, of the pressed metal siding of the existing building to pay homage to the agricultural commercial function of the original building. New development shall require review by the Design Review Board and the Planning Commission, in accordance with the Downtown Zoning Code.

Figure 1, Location Map



PROJECT DESCRIPTION

The Project proposes to construct a new Redwood Credit Union bank facility and includes the following components. Please refer to the project description and design details, including an analysis of the existing stamped metal siding, submitted by the applicant in Attachment 1 for more information. A site plan is included in Attachment 2, architectural plans and elevations are included in Attachment 3, a landscaping plan is included in Attachment 4, photometric plan is included in Attachment 5, and site improvement plans included in Attachment 6.

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- Demolition of the two existing buildings on-site (101 and 105 S. Main St.).
- Construction of a +/-4,557sf Redwood Credit Union bank facility with a drive-thru automated teller machine (ATM).
- Construction of two new driveway aprons (two-lane). Primary vehicular access is designed to enter from S. Main St. with secondary vehicular access from E. Perkins St. Additional emergency access is provided via an existing easement with the parcel to the east (APN 002-231-21).
- Pedestrian access provided from S. Main St. to the building entrance and parking lot.
- 18 parking spaces, one bike rack and two electric vehicle charging stations.
- Approximately 6,003 sf (or 29%) of landscaping, including parking lot and perimeter landscaping, bioretention areas to address stormwater run-off, and street trees along both frontages.
- Removal of the 14 ft. Chinese Pistache tree and 7 ft. Cypress tree currently located against the 101 S. Main St. building. Removal of these trees was included in the Demolition Permit approvals. All of the remaining trees, including the existing large Oak trees on the south portion of the parcel, will be preserved.
- Redwood Credit Union signage on the north, west, and south facades.
- Parking lot and building lighting, down-shielded.
- Hours of operation would generally be 9:00 a.m. to 5:00 p.m., Monday through Friday, and 9:00 a.m. to 2:00 p.m. on Saturday.

Design. Since the date of submittal of the Site Development Application in December, 2022, Staff has been working with the applicant to address design considerations associated with Mitigation Measure CUL-2. The design included for Design Review Board consideration is the third iteration submitted by the applicant. According to the applicant, the project has been designed for compatibility with the surrounding built environment and to specifically address the intent of the mitigation measure related to the pressed metal siding. As stated by the applicant in the application materials:

“The project proposes new construction on the corner of Perkins and South Main with careful consideration to both street frontages. With adjacencies that include the Ukiah Public Library, the Curries Furniture Building, and the County Department of Child Support Services buildings, the following architectural attributes were prevalent:

- *Single story buildings*
- *Facades with flat parapets*
- *Lineal bands of glazing*
- *Plaster facades*
- *Lineal accent bands*
- *Signage at parapet level*

The design of the new Redwood Credit Union branch draws inspiration from these adjacencies and assimilates these attributes in a fresh modern way. The façade also incorporates stucco and Trespa [alternating darker and lighter stains], a synthetic wood like



siding, to provide a durable natural warmth to the building elevations. Landscape beds, screening, and trees provide additional interface with nature, shade, and color...

"The height and massing of the proposed design pays homage to the massing of the adjacent Ukiah Public Library and the Curries Furniture Building. The ribbon glazing is consistent with the County building to the west. The horizontal lines of the parapet caps, plaster reveals, and the awnings are inspired by the adjacent buildings. The orientation of entry at Perkins responds to the desires of the Downtown Zoning Code while functionally addressing ADA cross slopes and allowing for a corresponding entry from the parking lot. The location of trees and awnings provide solar shading on the south façade. The glazing on the north facades provides an exciting face of activities to interact with Perkins Street. The building design incorporates the 12-foot high ceilings desired by the Downtown Zoning Code, but does so as a single story building..."

Regarding the pressed metal siding and Mitigation Measure CUL-2, the applicant states as follows:

"AXIA Architects, Western Builders, and the Owner approached this responsibility with the following methodical approach:

Assessment of Existing Conditions: *AXIA Architects and Western Builders created a grading scale of the panels based on level of deterioration and possible reuse in a weather repellant manner. Attached is the grading scale created establishing levels A – F. The team then brought ladders to the site on 1/17/23 and inspected each stamped metal panel to assign a grade. Western Builders also took samplings of the paint and metal to determine whether hazardous materials existed.*

Results of Assessment: *The team determined that about 250 SF of stamped metal panel was viable as modest weather repellant siding for reuse on a building. Due to holes, bending, deterioration, or other aspects, about 600 SF was not suitable for weather repellence, but still usable in non-building applications. Most importantly, the hazardous materials testing determined that lead was present in the stamped metal. Based on this information, we do not recommend reuse.*

Design Considerations: *WF Norman Corporation in Missouri makes a siding that is similar to the existing siding on the current building. According to WF Norman, the new siding overlaps about 1-1/2" on the ends and about 1/2" top to bottom. It falls short of the 3" overlap recommended by the Sheet Metal and Air Conditioning Contractors National Association (SMACNA), a recognized industry authority for flashing conditions exposed to the weather. Representatives from WF Norman acknowledge that the wall should be designed to resist moisture penetration through their siding. As such, we are installing a membrane substrate and considered design locations for the siding that had some measure of weather protection. The walls on which we propose the stamped metal siding enjoy canopy coverage for a fair portion while still giving the stamped siding a position of importance on the building."*



As noted in the application materials and site plans (Attachments 1 through 3), the design is intended to meet Mitigation Measure CUL-2 in the following ways:

- Design includes the proposed building in the same location as the existing building.
- Design includes the main entrance positioned towards the corner, similar to the existing building.
- Design includes a parapet wall around the building to provide a tall one-story façade, similar in size to the original Holz Feed Company building that historically occupied the site.
- Design includes green awnings and a parapet cap, consistent with the existing building.
- Design includes new pressed metal siding on a portion of the north, west, and south elevations (at the primary entrances) to pay homage to the existing pressed metal.

DOWNTOWN ZONING CODE

The Project site has a General Plan (2040) Downtown Core (DC) designation and is zoned Urban Center (UC) within Downtown Zoning Code (DZC). The DZC was adopted in 2012 and prescribes several development and architectural standards (see DZC Tables 4 through 12).

Building Type. Development and design standards within the DZC are regulated by building and frontage type, as well as by zoning district. The proposed building is identified in the DZC (Section 9225.3) as a “side yard” building type, which is defined as a building that occupies one side of the lot with the setback to the other side. The building is proposed as a “shopfront and awning frontage” along Perkins St., which is described as having the facade aligned close to the frontage line with the building entrance at sidewalk grade (DZC Section 9225.6). The frontage along Main St. is classified as a “forecourt” frontage, which is described as having a portion of the facade close to the frontage line, while the central portion is set back. The DZC notes that forecourt frontages should be allocated in conjunction with other frontage types. DZC Table 6, Principal Building Standards, identifies the proposed building and frontage types as allowed within the UC zoning district. The applicant has also provided a “Conceptual Code Compliance” site plan (included in Attachment 2) to demonstrate compliance with DZC development standards.

Architectural Standards. For the purposes of review by the DRB, Table 1 below provides a list of applicable DZC design standards (generally identified in DZC Tables 11 and 12), as well as a summary of landscaping and parking standards, and a consistency analysis for the proposed project. The Downtown Zoning Code may be accessed online at: <https://www.codepublishing.com/CA/Ukiah/#!/Ukiah09/Ukiah0902-1800.html#art18>.



Table 1, *Project Consistency with DZC Design Standards*

STANDARDS	URBAN CENTER UC	MODIFICATION TO STANDARD	PROJECT CONSISTENCY
FACADE ORIENTATION			
Relationship to Frontage Line	Parallel to principal frontage line(s) for 70% of its length	Minor Exception	Consistent. 100% of the building is parallel to the frontage line(s).
Location of Principal Pedestrian Entrance	On the frontage line (4)	Major Exception	Consistent. Pedestrian entrance on the frontage line.
Corner Treatment	Ground floor located behind the sidewalk shall wrap the corner in circular, chamfered, or similar manner. Turrets are encouraged for corner buildings.	Major Exception	Consistent. Building wraps the corner and primary entrance is located on the corner (off-set).
STOREFRONT FRONTAGES (6) – GROUND LEVEL			
Entrance – Corner Building	Primary entry facing the corner. Additional (secondary entries) may be located along the frontage lines.	Major Exception	Consistent. Primary entrance faces corner.
Facade Width	In order to break up wide buildings and to make them appear as individual smaller buildings, the maximum width of a single facade style shall be 75 feet.	Minor Exception	Consistent. Windows, building/siding materials, and pressed metal break up the design.
Floor Height – Minimum	2-story minimum. 12 feet clear measured from the surface of the floor to bottom of the ceiling. Story height shall not exceed 14 feet.	Minor Exception	Exception requested-One story proposed with 12 ft. ceiling proposed.



STANDARDS	URBAN CENTER UC	MODIFICATION TO STANDARD	PROJECT CONSISTENCY
Door Spacing on Frontage(s) (7)	Operable front doors spaced a maximum of 30 feet apart along the block face. (8)	Minor Exception	N/A. Multiple doors not proposed along one frontage.
Glazing (for storefront frontages)	Clear glass over a minimum of 70% of the ground level facade(s). Prohibited: opaque or mirrored glazing.	Minor Exception	Exception Requested-65% glazing along Perkins Street proposed. Glazing along Main St. is not required (or proposed) because it is not a "storefront" frontage type.
Awnings, galleries, and arcades	Metal, cloth, wood. Prohibited: hard acrylic.	Minor Exception	Consistent.
BUILDING MATERIALS			
Facade(s) – Primary Exterior Finish (6)	Brick, wood siding, fiber cement siding, stucco, stone.	Minor Exception	Consistent. Stucco, wood, glass, and metal siding proposed.
Facade – Location of Materials	Combined horizontally with heavier material below the lighter material.	Minor Exception	Consistent.
Prohibited	Plane panel siding (T1-11) as the primary siding material.	Major Exception	Consistent. Plane panel siding not proposed.
ROOFS			
Flat Roof – Parapet	Enclosed by a parapet with a minimum height of 42 inches or as needed to screen mechanical equipment.	Minor Exception	Consistent. Parapet roof proposed.
Photovoltaic – Location	On a sloped roof, shall be flush mounted. On a flat roof, shall be flush	Minor Exception	Consistent. Roof is flat to accommodate



STANDARDS	URBAN CENTER UC	MODIFICATION TO STANDARD	PROJECT CONSISTENCY
	mounted or if tilted shall not extend above the parapet of the roof.		solar, if required by the Building Code.
ACCESSORY STRUCTURES			
Accessory Structures	Allowed in compliance with all applicable building code requirements and subject to the development standards for accessory buildings. (8)	Minor Exception	Consistent.
DRIVE-THRU FACILITIES			
Location and screening	Prohibited on frontage(s). Screen from view from all frontages(s).	Major Exception	Consistent. Proposed within third setback "layer". Project proposes landscape screening from the Perkins St. frontage
SETBACKS			
Front	0 ft. maximum	Major Exception	Consistent.
Side	0 ft. minimum 10 ft. maximum	Major Exception	Exception requested- approx. 45 ft. side setback.
Rear	6 ft. maximum	Major Exception	Exception requested- approx. 75 ft. proposed.
PARKING			
Location of parking and various requirements	Parking to be located within the third "layer" of the site for a side yard building (DZC 9225.7). Other parking and	Major Exception	Consistent. Reviewed by Public Works, Ukiah Valley Fire Authority, and the Building Official



STANDARDS	URBAN CENTER UC	MODIFICATION TO STANDARD	PROJECT CONSISTENCY
	access requirements noted in Tables 14-19.		
Number of spaces required	1 space for every 300 ft of building sf= 16 spaces maximum allowed.	Major Exception	Exception requested to exceed maximum parking allowed (19 spaces proposed)
LANDSCAPING			
Parking Lot Trees and Shade Coverage	One tree per every 4 spaces, or 50% shade coverage. See section 9229 of DZC, Tree Preservation and Planting Requirements.	As allowed by Tables 24 and 25 (alternate species lists)	Consistent. Parking lot trees provided with 54% shade coverage. Species proposed consistent with required tree lists.
Street Trees – Spacing, Species, Additional Requirements	1 street tree every 30 feet of parcel frontage. See subsection 9229 of DZC for various requirements.	As allowed by Tables 24 and 25 (alternate species lists)	Consistent. Street trees provided at 30 ft, where applicable. Species are consistent with allowed street tree species.
Landscaping coverage, species, irrigation, and planting requirements	10% coverage required, using species as identified on the required species lists in DZC Section 9229.4 through 9229.11. Project also must be consistent with State of California Model Water Efficiency Landscape Ordinance (MWELO) standards.	As allowed by Tables 24 and 25 (alternate species lists)	Consistent. 29% landscaping provided. Project is consistent with all species, live planting, size, irrigation regulations. Landscaping proposed is consistent with MWELO standards.

Requested Exceptions. Section 9231.5 of the DZC, allows specific requirements to be modified with approval of an exception. Table 29, Exception Procedures, establishes two levels of exceptions, major and minor, and the procedures for the review and processing of exceptions. The applicant is requesting the following “major” and “minor” exceptions to the Downtown Zoning



Code development and design standards. As noted in DZC Table 29, the below exceptions may be granted with approval by the Planning Commission.

- 1) Maximum parking requirement- applicant proposing 19 spaces, but DZC maximum parking spaces allowed is 16 for the project. The applicant notes reducing potential impacts to neighboring parcels and streets as reason for requesting this exception, as street parking is limited in the immediate area (only available on Main St.).
- 2) Maximum side and rear setbacks- applicant proposing an approximately 75 ft. rear setback and approximately 45 ft. side setback, but the maximum rear setback noted in the DZC is six feet and the side maximum setback is 10 ft. The applicant notes functional parking, and access for the ATM drive-thru service, as well as tree preservation as reasons for requesting this exception. Staff also notes that the side yard building type (requires building to be on the Perkins and Main frontages) standards conflicts with the maximum rear (south) and side (east) yard setback requirements. Specifically, due to the size of the parcel.
- 3) One-story building- applicant is proposing a one-story building (12-ft. high ceiling), but the DZC requires a minimum of two-stories. The applicant notes that one-story is proposed for consistency with the existing and adjacent one-story buildings. The applicant also notes that a two-story building is not functional for the proposed use. Lastly, the applicant notes that as partial mitigation, the proposed parapet wall around the building is intended to provide a tall one-story façade, similar in size to a two-story facade and the original Holz Feed Company building that occupied the site.
- 4) Glazing- applicant is proposing approximately 65% of glazing along Perkins St., but the DZC requires 70%. The use of different materials to break up the building in compliance the DZC regulations, as well as the proposed metal siding to comply with Mitigation Measure CUL-2 prevents further glazing from being applied to the Perkins frontage. The applicant also notes security concerns due to the nature of the business as a reason for not including additional glass with glazing.

Site Development Permit. Per DZC Table 27, *Site Development Permit Procedures*, all projects proposing drive-thru facilities and seeking Major Exceptions are considered “Tier 3” Major Site Development Permits and are subject to Planning Commission approval (Section 9231.3(c) of the DZC). As noted in DZC Table 3, “financial services” are identified as an allowed use, and “drive-thru or drive-up banks and pharmacies” are allowed as accessory structures to the principal use within the Urban Core (UC) zoning district. As such, a Use Permit is not required.

STAFF REQUEST

Staff is requesting the DRB review the project for consistency with the Downtown Zoning Code design standards and Mitigation Measure CUL-2 (related to Demolition Permit No. 21-6155 and ISMND No. 21-6623), and make a recommendation to the Planning Commission.



AGENDA ITEM NO. 6a
Department of Community Development
300 Seminary Ave.
Ukiah, CA 95482
planning@cityofukiah.com

ATTACHMENTS

1. Project Description, design details and pressed metal siding evaluation conducted by the applicant.
2. Site plans.
3. Architectural details and elevations.
4. Landscaping plan.
5. Photometric plan.
6. Site improvement plans.

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Redwood Credit Union MaSDP
101 S. Main St.
File No. 22-7977

PROJECT SUMMARY

03.15.23, AXIA Architects

Project Name	Redwood Credit Union New Ukiah Branch
Location	101 South Main Street
APN	002-231-01
Current Zoning	UC Urban Center, Downtown Zoning Code
General Plan Designation	DC Downtown Core
Estimated Lot Size	0.48 Acres (20,700 SF)
Airport Compatibility	Area: 278.46 Source: Ukiah Zone 4: Outer Approach Max. Sitewide Avg. Intensity: 150 people/Acre = 72 people Max. Single Acre Intensity: 450 people/Acre = 216 people
Proposed Use:	Financial Services with a drive-up ATM Kiosk Financial Services under 5,000 SF are permitted in a UC Zone. Drive up ATM are allowed as an accessory to primary use.
Owner's Estimated Occupancy	Approx. 60 people at peak times (including ATM drive up queue)
Downtown Zoning Code Key Criteria	
Frontage Building Type	Side Yard Building
Frontage Type	Shopfront / awning
Open Parking for Side Yard Bldg	Allowed in 3 rd layer only
Setbacks	Front = None Required Side yard= 0 feet minimum, 10 feet maximum Rear yard = 6 feet maximum (corner lot with no alley)

PROJECT DESCRIPTION:

With continuing commitment to Ukiah, Redwood Credit Union would like to open a new branch to better serve the community and its growing Ukiah regional membership. The project proposes new construction on the corner of Perkins and South Main with careful consideration to both street frontages. With adjacencies that include the Ukiah Public Library, the Curries Furniture Building, and

the County Department of Child Support Services buildings, the following architectural attributes were prevalent:

- Single story buildings
- Facades with flat parapets
- Lineal bands of glazing
- Plaster facades
- Lineal accent bands
- Signage at parapet level

The design of the new Redwood Credit Union branch draws inspiration from these adjacencies and assimilates these attributes in a fresh modern way. The façade also incorporates stucco and Trespa, a synthetic wood like siding, to provide a durable natural warmth to the building elevations. Landscape beds, screening, and trees provide additional interface with nature, shade, and color.

Since the fire of 1917 leveled the site, most of the site's history has been as a one story feed store. Records show that by 1921, Holz Feed Co. had been erected as a one-story building with a continuous parapet height around the South Main Street and Perkins Street elevations. The business went through several ownerships as Holz Feed Co., H & M Feed Co., Vonsen Feed Co., and Mercer Feed Company. The current building, while significantly altered from the original building, was identified as having a pressed metal siding of historic interest.

Adaptive reuse of the stamped metal siding from the former building:

According to the 05/24/22 letter from the City of Ukiah, the approved Demolition Permit for the existing building at 101 South Main Street includes a mitigation measure (CUL-2) that requests that *"at the time of demolition, the pressed metal siding on the west and north portions of the building shall be salvaged. If the pressed metal siding is not able to be salvaged, similar pressed metal siding may be used. Any new development will incorporate into the design all, or a portion, of the pressed metal siding of the existing building to pay homage..."*. AXIA Architects, Western Builders, and the Owner approached this responsibility with the following methodical approach:

Assessment of Existing Conditions: AXIA Architects and Western Builders created a grading scale of the panels based on level of deterioration and possible reuse in a weather repellant manner. Attached is the grading scale created establishing levels A – F. The team then brought ladders to the site on 1/17/23 and inspected each stamped metal panel to assign a grade. Western Builders also took samplings of the paint and metal to determine whether hazardous materials existed.

Results of Assessment: The team determined that about 250 SF of stamped metal panel was viable as modest weather repellant siding for reuse on a building. Due to holes, bending, deterioration, or other aspects, about 600 SF was not suitable for weather repellence, but still usable in non-building applications. Most importantly, the hazardous materials testing determined that lead was present in the stamped metal. Based on this information, we do not recommend reuse.

Design Considerations: WF Norman Corporation in Missouri makes a siding that is similar to the existing siding on the current building. According to WF Norman, the new siding overlaps about 1-1/2" on the ends and about 1/2" top to bottom. It falls short of the 3" overlap recommended by the Sheet Metal and Air Conditioning Contractors National Association (SMACNA), a

recognized industry authority for flashing conditions exposed to the weather. Representatives from WF Norman acknowledge that the wall should be designed to resist moisture penetration through their siding. As such, we are installing a membrane substrate and considered design locations for the siding that had some measure of weather protection. The walls on which we propose the stamped metal siding enjoy canopy coverage for a fair portion while still giving the stamped siding a position of importance on the building.

Ingress, Egress, Circulation:

The project's site plan evolved from the guidance of the Downtown Zoning Code. The primary entry to the parking occurs from the secondary street. Pedestrian circulation is positioned in front of the north facing stalls and ties into the bike parking. The parking stalls occur in the 3rd layer of the site. Trees, existing and new, meet the requirements of 1 tree per 5 stalls of parking. Street trees have been added to the property as well. The layout of the parking and site circulation also stays generally true to the existing layout of the site with improvements as noted. This project proposes to construct two new driveway aprons in similar proximity to the two existing driveway aprons which will be removed. Primary vehicular access is designed to come from South Main Street with secondary vehicular access from East Perkins Street. The new driveways will have, but not exceed, two lanes. Pedestrian access from the public right-of-way to the parking lot will be directly from the South Main Street frontage. A concrete walkway will be constructed for pedestrian access in the landscape areas between the parking lot and the proposed building. There will not be any overhead improvements limiting vehicular clearance. The site parcel and adjoining parcel to the east, APN 002-231-21, have a shared 24-foot wide vehicular access easement for fire vehicle access. This project proposes to maintain the shared vehicular access condition by relocating the easement to the new drive aisle location. The parking lot will have raised curbs in order for vehicle overhang to not encroach more than 2 feet into landscape areas.

Photometric and Site Lighting Notes:

- a. Two photometric plans have been provided to show lighting levels on site and at adjacent properties. All blue values are zero.
- b. The photometric plans show the fixture locations, color-coded red, blue and green according to the fixture schedule provided on the first sheet.
- c. All fixtures are full cutoff as required for Dark Sky requirements.
- d. Fixtures' backlight, uplight and glare (BUG) ratings do not exceed the maximum values noted in CalGreen Table 5.106.8. The BUG ratings are noted in the lighting fixture cut sheets (attached) where the fixtures have greater than 6,200 lumen output; fixtures below that output are exempt from the BUG ratings per CalGreen 5.106.8.

Requested Exceptions from the Downtown Zoning Code:

1. One Story Building: A number of buildings in the immediate vicinity are 1-story including the Ukiah Public Library, the Curries Furniture Building, and the County Department of Child Support Services buildings. A two-story building is not functional for the proposed use. The building design incorporates the 12-foot high ceilings desired by the Downtown Zoning Code, but does so as a single story building to respect the reduced height required by the B2 Zone of the Airport requirements (the airport requirement of a 2-story maximum was likely based on 20 – 25 feet). As partial mitigation, we have designed a parapet wall around the building to provide a tall one-story façade, similar in size to the original Holz Feed Company building that occupied the site.

2. Rear Maximum 6-foot setback: For functional parking and ATM drive-thru service in Layer 3 behind the corner siting of the building we need a greater setback than 6 feet from building to the rear property line. Oak trees also existing near the rear property line requiring some separation for their health.
3. Code Requires 16 spaces, we provided 19 spaces: In order to minimize impact on neighbors with street parking, we request up to three additional stalls be allowed within our site. The pedestrian experience on Perkins and South Main Street is unaffected by the request for these three additional stalls. The proposed site design with the 19 stalls is already an improvement to the existing landscape and permeable surfaces on the existing site.

Landscaping & Tree Removal:

The landscaping is designed to provide shading and interest at a pedestrian level. The species selected will be drought tolerant and mostly native to the area. The project includes buffers around the parking area, a generous landscaping bed at the ingress/egress to South Main Street, shade trees in the parking lot and planting beds near the entry points. Shade covering trees are provided, existing and new at 1 tree per 5 spaces and the project is designed to save a series of the existing oak trees along the southeast and eastern property lines. With thoughtful site planning and layout, the proposed project has achieved protection of all Protected Trees (per City ordinance). Tree protection was a high priority for the layout of the building and parking lot. We have protected a 9" oak tree, 12" oak tree, 7" oak tree; all located close to the trash enclosure by laying out the parking spaces and enclosure thoughtfully. Only two trees are being proposed to be removed, a 14" Chinese Pistache tree and a 7" Cypress tree, none of which are protected or native. These trees are not required to be mitigated or replaced, however, we are proposing three Gingko and 1 oak tree in the parking lot. Three Chinese Pistache trees are proposed along S. Main Street and three Southern Magnolias along Perkins Street.

Site Development Permits: Narrative for Section 9231.3 Required Findings:

Consistency with the Ukiah General Plan, Ukiah City Code, and Downtown Zoning Code:

The project strives to achieve the goals of scale, character, compatibility, and pedestrian interface that are so carefully woven into the language of Ukiah's codes. The General Plan designates the property as part of the Downtown Core (DC). The proposed development provides community-oriented commercial services with walkable and multi-modal access. The building design is conscious of its overall connectivity to its neighbors and the remainder of the city. The design of the site and building evolved from the form-based guidance of the Downtown Zoning Code as described below.

The Design:

The height and massing of the proposed design pays homage to the massing of the adjacent Ukiah Public Library and the Curries Furniture Building. The ribbon glazing is consistent with the County building to the west. The horizontal lines of the parapet caps, plaster reveals, and the awnings are inspired by the adjacent buildings. The orientation of entry at Perkins responds to the desires of the Downtown Zoning Code while functionally addressing ADA cross slopes and allowing for a corresponding entry from the parking lot. The location of trees and awnings provide solar shading on the south façade. The glazing on the north facades provides an exciting face of activities to interact with Perkins Street. The building design incorporates the 12-foot high ceilings desired by the Downtown Zoning Code, but does so as a single story building to respect the reduced height required by the B2 Zone of the Airport requirements (the airport requirement of a 2-story maximum was likely based on 20 – 25 feet).

Siting:

The siting of the proposed building directly responds to the Downtown Zoning Code Side Yard Building for a corner lot condition. The parking is positioned in the 3rd layer based on the code descriptions. The design complies with the applicable setbacks. The positioning of the building helps to establish the urban fabric of the street and the consistency of the pedestrian experience desired by the Downtown Zoning Code.

Ingress/Egress, Circulation, Parking: See Subsection above.

Landscaping/Trees: See Subsection above.

Resource Protection:

The project is proposed on a property that is currently developed. Asphalt covers most of the site and the two existing buildings have been approved for demolition pending the approval of the new design. The project has proposed the incorporation of new stamped metal siding to provide tribute to the existing material for public display to honor its heritage. A series of oak trees on the east and southeast side of the site are designed to remain. The proposed project also works with the natural grade of the site. The ingress/egress points to the adjacent roads are similar in location to the existing encroachments.

Health, Safety, and Welfare:

The treatment of pedestrian and vehicular circulation is very similar to the existing. The internal site circulation improves the safety of pedestrians in an egress situation. The proposed development is respectful of the adjacent neighbors in scale, circulation, and form. The modest shift in the emergency vehicle circulation easement with the neighbor to the east has received their written approval and has been submitted to the City for recording.



PO BOX 1000
SANTA ROSA, CA 95402

540 MENDOCINO AVE
SANTA ROSA, CA 95401

STAMPED METAL SIDING PANEL EVALUATION

Project:	RCU Ukiah Branch	Arch Job No.:	1152
Meeting	101 South Main St.	Date:	January 17, 2023
Location:	Ukiah, CA 95482	Time:	9:00 – 11:30am
		Weather:	Sunny
Persons Present:	Bradley Williams / Redwood Credit Union (BW) Rob Cantu / Western Builders (RC) David Hadley / Western Builders (DJH)	Doug Hilberman / AXIA Architects (DH) Remy CantoAdams / AXIA Architects (RCA)	
Distribution: (Via Email)	Participants		

Purpose for Visit:

Evaluation of existing stamped metal siding panels at 101 South Main St building to determine panel quality / grading for potential salvage and reuse.

Summary of Observations:

Representatives from Redwood Credit Union, Western Builders, and AXIA Architects participated in the evaluation of existing stamped metal siding panel to determine qualification for the grading scale and attributes which attempts to classify each panel based on established grading criteria below.

During the evaluation process, AXIA recorded the group feedback by marking up all visible siding panels based on the quality scale and grading of each panel as determined by the group inspection. The mark-up for each applicable exterior elevation is included as attachments.

Items Noted:

Below is a summary of the grading scale determined by group and qualifications for each respective grading category.

Stamped Metal Siding Panel Grading:

- A:** Pristine; No dents, holes, rust, or deterioration.
- B:** No dents; No holes except fasteners; Viable as weather resistive barrier.
- C:** Dented; Irregular Size; No extra holes; Viable as weather resistive barrier.
- D:** Holes and dents present; Holes present at middle of stamp pattern, don't align with fastener locations, or panel seams.
- F:** Not salvageable.

Notes:

Metal panel size per visible stamp pattern: 24" (H) x 60" (L)
Block stamp pattern size: 6" (H) x 12" (L) to seam centerlines
Vertical and horizontal panel overlap: $\frac{3}{4}$ "

Attachments:

Existing Elevation Grading Mark-Up

- A. (E) Ext. Elevation – S. Main St.
- B. (E) Ext. Elevation – Corner
- C. (E) Ext. Elevation – E. Perkins St.

STAMPED METAL PANEL GRADING

Project: RCU Ukiah Branch Ukiah – New Branch 101 South Main St. Ukiah, CA 95482	Owner: Redwood Credit Union Kimberly Williams 3033 Cleveland Ave. Santa Rosa, CA 95403 Kwilliams@redwoodcu.org	Arch Job#: 1152 Date: January 17, 2023
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The following information has been prepared per site evaluation of existing stamped metal siding at 101 South Main St building on January 17th by Redwood Credit Union, Western Builders, and AXIA Architects. The team created a grading system to approximate the general condition of each panel.

Stamped Metal Panel Grading System:

- A:** Pristine; No dents, holes, rust, or deterioration.
- B:** No dents; No holes except fasteners; Potentially viable as weather resistive barrier.
- C:** Dented; Irregular Size; No extra holes; Potentially viable as weather resistive barrier.
- D:** Holes and dents present; Holes present at middle of stamp pattern, don't align with fastener locations, or panel seams. Issues with use as a weather resistive barrier.
- F:** Not likely to be reusable due to shape, cuts, holes, bent nature, deterioration, etc.

Notes:

Metal panel size per visible stamp pattern: 24" (H) x 60" (L)
Block stamp pattern size: 6" (H) x 12" (L) to seam centerlines
Vertical and horizontal panel overlap: $\frac{3}{4}$ "

Results as graded by the team during the 1/17 site observation:

Panel Grade	Quantity	Square Footage
A	0	0
B	14	140 SF
C	11	110 SF
D	26	260 SF
F	34	340 SF

The above quantities do not include any partial, trimmed, incomplete panels.



STAMPED METAL PANEL GRADING

PANEL GRADE	DESCRIPTION
A:	PRISTINE: NO DENTS, HOLES, RUST, OR DETEIORATION
B:	NO DENTS, NO HOLES EXCEPT FASTENERS, VISIBLE AS WEATHER RESISTIVE BARRIER
C:	DENTED, IRREGULAR SIZE, NO EXTRA HOLES, VISIBLE AS WEATHER RESISTIVE BARRIER
D:	HOLES AND DENTS PRESENT, HOLES PRESENT AT MIDDLE OF STAMP PATTERN, DON'T ALIGN WITH FASTENER LOCATIONS, OR PANEL BEAMS
F:	NOT SALVAGEABLE

NOTES:
 METAL PANEL SIZE PER VISIBLE STAMP PATTERN: 24" (H) X 36" (L)
 BLOCK STAMP PATTERN SIZE: 4" (H) X 12" (L) TO SEAM CENTERLINES
 VERTICAL & HORIZONTAL PANEL OVERLAP: 3/4"



UKIAH - NEW BRANCH

(E) EXT. ELEVATION - CORNER

101 SOUTH MAIN ST, UKIAH, CALIFORNIA

AXIA
 ARCHITECTS
 JANUARY 17, 2023



STAMPED METAL PANEL GRADING

PANEL GRADE	DESCRIPTION
A:	EXISTING: NO DENTS, HOLES, RUST, OR DETERIORATION
B:	NO DENTS, NO HOLES EXCEPT FASTENERS, VISIBLE AS WEATHER RESISTIVE BARRIER
C:	DENTED, IRREGULAR SIZE, NO EXTRA HOLES, VISIBLE AS WEATHER RESISTIVE BARRIER
D:	HOLES AND DENTS PRESENT, HOLES PRESENT AT MIDDLE OF STAMP PATTERN, DON'T ALIGN WITH FASTENER LOCATIONS, OR PANEL SEAMS
F:	NOT RAINWATERABLE

NOTES:
 1. MIN. 1/4" PANEL SIZE PER VISIBLE STAMP PATTERN 36" (914 X 914)
 2. BLOCK STAMP PATTERN SIZE: 4" (101.6 X 101.6) TO SEAM CENTERLINES
 3. VERTICAL & HORIZONTAL PANEL OVERLAP: 3/4"



UKIAH - NEW BRANCH

(E) EXT. ELEVATION - E. PERKINS ST.

101 SOUTH MAIN ST, UKIAH, CALIFORNIA





STAMPED METAL PANEL GRADING

PANEL GRADE	DESCRIPTION
A:	PRISTINE, NO DENTS, HOLES, RUST, OR DETEIORATION
B:	NO DENTS, NO HOLES EXCEPT FASTENERS, VISIBLE AS WEATHER RESISTIVE BARRIER
C:	DENTS, IRREGULAR SIZE, NO EXTRA HOLES, VISIBLE AS WEATHER RESISTIVE BARRIER
D:	HOLES AND DENTS PRESENT, HOLES PRESENT AT MIDDLE OF STAMP PATTERN, DON'T ALIGN WITH FASTENER LOCATIONS, OR PANEL SEAMS
F:	NOT SALVAGEABLE

NOTES:
METAL PANEL SIZE FOR VISIBLE STAMP PATTERN: 24" H X 80" L
BLOCK STAMP PATTERN SIZE: 8" H X 12" L TO SEAM CENTERLINES
VERTICAL & HORIZONTAL PANEL OVERLAP: 3/4"



UKIAH - NEW BRANCH

(E) EXT. ELEVATION - S. MAIN ST.

101 SOUTH MAIN ST, UKIAH, CALIFORNIA

AXIA
ARCHITECTS
JANUARY 17, 2023

March 15th, 2023

City of Ukiah
Community Development Department
300 Seminary Avenue
Ukiah, CA 95482

Re: 101 South Main Street Submission

Dear Mrs. Irace,

We appreciate the feedback received from various department members. While many of the feedback comments are generally associated with Conditions of Approval, the following is a summary of questions that we believe would benefit from a response.

1. **Stamped Metal Siding:** As noted in the 2/15 resubmission, we went through a thorough analysis of the existing stamped metal and found limited material for reuse that was appropriate for weatherization of a building. The existing siding was also tested for hazardous materials and was determined to contain lead. As such, we are now proposing use of new stamped metal instead of reusing the existing material. The tribute walls are directly adjacent to the primary entries.
2. **Width of new sidewalk on Perkins:** The width of the new sidewalk shall be a minimum of 8 feet. The tree grates will be inboard of this measurement.
3. **Glazing:** The design currently includes a little over 65% glazing along Perkins Street. Figure 9 of the Downtown Zoning Code (DZC) requires Storefront Frontage on Perkins Street. Storefront, while recommended on South Main Street, is not required in Figure 9. As a financial institution, RCU has some need for more secure areas without glazing. The building and additional landscape provide a number of features for pedestrian interaction and natural daylight. The approach to Main Street more closely resembles the Forecourt Frontage Type.
4. **Frontage Buildout:** The project is designed to align with the Side Yard Building Type in Table 5 of the DZC. Table 6 requires 40% minimum total frontage. Acknowledging that the DZC identifies frontage on both streets for corner lots, the combined frontage of Main Street and Perkins Street is about 133 feet in 288 feet of length, which equates to approximately 46%. The frontage on Main Street is restricted by the width needed for the basic parking lot.
5. **Corner Treatment:** Table 11 provides information on both the Corner Treatment and the Corner Building Entrance. The language in Table 11 for corner treatment acknowledges some latitude to address specific site conditions with the words "or similar manner". Perkins Street has significant slope to the sidewalk as it heads east. As the

design team reviewed the corner, we felt that positioning the entry towards the corner but providing a little landscaped setback would give us the greatest opportunity to address Accessibility requirements and control the cross slope.

Sincerely,



Douglas Hilberman
President
AXIA Architects

CITY OF UKIAH DOWNTOWN ZONING CODE DESIGN AND DEVELOPMENT STANDARDS

All other sections of the DZC can be found online at

<https://www.codepublishing.com/CA/Ukiah/#!/html/Ukiah09/Ukiah0902-1800.html>

Provided by Applicant

Table 6: Principal Building Standards

STANDARDS (1) (2)	GENERAL URBAN GU	URBAN CENTER UC	DOWNTOWN CORE DC	MODIFICATION TO STANDARD (3)	Project Consistency
BUILDING SITING (SETBACKS)					
Front	0 ft. minimum 10 ft. maximum	0 ft. maximum	0 ft. maximum	Major Exception	Met
Front with sidewalk cafe/shopfront	12 ft. maximum	12 ft. maximum	12 ft. maximum	Major Exception	N/A
Side	0 ft. minimum 10 ft. maximum	0 ft. minimum 10 ft. maximum	0 ft. minimum 6 ft. maximum	Major Exception	Corner Lot, 2 Fronts
Rear	6 ft. minimum	6 ft. minimum	6 ft. minimum	Major Exception	Met
Rear – corner lot no alley (4)	6 ft. maximum	6 ft. maximum	6 ft. maximum	Major Exception	
Rear – with alley (5)	14 ft. from center line	14 ft. from center line	14 ft. from center line	Major Exception	N/A
FRONTAGE BUILDOUT					
Courtyard building (6)	70% minimum	70% minimum	80% minimum	Major Exception	N/A
Rear yard building (6)	60% minimum	70% minimum	80% minimum	Major Exception	N/A
Side yard building (6)	40% minimum	40% minimum	Prohibited building type	Major Exception	Side Yard Bldg., Met
COURTYARD BUILDING					
Minimum area of courtyard	15% of total lot area			Major Exception	
Minimum dimensions of courtyard	40 ft. when long axis of courtyard is oriented east- west 30 ft. when long axis of the courtyard is oriented north-south			Minor Exception	
FRONTAGE TYPE (See Table 8)					
Terrace/light court	Allowed	Allowed	Prohibited	Major Exception	
Forecourt	Allowed	Allowed	Allowed	Major Exception	
Stoop	Allowed	Allowed	Allowed	Major Exception	
Shopfront/awning	Allowed (7)	Allowed (7)	Allowed (7)	Major Exception	Shopfrontage, awnings at entries
Gallery	Allowed (7)	Allowed (7)	Allowed (7)	Major Exception	
Arcade	Prohibited	Allowed (7)	Allowed (7)	Major Exception	
Other	Prohibited	Prohibited	Prohibited	Major Exception	

STANDARDS (1) (2)	GENERAL URBAN GU	URBAN CENTER UC	DOWNTOWN CORE DC	MODIFICATION TO STANDARD (3)	Project Consistency
BUILDING HEIGHT (8)(9)					
New building	2 stories minimum 2 stories maximum (8)	2 stories minimum 3 stories maximum (8)	2 stories minimum 4 stories maximum (8)	Major Exception	1 story building
NUMBER OF BUILDINGS					
Principal building	1	1	1	Minor Exception	1
Accessory building	1	1	Prohibited	Minor Exception	Trash enclosure
EXISTING BUILDING					
Setbacks	Additions not exceeding 1,000 square feet of gross floor area or 50% of the gross floor area of the existing building, whichever is less, may continue the setbacks of the existing building.			Major Exception	N/A
Height (8)	Additions not exceeding 1,000 square feet of gross floor area or 50% of the gross floor area of the existing building, whichever is less, may continue the existing building height.			Major Exception	N/A
Frontage type	Exterior modifications (including additions) to buildings with nonconforming frontage types that will affect the building frontage shall utilize an allowed frontage type as required above.			Major Exception	N/A
1. Encroachment into the public right-of-way requires approval of an encroachment permit from the Public Works Department. 2. See section 9232 of this code, Glossary, for an explanation of terms. 3. See section 9231 of this code, Administration and Procedures. 4. Corner lots have two frontages, one rear and one side. The rear and side shall be determined as part of the project review process. 5. Rear alleys shall not provide the primary or only access to any lot or building. All access shall comply with all fire and emergency access requirements. 6. See Table 5: Building Types, for additional information and examples of each building type. 7. See Figure 9: Special Designations Map, for locations of “Required Storefront Frontages.” 8. Building heights may be superseded by the Mendocino County Airport Comprehensive Land Use Plan height restrictions. Any building being proposed over the story minimum in the B2 Airport Compatibility Zone requires Mendocino County Airport Land Use Commission approval. 9. See Figures 2A and 2B: Building Height.					

Table 9, Development Standards for All Land Uses

STANDARDS	ALL ZONES	MODIFICATION TO STANDARD (1)	Project Consistency
LOADING DOCK AND SERVICE AREAS			
Location	Prohibited on frontage(s).	Major Exception	Met
Design	Reduce visibility when viewed from frontage(s).	Major Exception	Met
Queuing/Pickup Location	Adequacy of vehicle queuing capacity and the design and location of the ordering and pickup facilities shall be determined by the review authority.	Major Exception	Queuing towards rear of site
Screening	Landscaping, low walls, and/or berms to prevent headlight glare from impacting adjacent streets and parking facilities.	Major Exception	Landscape screening abuts both encroachment locations
OUTDOOR STORAGE (2), TRASH/RECYCLING FACILITY AND RECEPTACLES UTILITIES, AND SIMILAR FACILITIES OF POOR VISUAL QUALITY (3)			
Location – All Building Types	Prohibited on frontage(s).	Major Exception	Met
Location – By Building Type	Side yard building: 3rd layer Rear yard building: 3rd layer Courtyard building: 4th layer	Minor Exception	Met, in 3 rd layer
Screening (6) <i>see Site Screening below</i>	Screen from view from all frontage(s) with a streetscreen. Trash and recycling facilities shall be screened with an enclosure.	Major Exception	Met, Enclosure
Screening – Material	Material shall be compatible with the main building or landscaping that is consistent with the landscaping on the site and building design.	Minor Exception	Met, Portland Cement Plaster to match building
Size	As required by the City's trash and recycling contractor.	Minor Exception	Met
DRIVE-THROUGH FACILITY (2)(4)			
Design	To reduce noise and visual impacts as viewed from frontages. On a project by project basis, screening and landscaping may be required in order to comply with this requirement.	Major Exception	Met, Screening and Landscaping provided along frontages
Location	Prohibited on frontage(s).	Major Exception	Met, Located in 3 rd layer

STANDARDS	ALL ZONES	MODIFICATION TO STANDARD (1)	Project Consistency
	In areas with residential uses, locate to reduce exposure of residential uses to noise, exhaust, and visual impacts. On a project by project basis, delivery hours may be restricted in order to comply with this requirement.		
Screening <i>see Site Screening below</i>	Screen from view from all frontage(s).	Major Exception	
FENCING (5)			
Height – 3 Feet Maximum	Between the frontage line (lot line) and front setback or building facade, whichever is greater.	Major Exception	No fencing along frontage
Height – 6 Feet Maximum	Outside of the maximum required front setback or behind the building facade, whichever distance is greater.	Major Exception	Met
Height – Measurement	Measured from the grade adjacent to the fence to the top of the fencing material. Fence height cannot be averaged.	Major Exception	Met
Location	Prohibited between the building facade(s) and frontage line(s) (lot line).	Major Exception	Met
Material – Allowed	Materials compatible with or match materials for the adjacent building facade and living fences (e.g., espalier, hedge row) are also allowed.	Minor Exception	Met, compatible with buildings in immediate vicinity
Material – Prohibited	Barbed wire, concertina wire, chain link, cyclone, and similar with or without screening slats and similar as determined by the Planning Director.	Major Exception	Met
SITE SCREENING (STREETSCREEN) (6)			
Height – Intersection	30-inch maximum height within 30 feet of an intersection (5).	None (7)	Met
Height – Outdoor Storage	3 feet minimum; 6 feet maximum.	Minor Exception	Met
Height – Parking Lot	3 feet maximum.	Major Exception	Met
Height – More Than 4 Feet	Articulated to avoid blank wall.	Minor Exception	Met where landscape beds are available

STANDARDS	ALL ZONES	MODIFICATION TO STANDARD (1)	Project Consistency
Material	Masonry walls, landscape materials, or decorative fencing compatible with the design and materials of the principal building.	Minor Exception	Landscape screening utilized
Openings	Minimum necessary to provide vehicular (including emergency vehicles and garbage and recycling vehicles) and pedestrian access.	Minor Exception	Only two encroachment openings occur, appropriate for a corner lot
ROOFTOP EQUIPMENT AND SCREENING (6)			
Equipment – Height	10 feet maximum.	Minor Exception	Met
Equipment – Location	Reduce visibility from all frontage(s).	Minor Exception	Met, parapet wall around building
Screening – Design	Consistent with building design (materials, colors, form).	Minor Exception	Met, parapet wall around building
Screening – Flat Roof	Minimum parapet height of 42 inches or taller as needed to screen rooftop equipment and approved by the Planning Department.	Minor Exception	Met
OUTDOOR LIGHTING (including parking lots)			
Design	Compatible with building architecture.	Minor Exception	Met
Direction of Fixtures	Directed downward and away from adjoining properties and public right-of-way.	Major Exception	Met
Energy Efficiency	Energy efficient fixtures/lamps, such as high pressure sodium, hard-wired compact fluorescent, LED, or other lighting technology that is of equal or greater energy efficiency.	Minor Exception	Met
Fixtures	Hooded and/or shielded to force light downward and to prevent emission of light or glare beyond the property line. Fixtures approved by the International Dark Sky Association are encouraged.	Major Exception	Met
Glare/Reflection	Confined to the maximum extent feasible within the boundaries of the site. A photometric plan may be required in order to determine compliance with this requirement.	Minor Exception	Met

STANDARDS	ALL ZONES	MODIFICATION TO STANDARD (1)	Project Consistency
Height	Maximum of 12 feet or the height of the building, whichever is less.	Minor Exception	Met
Hours	All nonessential lighting shall be turned off after 11:00 p.m. except as allowed by safety and security, below.	Minor Exception	Met
Prohibited	Blinking, flashing, or unusually high intensity of brightness as determined by the Planning Director.	Major Exception	Met
Safety and Security During Business Hours	All areas having frequent vehicular and/or pedestrian traffic shall be equipped with a lighting device during the hours of darkness.	Minor Exception (8)	Met
1. See section 9231 of this code, Administration and Procedures. 2. When allowed by Table 3: Allowed Uses and Permit Requirements. 3. Such as A/C units, utility transformers and boxes, and direct vent fireplaces. 4. Drive-through lane/facility is subject to Planning Commission approval of a site development permit. 5. Subject to review and approval of the Public Works Department to ensure adequate sight distance. 6. Planning Department approval of screening required when not part of a project that requires discretionary review. 7. No exception allowed to increase height due to safety. 8. Police Department review and approval required as part of the minor exception process in order to ensure adequate safety and security.			

Table 10, Landscaping Standards for All Developments

STANDARDS	ALL ZONES	MODIFICATION TO STANDARDS (1)	Project Consistency
General Requirements			
Dimensions	Minimum of 3 feet interior width for landscaped areas without trees.	Minor Exception	Met

STANDARDS	ALL ZONES	MODIFICATION TO STANDARDS (1)	Project Consistency
	Minimum of 4 feet interior width for landscaped area with trees.		
Height	Shall comply with height limits for vision triangles.	Minor Exception (2)	Met
Hydrozones	Plants with similar water requirements shall be grouped together.	Minor Exception	Met
Irrigation	All landscaped areas shall be provided with an automatic irrigation system, except those areas landscaped with native plants not requiring irrigation.	Minor Exception	Met
Plans	Landscaping plan is required.	None	Submitted
Model Water Efficiency Landscape Ordinance (MWELo)	Landscaping and irrigation plans for development projects shall comply with the State of California Model Water Efficiency Landscape Ordinance. Landscaping and irrigation plans submitted as part of the development permit application shall demonstrate compliance with the most recently adopted version of the MWELo unless superseded by City ordinance.	None	Met
Safety – Location/Size of Planting at Maturity	Shall not interfere with safe sight distances for vehicular, bicycle, or pedestrian traffic; conflict with overhead power lines; or block pedestrian or bicycle ways.	None	Met
Species (3)	Species shall be selected based on their adaptability to climatic, geological and topographical conditions of the site. Native, drought tolerant species known to grow well in Ukiah's climate are encouraged.	As allowed by Tables 21 – 26	Met
Trees (4)(5)			
Existing	Shall be retained and preserved as required in section 9229 of this code, Tree Preservation and Planting Requirements.	As allowed by Tables 18 and 19	Met
Location	Shall not be planted under any eave, overhang, balcony, light	Minor Exception (2)	Met

STANDARDS	ALL ZONES	MODIFICATION TO STANDARDS (1)	Project Consistency
	standard, or other structure that may interfere with normal growth.		
Root Barriers	Required for tree planters less than 10 feet in width or located less than 5 feet from a permanent structure.	Minor Exception (2)	Met, note #13
Parking Lot Trees	See section 9229 of this code, Tree Preservation and Planting Requirements.	As allowed by Tables 24 and 25	Met
Street Trees – Spacing	1 street tree every 30 feet of parcel frontage (5) See subsection 9229.4E6 of this code.	None	Met
Street Trees – Species, Additional Requirements	See section 9229 of this code, Tree Preservation and Planting Requirements.	As allowed by Tables 21 – 23	Met
Groundcover and Shrubs			
Groundcover	Minimum 1 gallon and appropriately spaced in accordance with size at maturity.	Minor Exception	Met
Shrubs	Minimum 5 gallon and appropriately spaced in accordance with size at maturity.	Minor Exception	Met
Turf	Is discouraged. Any turf area shall be kept to a minimum and used only where a practical need can be demonstrated as part of the landscaping plan.	Minor Exception	No turf proposed. Met
Crushed Rock, Pebbles, Stone, Similar Materials	Maximum of 15% of the total area to be landscaped.	Minor Exception	Met
Planting Beds	Top dressed with a bark chip mulch or other approved alternative.	Minor Exception	Met
Artificial or Synthetic Groundcover or Shrubs	Prohibited.	Major Exception	None
Irrigation			
Design	To reduce water usage.	None	Met
Plans	Conceptual irrigation plan is required as part of the landscaping plan.	None	Met
Maintenance Requirements			

STANDARDS	ALL ZONES	MODIFICATION TO STANDARDS (1)	Project Consistency
Fertilizer	Only used on trees during planting. Shrubs may receive periodic fertilizer according to the recommendations of a landscaping professional.	None (6)	Met
Irrigation	In working conditions at all times.	None (6)	Met
Litter	Removed from landscaped areas on a regular basis.	None (6)	Met, City of Ukiah Notes, #1
Pruning (7)	All trees shall be properly pruned. Top cutting of trees is prohibited. All pruning shall follow industry best practices to ensure long-term health and vitality.	None (6)	Met, City of Ukiah Notes, #2
Replacement – Tree, Shrub, Groundcover	Any landscaping that dies, fails to grow or is unhealthy due to pests, damage, disease, vandalism, or other factors shall be replaced immediately. Replacement shall conform to the standards that govern the original planting, approved landscaping plan, or as approved by the Planning Director.	None (6)	Met
Stakes – Inspection	Ties and stakes to be inspected by the property owner or their designated representative every 6 months to ensure they do not constrict the trunks or damage the tree.	None (6)	Met
Stakes – Removal	Ties and stakes to be removed by the property owner or their designated representative after 1 to 3 years to ensure they do not damage the trunk of the tree or its overall growth.	None (6)	Met
Turf Areas	Mowed on a regular basis and kept green and weed free at all times.	None (6)	Not Applicable
Watering	Regular slow deep watering when feasible, fluctuating to provide more water in the summer and less water in the winter. (8)	None (6)	Met
Weed Killer	Shall not be used on or near trees.	None (6)	Met

STANDARDS	ALL ZONES	MODIFICATION TO STANDARDS (1)	Project Consistency
1. See section 9231 of this code, Administration and Procedures. 2. Modification to this standard requires review and approval of the Planning Department, Public Works Department, Fire Department and Electric Utility Department as applicable to the specific project. 3. See Tables 20 – 25 for specific species requirements for street trees, parking lots and riparian corridors. 4. Where the requirements of this table conflict with the requirements of section 9228 of this code, Parking Standards and Procedures, the requirements of section 9229 of this code shall control. 5. Where the requirements of this table conflict with the requirements of section 9229 of this code, Tree Preservation and Planting Requirements, the requirements of section 9229 of this code shall control. 6. Maintenance requirements are provided to ensure the long-term health and viability of landscaping and trees. No modification to maintenance requirements is allowed. 7. For information regarding proper pruning techniques, see the International Society of Arboriculture website, www.isa-arbor.com. 8. Turf areas are not required to be kept green during times of mandatory water conservation, water moratorium, or a declared water emergency.			

Table 12, Architectural Elements and Materials

STANDARDS (1)(2)	ALL ZONES	MODIFICATION TO STANDARD (3)	Project Consistency
EXISTING BUILDINGS			
Addition – Facade	Shall comply with the architectural standards included in this table.(4)	Major Exception	
Addition – Elevation	Shall comply with the architectural standards included in this table.(4)	Minor Exception	
Modification – Facade	Shall comply with the architectural standards included in this table.(4)	Major Exception	
Modification – Elevation	Shall comply with the architectural standards included in this table.(4)	Minor Exception	
OPENINGS			

STANDARDS (1)(2)	ALL ZONES	MODIFICATION TO STANDARD (3)	Project Consistency
Above First Story – Maximum Opening	Maximum opening of 75% of total building wall area for each facade or elevation.	Minor Exception	N/A
Above First Story – Minimum Opening	Minimum opening of 25% of total building wall area for each facade or elevation.	Minor Exception	N/A
Arcades, Galleries, Windows, Etc. – Orientation	Vertical or square orientation. Horizontal orientation is prohibited.	Minor Exception	Met
Doors and Windows – Slider Operation	Prohibited along frontages.	Major Exception	Met
Doors and Windows – Faux (e.g., Flush/Nail-On)	Prohibited.	Major Exception	Met
Doors and Windows – Recess	Minimum 3-inch recess required on facade(s), measured from the wall of the facade.	Minor Exception	Met
Window – Shutter (5)	Sized to match window opening (close over the entire window).	Minor Exception	N/A
MATERIALS			
Balconies, Stoops	Concrete, painted or stained wood, or metal.	Minor Exception	N/A
Facade(s) – Primary Exterior Finish (6)	Brick, wood siding, fiber cement siding, stucco, stone.	Minor Exception	Synthetic Wood and Stucco
Facade – Location of Materials	Combined horizontally with heavier material below the lighter material.	Minor Exception	Material selections associated with massing
Prohibited	Plane panel siding (T1-11) as the primary siding material.	Major Exception	Met
ROOFS			
Cool Roof, Living Roof, Roof Garden	Allowed and encouraged in compliance with all applicable building code requirements.	None (7)	Met
Flat Roof – Parapet	Enclosed by a parapet with a minimum height of 42 inches or as needed to screen mechanical equipment.	Minor Exception	Met
Sloped Roof – Pitch	Sloped symmetrically with a minimum pitch of 5:12. Shed roof may have a minimum pitch of 2:12.	Minor Exception	N/A

STANDARDS (1)(2)	ALL ZONES	MODIFICATION TO STANDARD (3)	Project Consistency
Photovoltaic – Location	On a sloped roof, shall be flush mounted. On a flat roof, shall be flush mounted or if tilted shall not extend above the parapet of the roof.	Minor Exception	Met. If PV occurs, it will be mounted to flat roof and hidden by parapet
Roof Slope	Shall be designed to accommodate photovoltaic.	Minor Exception	Met
Accessory Structures	Allowed in compliance with all applicable building code requirements and subject to the development standards for accessory buildings. (8) Examples include trellis, pergola, gazebo and other similar structures as determined by the Planning Director.	Minor Exception	Met
ANCHOR BUILDINGS (9)			
Facade Design	Building length shall be visually reduced by varying building and/or parapet heights. The use of different colors and materials should also be considered.	Major Exception	Met
1. Encroachment into the public right-of-way requires approval of an encroachment permit from the Public Works Department. 2. See section 9232 of this code, Glossary, for an explanation of terms. 3. See section 9231 of this code, Administration and Procedures. 4. Unless subject to the requirements of Table 13: Historical Building Standards. 5. Not a required design element. If included as part of the project, shutters must comply with this standard. 6. Synthetic materials such as hardboard siding and stone (e.g., limestone, glazed tile, and heritage materials known to be used historically in Ukiah) may also be allowed if it accurately simulates the natural material and has equal or better weathering characteristics. The use of the material is at the discretion of the review authority (i.e., Planning Commission, Zoning Administrator, Director). 7. No exception is required since this is a recommendation and not a requirement.			

STANDARDS (1)(2)	ALL ZONES	MODIFICATION TO STANDARD (3)	Project Consistency
8. Minor exception is required to modify standards for accessory buildings.			
9. Applies to any building with a facade width of 75 feet or more.			

Table 17, Parking Design Standards-Open Parking and Parking Garages

STANDARD (1)	ALL ZONES	MODIFICATION TO STANDARD (2)	Project Consistency
OPEN PARKING			
Courtyard Building	Allowed in 4th layer only (See Figure 4B).	Major Exception	
Rear Yard Building	Allowed in 3rd layer only (See Figure 4A).	Major Exception	
Side Yard Building (3)	Allowed in 3rd layer only (see Figure 4A).	Major Exception	Met
Other Building Type	To be determined by major exception.	Major Exception	
Existing Open Parking – No Modification or Expansion	Existing parking facilities that are nonconforming in terms of location (layer) are not required to be relocated to comply with the parking layer requirement.	None	
Existing Parking Facility – Modification	Modifications to existing parking facilities shall comply with the requirements of Tables 16, 17 and 18.	Minor Exception	
Existing Parking Facility – Expansion	The expansion of existing parking facilities shall comply with the requirements of Tables 16, 17 and 18.	Minor Exception	
ACCESS			
Location	Parking, including garages, shall be accessed from an alley or secondary frontage when possible.	Minor Exception	Met
Opening Width Parking Lot or Garage	Shall not exceed two lanes in width.	Minor Exception (4)	Met
Pedestrian Entrance	Entrances to all parking lots and parking garages shall be directly from a frontage line.	Minor Exception (4)	Met

STANDARD (1)	ALL ZONES	MODIFICATION TO STANDARD (2)	Project Consistency
	Only underground parking garages may be entered directly from the building.		
Pedestrian Pathway	Parking lots with more than 12 parking spaces shall provide a pedestrian path of travel incorporated into the landscape area or separate from the drive aisles.	Major Exception	Met
Vehicular Clearance	Parking areas for nonresidential uses shall maintain a minimum unobstructed clearance height of 14 feet above areas accessible to vehicles.	Minor Exception (4)	Met
Shared Access – Adjacent Sites	For efficient circulation, safety, and convenience, shared access to on-site parking areas on adjacent properties is encouraged. Shared pedestrian access between adjacent properties is also strongly encouraged.	None	Met
Vehicle Overhang	Vehicle may overhang a maximum of two feet into landscape area.	None	Met
SURFACING AND STRIPING			
Surfacing – Parking Spaces and Maneuvering Areas	Durable, dust free, all-weather surfaces consistent with City standards. Permeable surfaces (5) are encouraged pursuant to the approval of the Public Works Department and Fire Marshal.	Major Exception	Met
Striping – Vehicle Spaces	Understandable markings to indicate where vehicles should park. Subtle markings such as contrasting colors in paving stones are encouraged.	Minor Exception (4)	Met
Restriping	Planning Director approval of a restriping plan is required.	None	N/A
1. See section 9232 of this code, Glossary, for an explanation of terms. 2. See section 9231 of this code, Administration and Procedures. 3. Sideyard buildings are not allowed in the DC Zone.			

STANDARD (1)	ALL ZONES	MODIFICATION TO STANDARD (2)	Project Consistency
4. Modification to this standard requires review and approval of the Planning Department, Public Works Department, Fire Department and Electric Utility Department as applicable to the specific project. 5. Such as pervious concrete, pervious pavers (Unipaver, Eco-Stone, and SF Rima or an approved equivalent); gravel, bark, or grass when reinforced to provide adequate load bearing (including geotechnical structures such as Invisible Structures Grasspave and Gravelpave products, or an approved equivalent).			

Table 18, Open Parking Lot Design Standards

STANDARD	ALL ZONES	MODIFICATION TO STANDARD (1)	Project Consistency
LANDSCAPING			
Amount – % of Parcel Area	Within and/or around the parking area, a minimum of 10% of the gross area of the parking lot shall be provided as landscaping.	Minor Exception	29%
Live Planting – %	A minimum of 50% of the landscaped area shall be live plantings.	Minor Exception	92%
Perimeter	Landscaping shall be provided around the perimeter of the parking lot and shall include trees, shrubs and groundcover.	Minor Exception	Met
Trees – Deciduous	Majority of trees along the west and south building elevations/facades shall be deciduous.	Minor Exception	Met
Trees – Nondeciduous	Nondeciduous trees shall be located in areas that do not restrict solar access.	Minor Exception	Met
Trees – Shade	A minimum of one shade tree for every five parking spaces or trees provided to achieve 50% canopy coverage of paved area at maturity, whichever is greater.	Minor Exception	Met
Size of Plantings	Trees: Minimum size of No. 15. Larger trees are encouraged. Shrubs: five gallon.	Minor Exception	Met



MAIN STREET LOOKING EAST



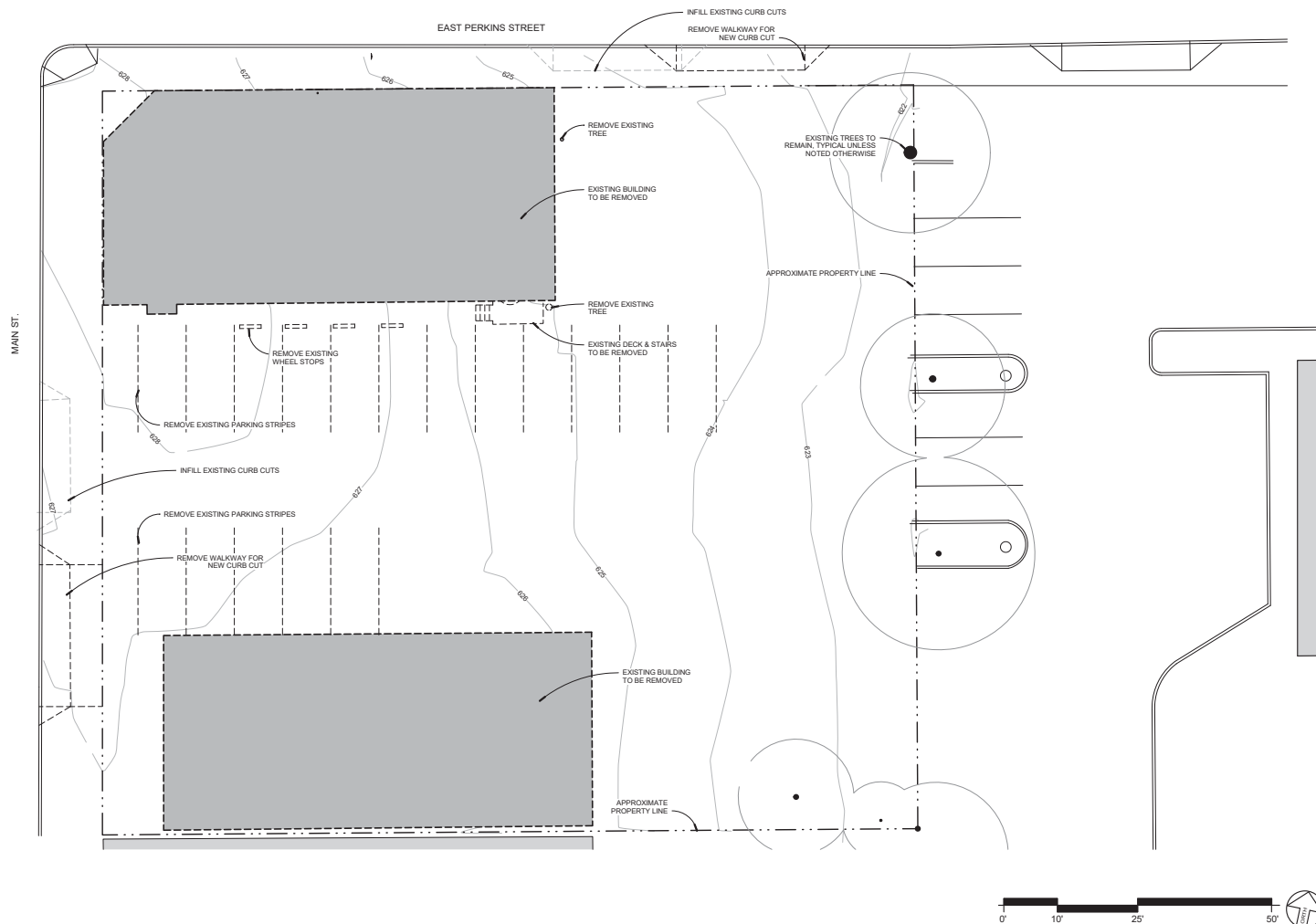
MAIN STREET LOOKING NORTH-EAST



INTERSECTION OF MAIN ST AND EAST PERKINS ST LOOKING SOUTH-EAST



EAST PERKINS ST LOOKING SOUTH-WEST

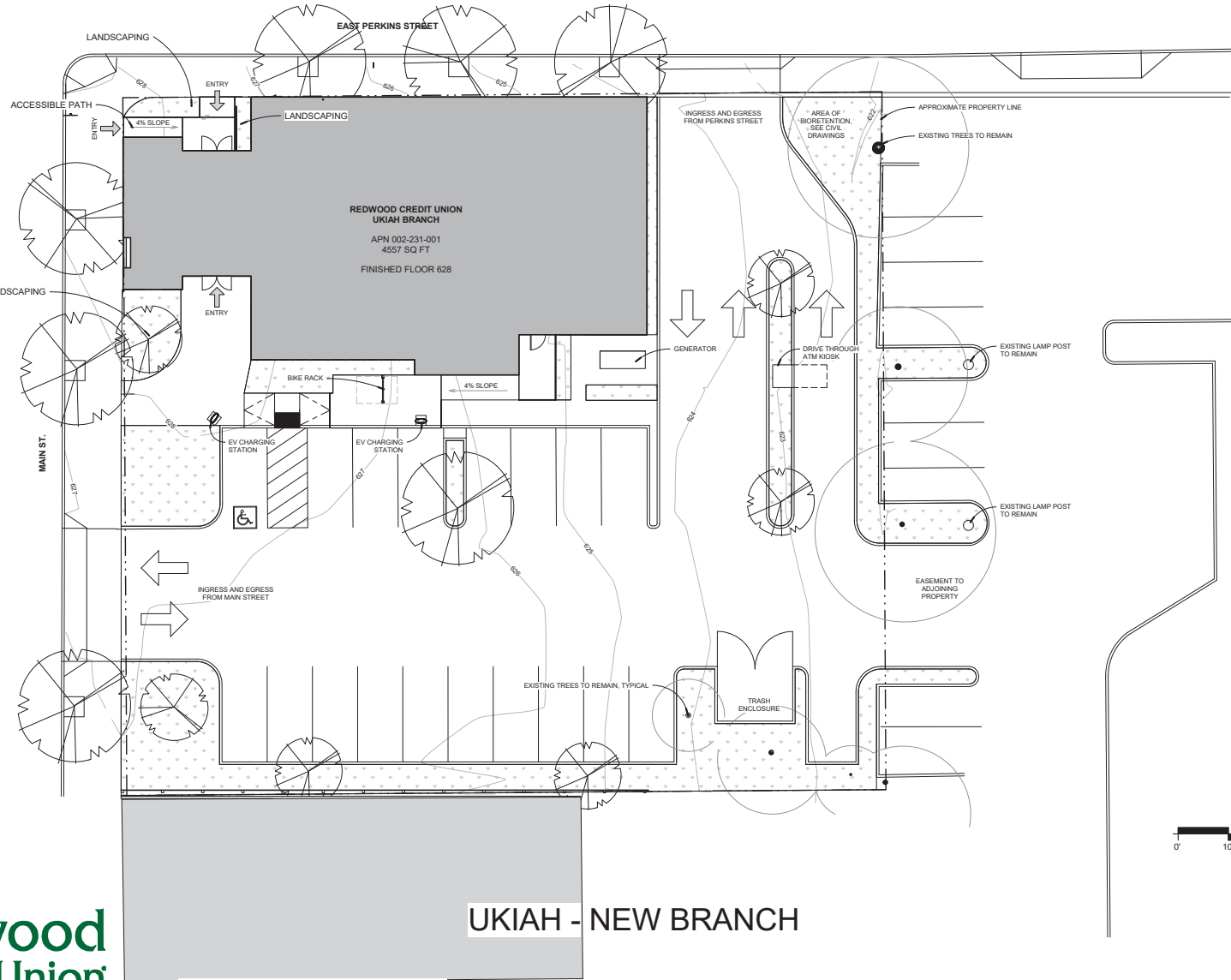


UKIAH - NEW BRANCH

CONCEPTUAL DEMOLITION
SITE PLAN

101 SOUTH MAIN ST, UKIAH, CALIFORNIA

AXIA
ARCHITECTS
MARCH 14, 2023

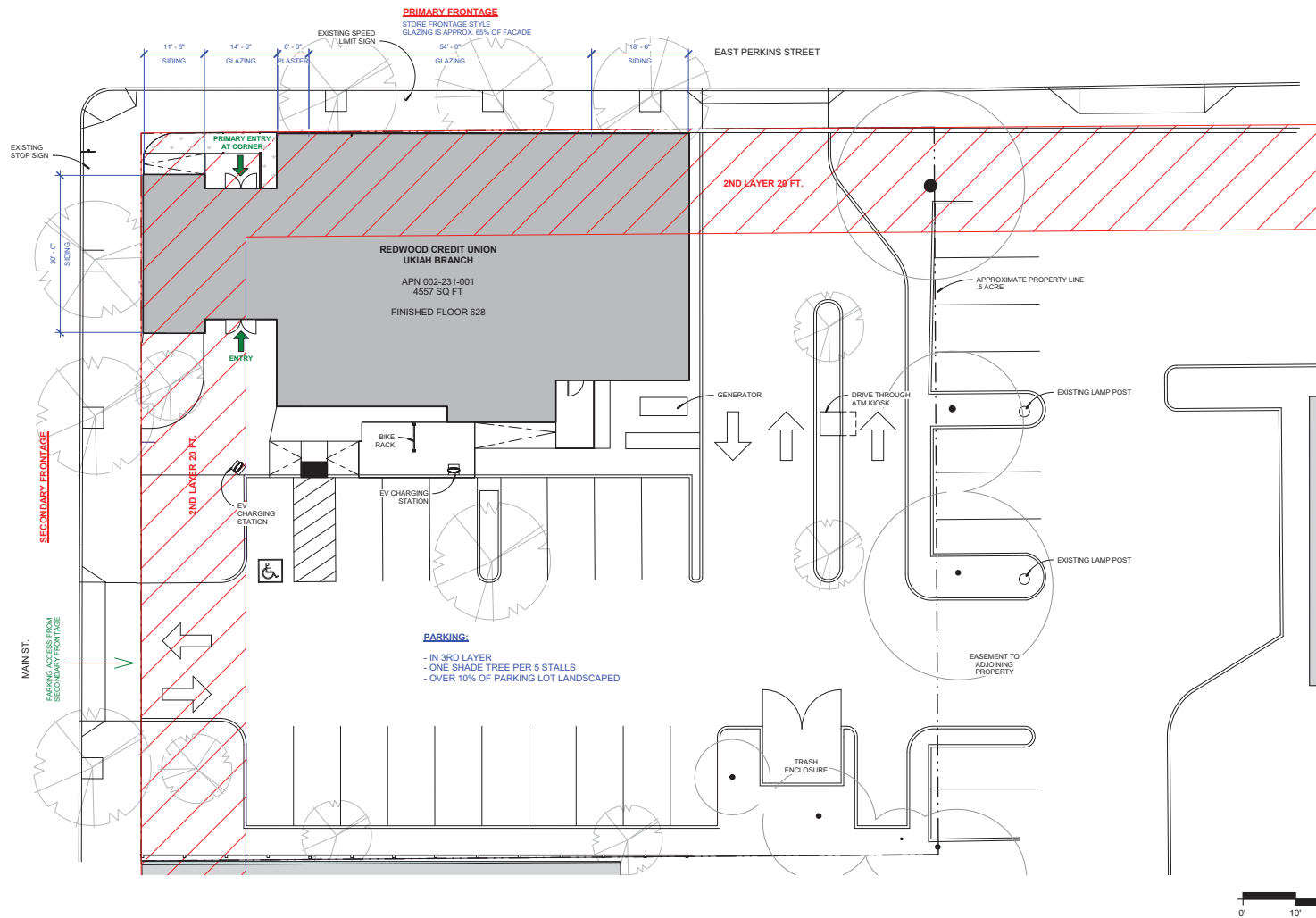


CONCEPTUAL SITE PLAN

UKIAH - NEW BRANCH

101 SOUTH MAIN ST, UKIAH, CALIFORNIA

AXIA
ARCHITECTS
MARCH 14, 2023



DOWNTOWN ZONING CODE INTEGRATION:

APN: 002-231-001
 ACREAGE: .5 ACRES
 ZONING: UC (URBAN CORE)
 BUILDING TYPE: SIDE YARD
 PARKING: 4557 SF / 300 SF
 = 16 PARKING STALLS REQUIRED
 19 STALLS PROVIDED
 (BASED ON OFFICE & RETAIL)
 1 ADA SPACE
 2 EV STATIONS
 BICYCLE PARKING
 1.9 SPACES REQUIRED
 3 PROVIDED

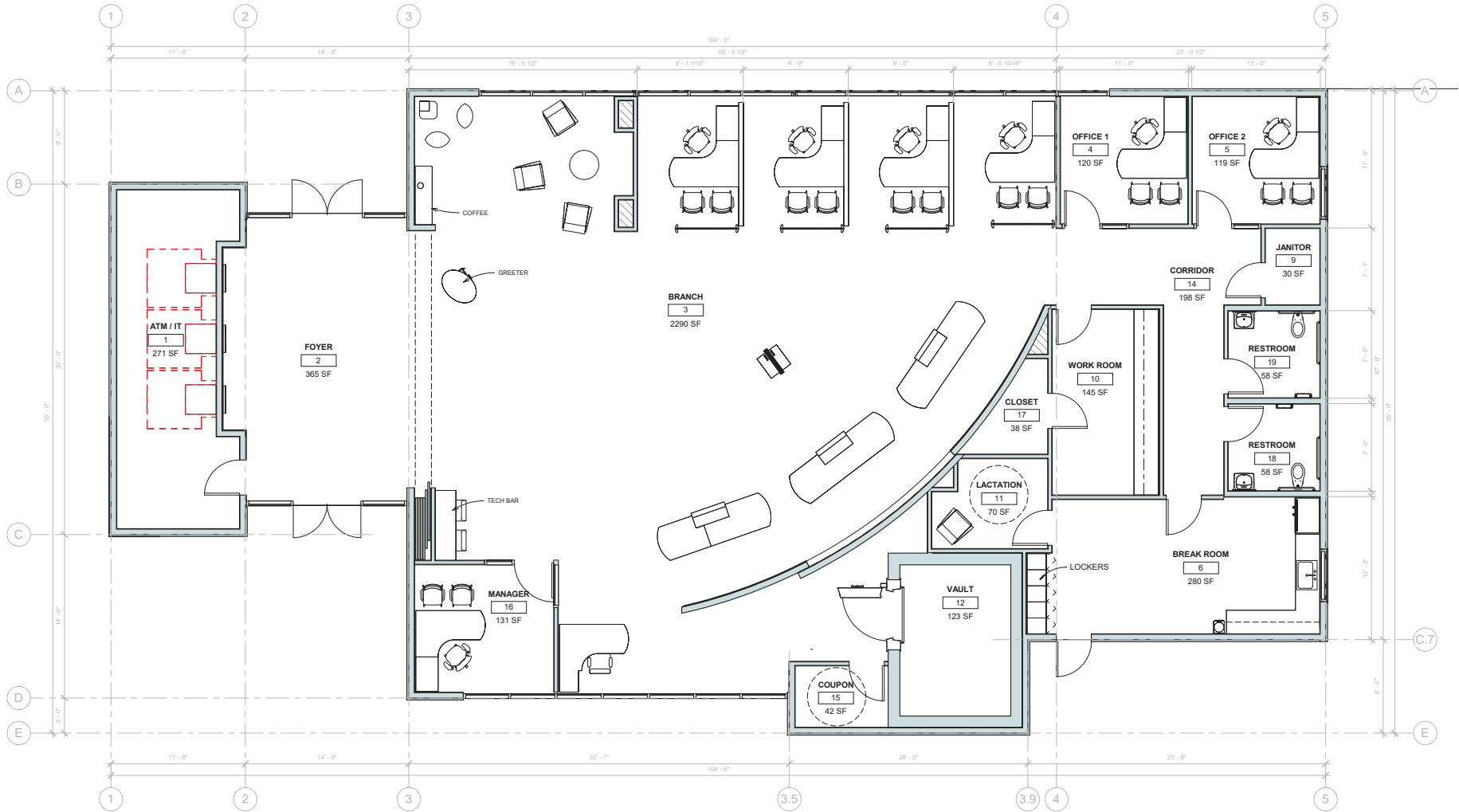


UKIAH - NEW BRANCH

CONCEPTUAL CODE COMPLIANCE

101 SOUTH MAIN ST, UKIAH, CALIFORNIA

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UKIAH - NEW BRANCH

CONCEPTUAL FLOOR PLAN

101 SOUTH MAIN ST, UKIAH, CALIFORNIA

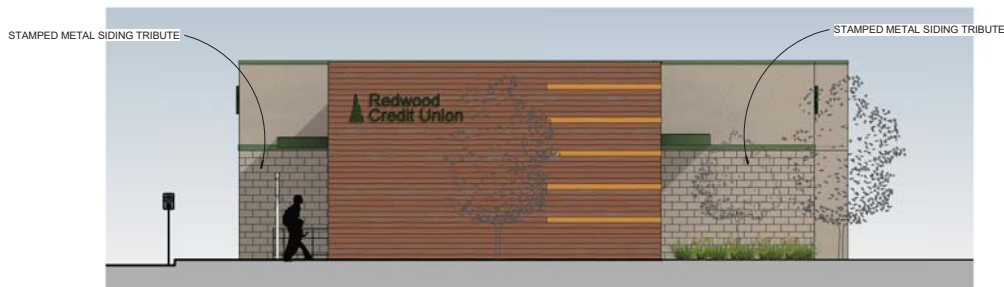
AXIA
ARCHITECTS
MARCH 14, 2023



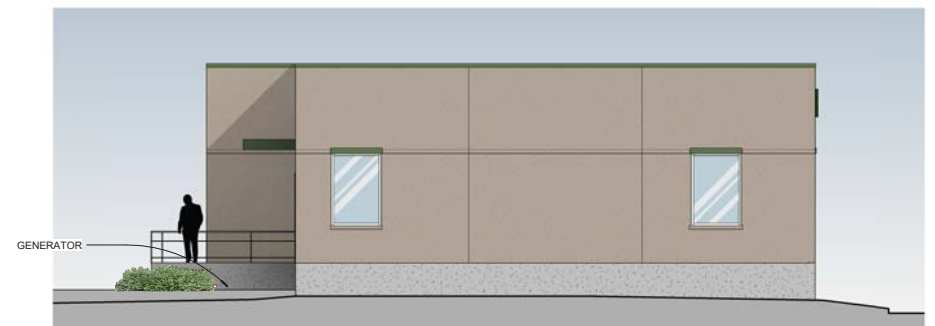
NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION



UKIAH - NEW BRANCH

CONCEPTUAL EXTERIOR ELEVATIONS
OPTION A

101 SOUTH MAIN ST, UKIAH, CALIFORNIA

AXIA
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MARCH 14, 2023

NOTE: TREES REMOVED FOR VISUAL ACCESS TO THE BUILDING FINISHES



CONCEPTUAL EXTERIOR VIEW

STOREFRONT WINDOWS,
ANODIZED ALUMINUM



STAMPED METAL SIDING,
SOUTH SIDE OF BUILDING,
SEE CONCEPTUAL ELEVATIONS



PLASTER FINISH, PAINTED



FULL COVER METAL AWING WITH CANOPY
HANGERS AT ENTRANCES



TRESPA SIDING, WOOD APPEARANCE - TWO SHADES



MATERIAL BOARD

UKIAH - NEW BRANCH

101 SOUTH MAIN ST, UKIAH, CALIFORNIA

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VIEW FACING SOUTH- EAST



UKIAH - NEW BRANCH

CONCEPTUAL EXTERIOR VIEW

101 SOUTH MAIN ST, UKIAH, CALIFORNIA

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WEST ELEV

Facing MAIN ST.

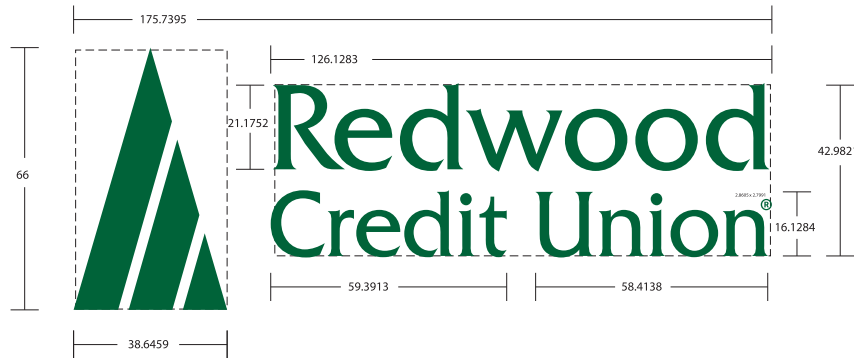
55' Frontage

North & South



Logo: 20.86 sq ft, Letters: 63.62 sq ft, Total: 84.48 sq ft each
 Allowed: 155' frontage x 1.5 = 232.5 sq ft

West



Logo: 17.71 sq ft, Letters: 37.65 sq ft, Total: 55.36 sq ft
 Allowed: 55' frontage x 1.5 = 82.5 sq ft

Ukiah, CA

FASTSIGNS

600 Pennsylvania St.

Vallejo, CA 94590

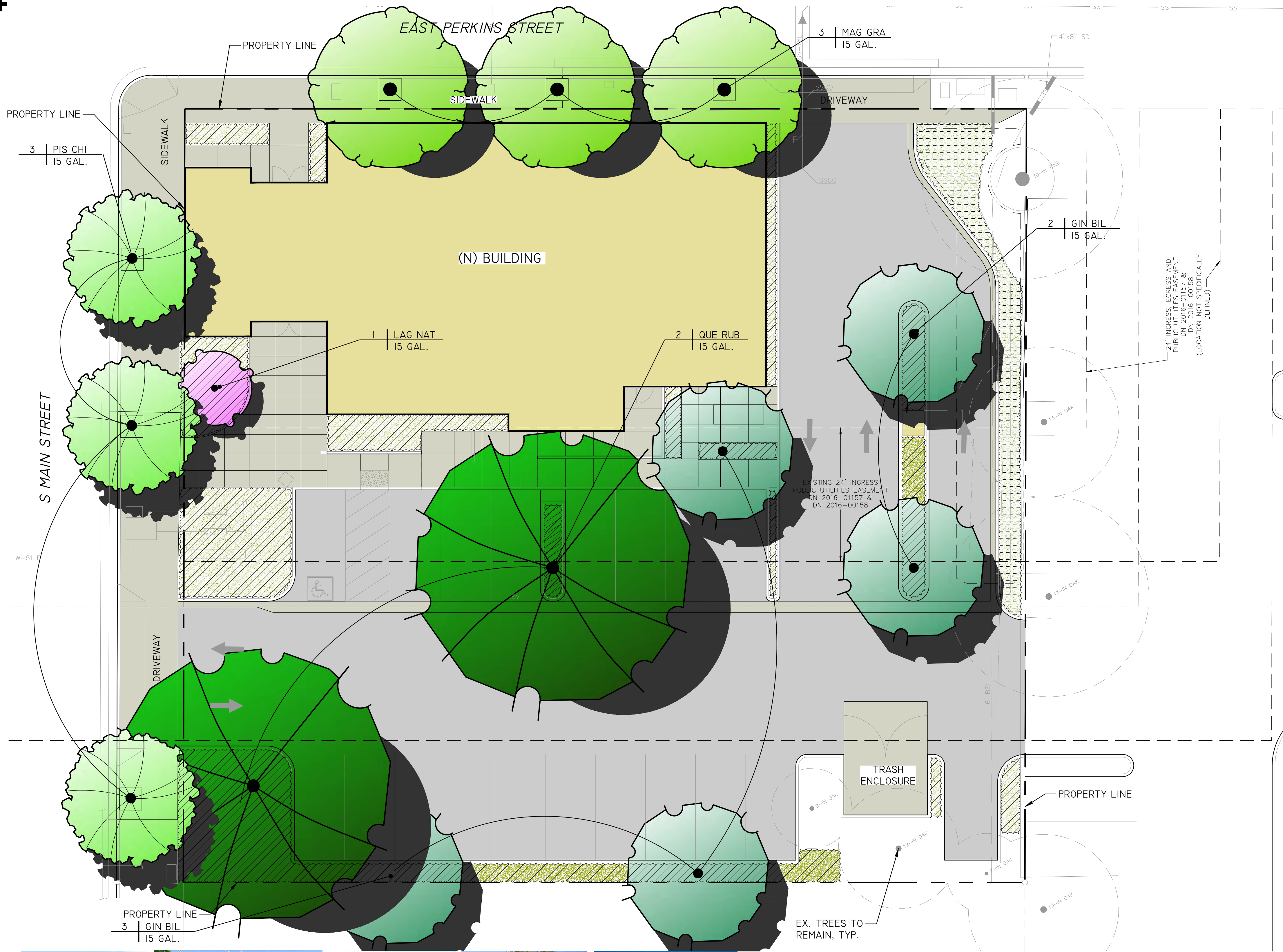
Ph: 707-642-2233

Cell: 707-249-1909

walter.perlic@fastsigns.com

mark.barber@fastsigns.com

C45-1023488



PLANTING NOTES

- CONTRACTOR SHALL BID AND INSTALL PLANTING MATERIALS PER THESE PLANS AND SPECIFICATIONS, UNLESS GIVEN FURTHER WRITTEN INSTRUCTIONS, OR WRITTEN INSTRUCTION BY LANDSCAPE ARCHITECT PRIOR TO PLANT PLACEMENT. ALL PLANTS SHALL BE INSPECTED BY ARBORIST/INSURANCE, WORKMAN'S COMPENSATION, EQUIPMENT, AND MATERIALS NECESSARY TO FURNISH, INSTALL AND GUARANTEE PLANTING, AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- COORDINATE FIELD OBSERVATIONS WITH LANDSCAPE ARCHITECT (MINIMUM 2 VISITS), CALL TO PROVIDE 48 HOUR NOTICE.
 - REVIEW FINISHED GRADE W/ LANDSCAPE ARCHITECT PRIOR TO PLANT PLACEMENT. ALL PLANTS SHALL BE INSPECTED BY ARBORIST/ LANDSCAPE ARCHITECT FOR HEALTH, PESTS AND SIZE PRIOR TO LAYOUT.
 - LAYOUT PLANTINGS FOR APPROVAL IN FULL QUANTITIES, PRIOR TO DIGGING HOLES. ADJUST LAYOUT AS DIRECTED BY LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL PROVIDE SUBMITTALS/SAMPLES TO LANDSCAPE ARCHITECT OF ALL SPECIMEN TREES (PHOTOGRAPHS WITH HUMAN SCALE), SOIL, MULCH, STAKES, TIES, AGRIFORM TABLETS, GRASS PAVE MATERIALS, STEEL EDGING, AND OTHER MATERIALS.
- ALL WORK SHALL CONFORM TO THE LATEST APPLICABLE SONOMA COUNTY WATER AGENCY ORDINANCES RELATING TO PLANTING AND IRRIGATION. ALL PLANT MATERIALS TO BE INSTALLED PER CITY OF SANTA ROSA STANDARDS AND PLANTING DETAILS. THE PLANT MATERIALS SHALL CONFORM TO THE PLANT LEGEND SPECIFICATION FOR SIZE & LATEST EDITION OF THE AMERICAN NURSERYMAN STANDARDS.
- PRIOR TO REMOVING ANY PLANTS, CONTRACTOR SHALL OBTAIN APPROVAL OF OWNER AND LANDSCAPE ARCHITECT TO DETERMINE SPECIMENS TO REMAIN OR BE TRANSPLANTED. ALL PLANTING AREAS ARE TO BE FREE OF DELETERIOUS MATERIALS AND WEEDS PRIOR TO PLANTING.
- A SOIL FERTILITY TEST SHALL BE REQUIRED FOR REVIEW BY THE LANDSCAPE ARCHITECT AFTER GRADING IS COMPLETE AND BEFORE ANY PLANT WORK. A SOIL TEST SHALL BE PERFORMED TO DETERMINE THE FINAL AMENDMENT AND FERTILIZER FORMULA. THE SOILS REPORT CONDUCTED BY WAYPOINT ANALYTICAL, (408) 727-0330, UNLESS OTHERWISE APPROVED MUST CONTAIN THE FOLLOWING INFORMATION:
 - SOIL PERMEABILITY RATE IN INCHES PER HOUR
 - SOIL TEXTURE TEST
 - CATION EXCHANGE CAPACITY
 - SOIL FERTILITY INCLUDING TESTS FOR NITROGEN, POTASSIUM, PHOSPHOROUS, PH, ORGANIC MATTER
 - TOTAL SOLUBLE SALTS AND SODIUM CONTENT
 - CONTRACTOR TO REQUEST A "BAY-FRIENDLY" RECOMMENDATION FOR AMENDMENTS TO THE PLANTING AREA SOIL
- A MINIMUM OF 8" OF NON-MECHANICALLY COMPACTED SOIL SHALL BE AVAILABLE FOR WATER ABSORPTION AND ROOT GROWTH IN PLANTED AREAS. WITHIN THE LIMITS OF NEW PLANTING AREAS, THE TOP 12" OF EXISTING SOIL OR TO THE EXTENT OF EXISTING TOPSOIL, WHICH EVER IS LESS, SHALL BE STRIPPED AND STOCKPILED ON THE SITE FOR RE-USE. ALL PLANTING AREAS TO BE TILLED SO THAT SOIL IS LOOSE AND NOT COMPACTED. ALL PLANTING BEDS TO RECEIVE A MINIMUM OF 12" OF APPROVED TOPSOIL. TO PREPARE PLANTING BEDS AND LAWN AREAS, CULTIVATE INTO TOP 12" OF SOIL: 6 CUBIC YARDS OF ORGANIC COMPOST PER 1,000 SQUARE FEET. COMPOST IS TO HAVE THE US COMPOSTING COUNCIL'S SEAL OF TESTING ASSURANCE (STA) AND THE ORGANIC MATERIALS REVIEW INSTITUTE (OMRI) LISTING. INCORPORATE COMPOST OR NATURAL FERTILIZER INTO THE SOIL TO A MINIMUM DEPTH OF 8" AT A MINIMUM RATE OF 6 CUBIC YARDS PER 1,000 SQUARE FEET OR PER SPECIFIC AMENDMENT RECOMMENDATIONS FROM A SOILS LABORATORY REPORT. ANY ADDITIONAL AMENDMENTS SHALL BE CERTIFIED ORGANIC BY OMRI.
- ALL PLANT LOCATIONS TO BE CONFIRMED IN THE FIELD BY THE LANDSCAPE ARCHITECT. CONTRACTOR IS TO COORDINATE ALL PLANTING WITH UTILITY LOCATIONS NOT SHOWN ON THIS PLAN. ANY CONFLICTS BETWEEN LOCATIONS OF PROPOSED PLANTING AND SITE UTILITIES OR LIGHTING TO BE CALLED TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- LAYOUT OF PLANTINGS IS DIAGRAMMATIC AND MAY NEED FIELD ADJUSTMENT FOR EXISTING SITE CONDITIONS NOT SHOWN ON PLANS, OR AS DIRECTED BY THE LANDSCAPE ARCHITECT. ADJUSTMENTS WILL BE MADE FOR VIEWS, ACCESS, ETC. ALL PLANTINGS SHALL BE FIELD ADJUSTED TO MEET THE MINIMUM STATE REGULATIONS FOR PLANTING AND MAINTAINING A FIRE DEFENSIBLE SPACE, DEPT. OF FORESTRY. PLANT QUANTITIES ARE FOR INFORMATIONAL USE ONLY. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PLANTS AS SHOWN ON THE DRAWINGS.
- PLANTS SHALL BE SUFFICIENTLY ROOTED TO THE EDGE OF THE CONTAINER AND TO AN EXTENT SUFFICIENT TO HOLD THE ROOTBALL INTACT WHEN REMOVED FROM THE CONTAINER. NO PLANTS SHALL BE ACCEPTABLE THAT SHOW SIGNS OF CIRCLING OR GIRDLING OF ROOTS, OR ANY OTHER ROOT-BOUND CONDITION. PLANTS SHALL BE FREE FROM ALL PESTS AND DISEASES.
- ALL PLANTS SHALL BE PLACED IN A TRIANGULAR SPACED PATTERN, UNLESS OTHERWISE SPECIFIED.
- EXCAVATE PLANTING PITS 1" LESS THAN THE DEPTH OF THE PLANT CONTAINER AND TWO TIMES THE WIDTH OF THE PLANT CONTAINER. PREPARE HOLE BACKFILL MATERIAL BY USING 1 PART ORGANIC COMPOST, THOROUGHLY MIX THIS COMBINATION BEFORE BACKFILLING. SET PLANT PLUMB IN PLANTING PIT AND BRACE RIGIDLY IN POSITION, TAMPING BACKFILL MIX SOLIDLY AROUND THE BALL AND ROOTS. PLACE TOP OF ROOTBALL 1" ABOVE SURROUNDING GRADE. (SEE PLANTING DETAILS FOR TREES, SHRUBS AND GROUNDCOVERS ON THIS SHEET). DO NOT OVER COMPACT SOIL.
- ALL TREES ARE TO BE STAKED AND TREES AND SHRUBS ARE TO HAVE WATERING BASINS. ALL TREES CLOSER THAN 10'-0" TO BUILDINGS, WALKS, PAVING, CURBS OR FOOTINGS SHALL BE INSTALLED WITH A DEEP ROOT BARRIER. USE DEEP ROOT BARRIER, TYPE UB 24-2 PER MANUFACTURER'S RECOMMENDATIONS.
- AFTER PLANTING, WATER NEW PLANTINGS DEEPLY AND THOROUGHLY.
- A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS OR DIRECT SEEDING APPLICATIONS. MULCH SHALL BE "WOOD CHIPS" FROM SEQUOIA LANDSCAPE MATERIALS (707-527-5512), NATURAL COLOR.
- THE CONTRACTOR SHALL MAINTAIN THE PLANTING AND IRRIGATION INSTALLATIONS FOR 60 DAYS FROM THE DATE OF FINAL ACCEPTANCE. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF 6 MONTHS FROM DATE OF FINAL ACCEPTANCE.

ABBREV.	BOTANICAL NAME	COMMON NAME	WUCOLS	SIZE	QTY	REMARKS/SPACING
TREES						
GIN BIL	GINKGO BILOBA 'AUTUMN GOLD'	MAIDENHAIR TREE	M	15 GAL.	5	SINGLE TRUNK
LAG NAT	LAGERSTROEMIA 'NATCHEZ'	CRAPE MYRTLE	L	15 GAL.	1	SINGLE TRUNK
MAG GRA	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	SOUTHERN MAGNOLIA	M	15 GAL.	3	SINGLE TRUNK
PIS CHI	PISTACIA CHINENSIS	CHINESE PISTACHE	L	15 GAL.	3	SINGLE TRUNK
QUE RUB	QUERCUS RUBRA	RED OAK	M	15 GAL.	2	SINGLE TRUNK

SHRUBS						
ARC BIG	ARCTOSTAPHYLOS 'SENTINEL'	MANZANITA	L	5 GAL.	-	4' O.C. SPACING
CIS SUN	CISTUS X P. 'SUNSET'	SUNSET ROCKROSE	L	5 GAL.	-	4' O.C. SPACING
LAV OTT	LAVANDULA S. 'OTTO QUAST'	SPANISH LAVENDER	L	5 GAL.	-	3' O.C. SPACING
MYR COM	MYRTUS C. 'COMPACTA'	DWARF MYRTLE	L	5 GAL.	-	4' O.C. SPACING
PHO MAO	PHORMIUM 'MAORI QUEEN'	NEW ZEALAND FLAX	L	5 GAL.	-	4' O.C. SPACING
SAL GRE	SALVIA GREGGII 'MESA AZURE'	AUTUMN SAGE	L	5 GAL.	-	2' O.C. SPACING
TEU FRU	TEUCRIUM FRUTICANS	BUSH GERMANDER	L	5 GAL.	-	3' O.C. SPACING

GRASSES						
BOU GRA	BOUTELOUA GRACILIS	BLUE GRAMA	L	1 GAL.	-	2' O.C. SPACING
FES GLA	FESTUCA GLAUCA	BEYOND BLUE	L	1 GAL.	-	18" O.C. SPACING
LOM BZE	LOMANDRA L. 'BREEZE'	DWARF MAT GRASS	L	1 GAL.	-	3' O.C. SPACING
MUH RIG	MUHLENBERGIA RIGENS	DEER GRASS	L	1 GAL.	-	4' O.C. SPACING

GROUNDCOVER						
ARC EME	ARCTOSTAPHYLOS 'EMERALD CARPET'	MANZANITA	L	1 GAL.	-	4' O.C. SPACING
CEA CEN	CEANOTHUS 'CENTENNIAL'	CEANOTHUS	L	1 GAL.	-	5' O.C. SPACING
FES ELI	FESTUCA 'ELIJAH BLUE'	BLUE FESCUE	L	1 GAL.	-	12" O.C. SPACING
MYO PIN	MYOPORUM P. 'PINK'	PINK MYOPORUM	L	1 GAL.	-	6' O.C. SPACING

BIORETENTION						
	ACHILLEA MILLEFOLIUM	YARROW	L	1 GAL.	-	18" O.C. SPACING
	CAREX TUMULICOLA	FOOTHILL SEDGE	L	1 GAL.	-	2' O.C. SPACING
	DESCHAMPSIA CESPITOSA	TUFTED HAIRGRASS	L	1 GAL.	-	2' O.C. SPACING
	EPILOBIUM CANUM	CAL. FUSCHIA	L	1 GAL.	-	3' O.C. SPACING
	ERIOGONUM FASCICULATUM	CAL. BUCKWHEAT	VL	1 GAL.	-	4' O.C. SPACING
	JUNCUS PATENS	CAL. GRAY RUSH	L	1 GAL.	-	2' O.C. SPACING

MWELo STATEMENT

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE PLANTING PLAN"

Michael A. Cook

MICHAEL A. COOK
REGISTERED LANDSCAPE ARCHITECT #5123

02/08/2023
DATE

SHADE CALCULATIONS

PARKING LOT AREA:	7,237 SQ. FEET
SHADE PROVIDED	3,961 SQ. FEET
PERCENTAGE COVERAGE	54.7%



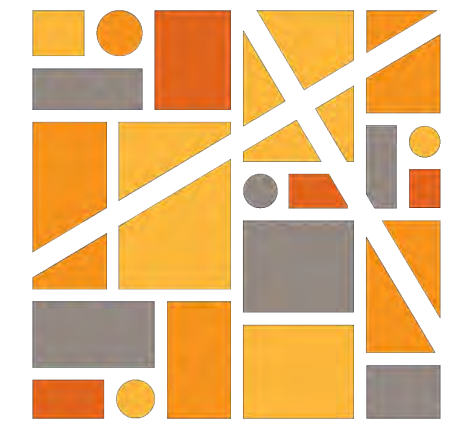
GINKGO BILOBA (MALE)
MAIDENHAIR TREE

LAGERSTROEMIA NATCHEZ
CRAPE MYRTLE

PISTACIA CHINENSIS
CHINESE PISTACHE

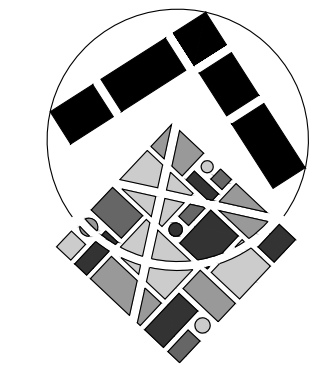
POPULUS FREMONTII
FREMONT COTTONWOOD

QUERCUS RUBRA
RED OAK



INTEGRA
PLANNING+
LANDSCAPE
ARCHITECTURE

SITE + PLANTING PLAN
CONCEPTUAL LANDSCAPE PLAN
REDWOOD CREDIT UNION
101 S. MAIN STREET, UKIAH, CALIFORNIA 95482

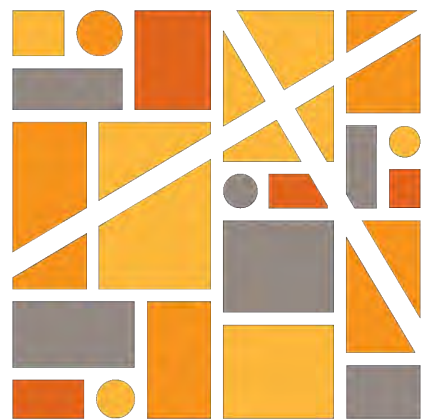


GRAPHIC SCALE
(IN FEET)
1" = 10'0"

CITY OF UKIAH NOTES

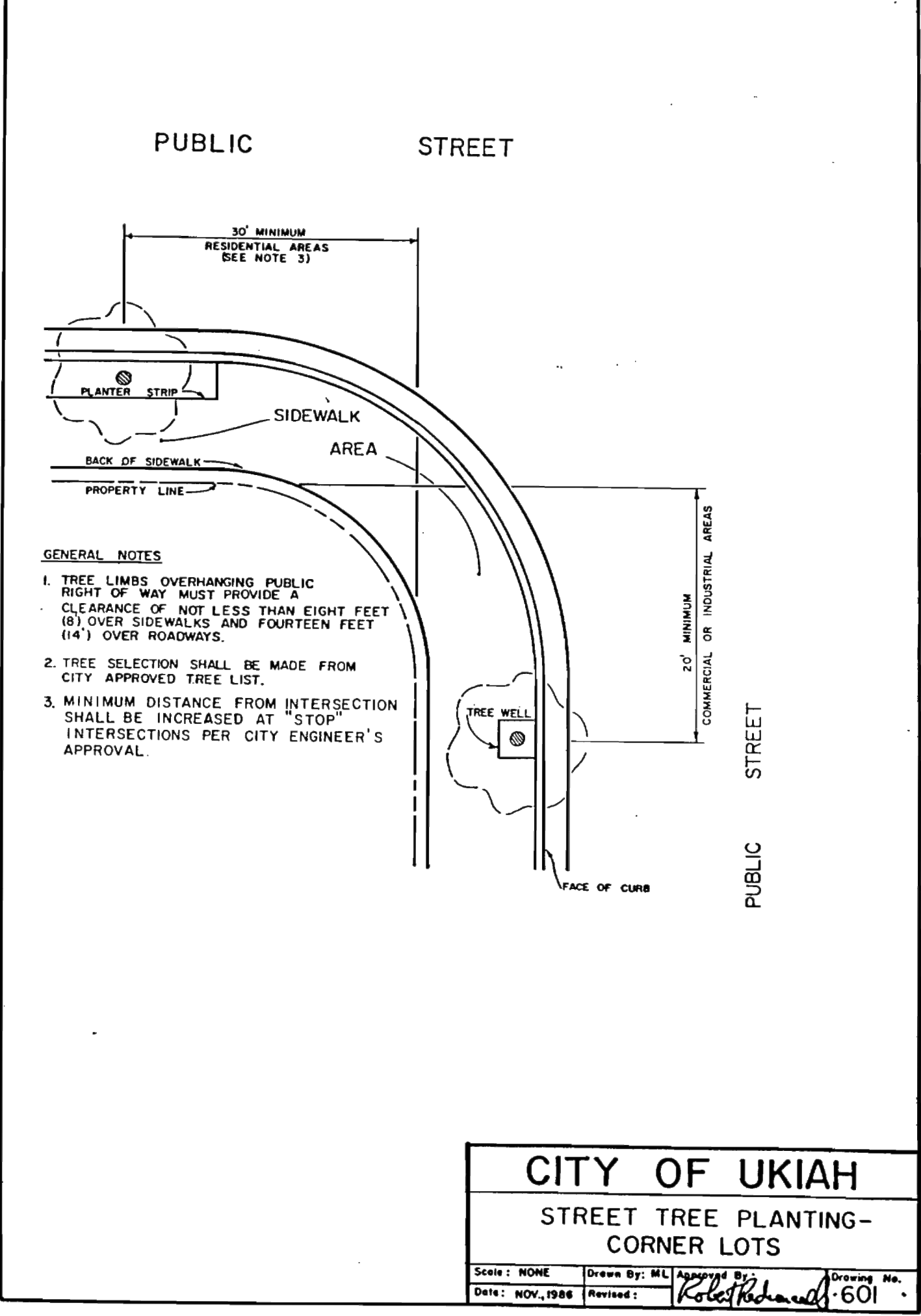
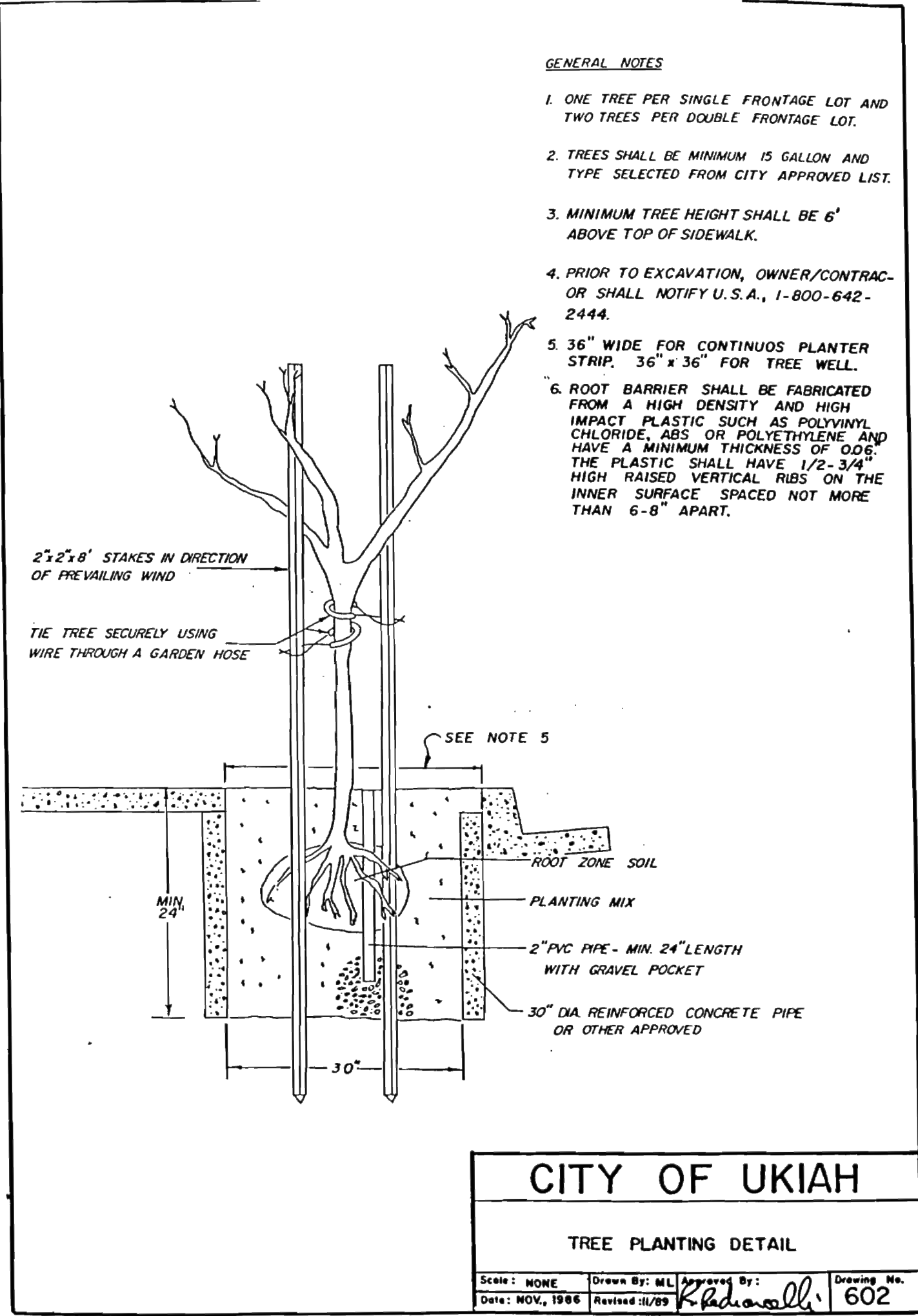
- LITTER SHALL BE REMOVED FROM LANDSCAPE AREAS ON A REGULAR BASIS BY OWNER.
- TREES SHALL BE PRUNED PROPERLY, NO TOP OR TRUNK PRUNING. PRUNE IN ACCORDANCE TO INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREES STAKES AND TIES SHALL BE REMOVED BY OWNER AFTER 1-3 YEARS TO ENSURE THEY DO NOT DAMAGE TRUNK OR TREE.

DATE: 02/08/2023
SHEET NUMBER: L-1 OF 2
PROJECT NUMBER: 22-091.01



INTEGRA
PLANNING+
LANDSCAPE
ARCHITECTURE

IRRIGATION + MWELO CALCULATIONS
CONCEPTUAL LANDSCAPE PLAN
REDWOOD CREDIT UNION
101 S. MAIN STREET, UKIAH, CALIFORNIA 95482



IRRIGATION NOTES

- LANDSCAPE CONTRACTOR (C-27 LICENSE) SHALL BID AND INSTALL IRRIGATION PER THESE PLANS AND SPECIFICATIONS, UNLESS GIVEN FURTHER WRITTEN INSTRUCTIONS OR REVISED PLANS PER OWNER OR LANDSCAPE ARCHITECT. WORK INCLUDES, BUT IS NOT LIMITED TO ALL LABOR, COVERED LIABILITY INSURANCE, WORKMAN'S COMPENSATIONS, EQUIPMENT AND MATERIALS NECESSARY TO FURNISH, INSTALL, AND TEST IRRIGATION SYSTEM, AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- COORDINATE A MINIMUM OF (2) FIELD OBSERVATIONS WITH LANDSCAPE ARCHITECT AND CALL TO PROVIDE 48 HOUR NOTICE:
 - VERIFY FLAGGED HEAD AND CHALKED MAINLINE LAYOUT PRIOR TO TRENCHING OPERATIONS. ADJUST LAYOUT AS DIRECTED BY LANDSCAPE ARCHITECT.
 - OBSERVE COMPLETE PLUMBING SYSTEM AND PRESSURE TEST ALL MAINLINE & LATERALS PRIOR TO ANY BACKFILLING OPERATIONS.
- CONTRACTOR SHALL PROVIDE SUBMITTALS/CUT SHEETS TO LANDSCAPE ARCHITECT OF ALL IRRIGATION MATERIALS INCLUDING, BUT NOT LIMITED TO CONTROLLER, CONTROL WIRE, MAIN LINE PVC, VALVES, PRESSURE REDUCER, ETC. CONTRACTOR SHALL FURNISH TO OWNER KEYS TO CONTROLLER, QUICK COUPLER AND ANY SPECIAL TOOLS REQUIRED FOR MAINTENANCE OF ALL IRRIGATION COMPONENTS.
- MANUFACTURERS DIRECTIONS AND DETAILED DRAWINGS SHALL BE FOLLOWED IN ALL CASES WHERE THE MANUFACTURERS OF COMPONENTS, USED IN THIS CONTRACT, COVER POINTS NOT SHOWN ON DRAWINGS AND SPECIFICATIONS.
 - CONTRACTOR SHALL KEEP DETAILED REDLINE PLAN RECORDING INSTALLATION OF IRRIGATION SYSTEM AS IT PROGRESSES. RECORD PLAN SHALL BE DRAFTED ONTO DRAWINGS PROVIDED BY LANDSCAPE ARCHITECT. INTO AS-BUILT DRAWINGS SHOWING LOCATIONS OF POINT OF CONNECTION, LATERALS, MAIN LINES, QUICK COUPLERS, VALVES, HEADS, WIRING, ETC. FOR APPROVAL BY LANDSCAPE ARCHITECT. FOLLOWING APPROVAL, AS-BUILTS SHALL BE REDUCED TO 1/4" SIZE, COLOR CODED BY STATION, AND LAMINATED IN 6 MIL. PLASTIC. 3 REQUIRED FOR EACH CONTROLLER.
 - THREE LAMINATED DETAILED IRRIGATION SCHEDULES SHOWING STATION PROGRAMMING AND RUN TIMES SHALL BE PROVIDED FOR EACH CONTROLLER AND APPROVED BY LANDSCAPE ARCHITECT. ONE WARM SEASON, ONE COOL SEASON AND ONE FOR ESTABLISHMENT PERIOD. EACH SCHEDULE SHALL BE ACCOMPANIED BY REDUCED AS-BUILT PLAN PERMANENTLY MOUNTED IN OR NEAR CONTROLLER. THESE SHALL BE SUBMITTED PRIOR TO ACCEPTANCE TO WORK AND AS A CONDITION OF COMMENCEMENT OF MAINTENANCE PERIOD.
- ALL IRRIGATION EQUIPMENT TO BE INSTALLED PER CITY, COUNTY AND STATE STANDARDS. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ANY AND ALL PERMITS AND INSPECTIONS AS REQUIRED. THE MATERIAL AND WORK SHALL CONFORM TO ALL APPLICABLE PROVISIONS OF THE LATEST ADDITIONS OF THE UNIFORM PLUMBING CODE AND THE NATIONAL ELECTRIC CODE. CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH ALL STATE AND LOCAL LAWS, CODES, ORDINANCES, RESTRICTIONS BEFORE BEGINNING INSTALLATION.
- CONTRACTOR SHALL VERIFY GALLONS PER MINUTE (G.P.M.) AT POINT OF CONNECTION DOWNSTREAM OF BACKFLOW DEVICE TO BE A MINIMUM OF 60 G.P.M. AND 30 P.S.I. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK, FAILURE TO DO SO WILL MAKE THE CONTRACTOR LIABLE FOR ALL NECESSARY CHANGES.
- TEST ALL PRESSURE LINES PRIOR TO BACK FILLING, UNDER STATIC PRESSURE OF 150 PSI FOR A PERIOD OF 2 HOURS. IF LEAKS DEVELOP, REPAIR SYSTEM AND REPEAT TEST UNTIL PRESSURE IS HELD.
- ALL 120V. ELECTRIC POWER SUPPLY FOR IRRIGATION CONTROLLER SHALL BE PROVIDED AND CONNECTED TO CONTROLLER BY A LICENSED ELECTRICIAN. LANDSCAPE CONTRACTOR SHALL MAKE HARDWIRE CONNECTION FOR ALL CONTROL WIRES. CONTRACTOR SHALL INSTALL CONTROL WIRES THAT:
 - CONNECTIONS BETWEEN THE CONTROLLER AND REMOTE CONTROL VALVES SHALL BE MADE CONTINUOUS (NO SPLICES) WITH DIRECT BURIAL COPPER WIRE 14 GA. AWG U.F. 600 VOLT. TAPE WIRES TO THE MAINLINE AT 10 FOOT INTERVALS, EXCEPT WHERE INDEPENDENTLY SLEEVED UNDER PAVING.
 - PROVIDE THREE CONTINUOUS LOOP WIRES FROM THE CONTROLLER TO EACH VALVE WITH 9' LOOP. LABEL IN VALVE BOX. PROVIDE SEPARATE COLOR WIRES FOR CONTROL, COMMON AND EXTRA LOOP WIRES. CONTROL SHALL BE RED, COMMON SHALL BE WHITE AND EXTRAS SHALL BE BLACK/YELLOW.
 - AN EXPANSION CURL SHALL BE PROVIDED WITHIN (3) FEET OF EACH WIRE CONNECTION IN VALVE BOX. EXPANSION CURLS SHALL BE 18 INCHES IN LENGTH AT EACH SPLICE CONNECTION AND AT EACH CONTROL VALVE, SO THAT IN CASE OF REPAIR THE VALVE BONNET CAN BE BROUGHT TO THE SURFACE WITHOUT DISCONNECTION OF THE CONTROL WIRES.
 - ALL SPLICES SHALL BE MADE WATERPROOF WITH RAINBIRD SNAP-TIE WIRE CONNECTIONS OR APPROVED EQUAL.
- THESE DRAWINGS INCLUDE A DIAGRAMMATIC DISPLAY THAT SHOWS:
 - BEFORE PROCEEDING WITH ANY WORK, CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND QUANTITIES; CONTACT AND INFORM THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL CONDITION IMMEDIATELY.
 - LAYOUT OF PIPING, VALVES, AND HEADS IS DIAGRAMMATIC, THERE MAY BE FIELD ADJUSTED FOR EASE OF INSTALLATION, COMMON TRENCHING, AND OPTIMUM COVERAGES. OBTAIN WRITTEN APPROVAL FOR CHANGES PRIOR TO CONSTRUCTION.
 - DRIP SYMBOL IS SCHEMATIC, VERIFY PLANT QUALITIES FOR EXACT NUMBER OF EMITTERS AND LENGTH OF PIPE. ALL OFFSET, FITTINGS, SLEEVES, ETC. ARE NOT INDICATED DUE TO SCALE OF DRAWINGS, AND ARE TO BE FURNISHED AS REQUIRED.
 - CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR WORK INSTALLED IN AREA WHERE WORK HAS BEEN MODIFIED WITHOUT WRITTEN APPROVAL.
 - PIPE SIZES ON PLANS ARE MINIMUM ALLOWABLE.
- FINAL LOCATION OF BACKFLOW PREVENTION DEVICE SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
- THE DRIP PORTION OF THE SYSTEM SHALL BE AUTOMATICALLY OPERATED AND CAPABLE OF OPERATING THE SYSTEM FROM 1/2 HOUR TO SEVERAL HOURS PER DAY AND PER SETTING, AND HAVE AN AUTOMATIC RAIN SHUTOFF UNIT. THE SYSTEM SHALL MEET THE FOLLOWING BASIC PARAMETERS:
 - FROM THE VALVE ASSEMBLY, A 3/4" INCH SCH 40 PVC PIPE SHALL BE BROUGHT TO A 3/4" INCH PVC TEE. ALL STATIONS SHOULD BE CENTER-LOADED WHEREVER POSSIBLE, AND AT NO TIME SHALL THE WATER FLOW IN ANY PIPE EXCEED A SPEED OF 5 FEET PER SECOND.
 - A 5/8" A/R PVC HOSE SHALL EXTEND FROM EACH SIDE OF THE PVC TEE. THE FLOW IN EACH OF THESE 5/8" LINES SHALL NOT EXCEED 180 GALLONS PER HOUR. A TORO NGE PC EMITTER (OR APPROVED EQUAL) SHALL BE INSTALLED INTO THIS HOSE PER THESE QUANTITIES: TWO 1/2 GALLON PER HOUR SINGLE OUTLET EMITTERS SHALL BE PLACED AT THE BASE OF EACH 1 GALLON CONTAINER, TWO 1 GALLON PER HOUR EMITTERS SHALL BE PLACED AT THE BASE OF EACH 5 GALLON CONTAINER. CAP ALL LINE ENDS WITH A BALL VALVE SO THEY MAY BE FLUSHED. USE A KB INLINE CHECK VALVE WHERE REQUIRED FOR LOW-HEAD DRAINAGE WHERE ELEVATION DIFFERENTIAL BETWEEN HEADS MAY CAUSE RUN OFF.
 - THE SYSTEM SHALL BE DESIGNED ACCORDING TO TORO RECOMMENDATIONS AND FOR A WORKING PRESSURE OF 25 PSI.
- AVOID CUTTING EXISTING ROOTS GREATER THAN 1" DIAMETER. TUNNEL UNDER ROOT WITHOUT DAMAGING CAMBIUM LAYER OF BARK. ALL TRENCHING WITHIN THE DRIPLINE OF EXISTING TREES SHALL BE DONE BY HAND, VERIFY PIPE ROUTE WITH LANDSCAPE ARCHITECT PRIOR TO TRENCHING.
- USE SCH 40 PVC AT DRIVEWAY/ROAD CROSSING WITH 24" OF COVER, ALL SLEEVES TO BE TWICE DIAMETER OF REQUIRED PIPE AND EXTEND 12" BEYOND PAVING EDGE. SLEEVE EACH PIPE SEPARATELY AND PROVIDE SEPARATE SLEEVE FOR CONTROL WIRES.
- THE TRENCHES SHALL NOT BE BACKFILLED UNTIL ALL REQUIRED TESTS ARE PERFORMED. BACKFILL SHALL BE WATER SETTLED OR MECHANICALLY COMPACTED IN LANDSCAPED AREAS TO A DRY DENSITY EQUAL TO ADJACENT UNDISTURBED AREAS. CONTRACTOR WILL INSTALL 3" WIDE DETECTABLE TAPE (#3 DTP, AS MANUFACTURED BY T. CHRISTY). TAPE SHALL BE INSTALLED 6" ABOVE THE IRRIGATION MAINLINE AND BE LABELED "CAUTION WATER LINE BURIED BELOW". INSTALL ABOVE ALL WATER MAIN LINES. BACKFILLING SHALL CONFORM TO ADJACENT GRADES WITHOUT DIPS, SUNKEN AREAS, HUMPS OR OTHER SURFACES IRREGULARITIES. IF SETTLEMENT OCCURS AND SUBSEQUENT ADJUSTMENTS ARE NECESSARY, THE CONTRACTOR SHALL MAKE ALL REQUIRED ADJUSTMENTS WITHOUT COST TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE THE IRRIGATION SYSTEM FOR A PERIOD OF 12 MONTHS. THE SYSTEM SHALL BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP AND THE CONTRACTOR SHALL REPAIR OR REPLACE ANY DEFECTS AND REPAIR ANY DAMAGE CAUSED BY DEFECTS FOR THE ABOVE MENTIONED TIME PERIOD AT NO COST TO THE OWNER. SUCH REPAIRS OR REPLACEMENTS SHALL BE COMPLETED WITHIN A 48 HOUR PERIOD AND IMMEDIATELY IF IT IS A SAFETY ISSUE.
- CLEANUP SHALL BE MADE AS EACH PORTION OF WORK PROGRESSES. ALL PAVING AND WALKS SHALL BE BROOMED OR WASHED DOWN AND ANY DAMAGE SUSTAINED TO THE WORK OF OTHERS SHALL BE REPAIRED TO ORIGINAL CONDITIONS ACCEPTABLE TO THE OWNER.

MWELO STATEMENT

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION PLAN"

[Signature]

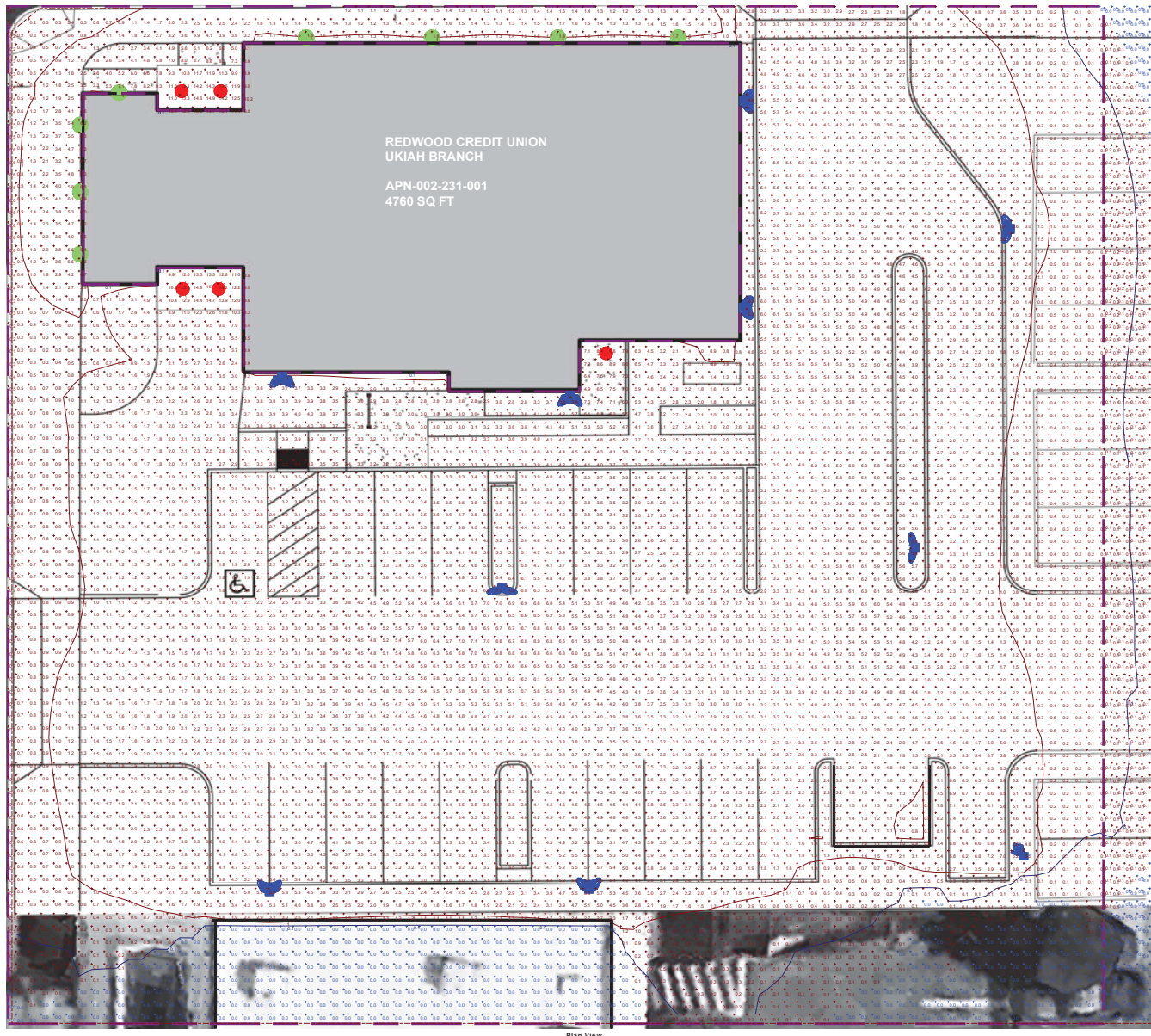
02/08/2023

MICHAEL A. COOK
REGISTERED LANDSCAPE ARCHITECT #5123

DATE

Estimated Total Water Use						
Equation: ETWU = ET _a x 0.62 x [(PF x HA)/(IE) + SLA]; Considering precipitation ETWA = (ET _o -Eppt) x 0.62 x [(PF x HA)/(IE) +SLA]						
Enter values in Pale Blue Cells						
Tan Cells Show Results						
Messages and Warnings						
Irrigation Efficiency Default Value for overhead 0.75 and drip 0.81.						
Plant Water Use Type		Plant Factor				
Very Low		0 - 0.1				
Low		0.2 - 0.3				
Medium		0.4 - 0.6				
High		0.7 - 1.0				
SLA		1.0				
Hydrozone	Select System From the Dropdown List click on cell below	Plant Water Use Type (s) (low, medium, high)	Plant Factor (PF)	Hydrozone Area (HA) (ft ²) Without SLA	Irrigation Efficiency (IE)	(PF x HA (ft ²))/IE
Zone 1	Drip	Low	0.30	2,780	0.81	1,030
Zone 2	Drip	Medium	0.60	885	0.81	285
Zone 3	Drip	High	1.00	25	0.81	31
Zone 4						1,346
	SLA			0		0
	Sum			3,190		
Results						
MAWA = 27,275		ETWU = 25,568 Gallons		ETWU complies with MAWA		
		3,418 Cubic Feet				
		34.18 HCF				
		0.08 Acre-feet				
		0.03 Millions of Gallons				

DATE: 02/08/2023
SHEET L-2 OF 2
PROJECT NUMBER: 22-091.01



Plan View

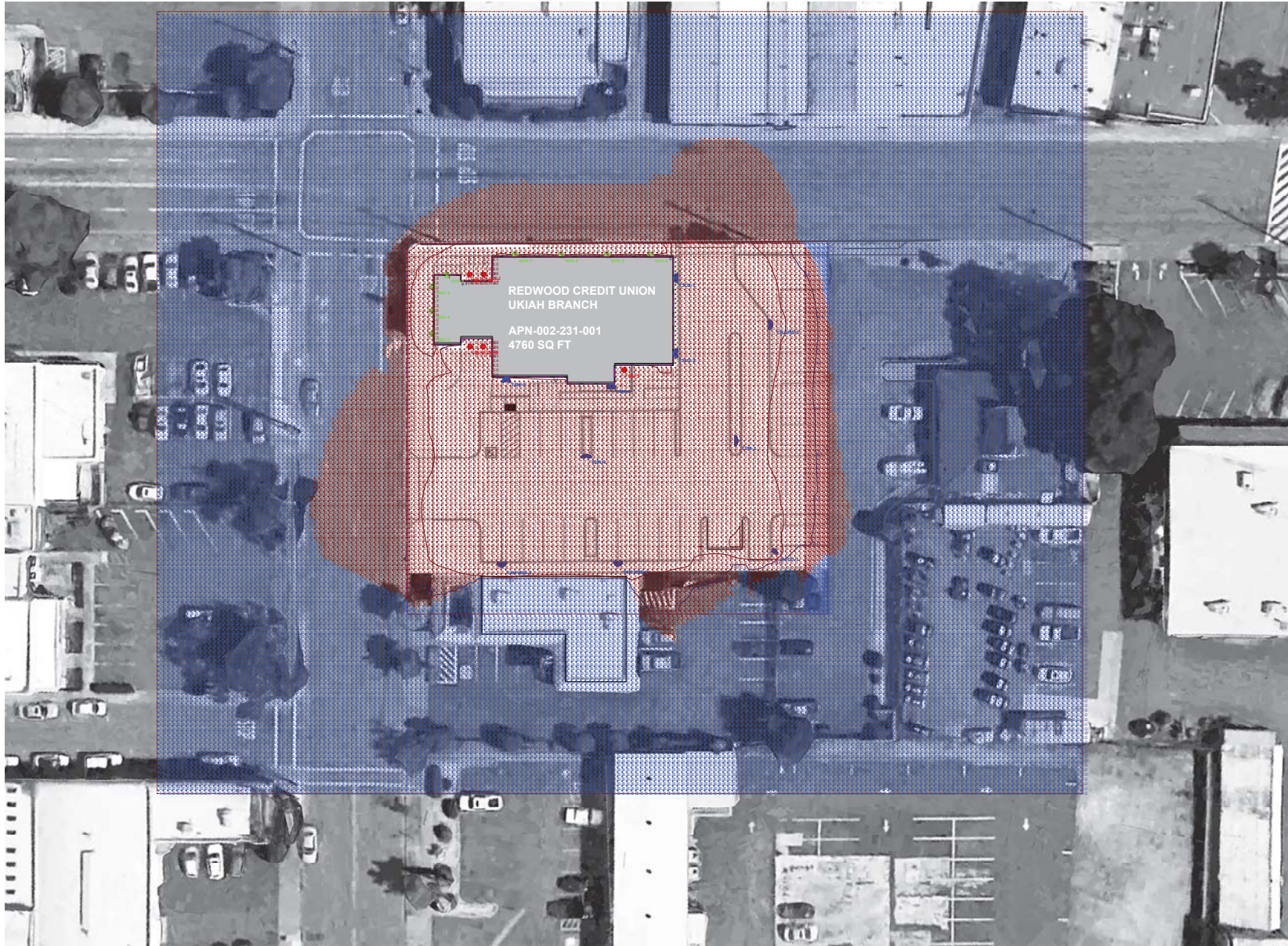
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T2M	T2M		2	T2M	T2M	T2M	T2M	T2M	T2M	T2M	
T3LG	T3LG		2	T3LG	T3LG	T3LG	T3LG	T3LG	T3LG	T3LG	
T3LG HS	T3LG HS		1	T3LG HS	T3LG HS	T3LG HS	T3LG HS	T3LG HS	T3LG HS	T3LG HS	
T4M	T4M		2	T4M	T4M	T4M	T4M	T4M	T4M	T4M	
T4M HSS	T4M HSS		2	T4M HSS	T4M HSS	T4M HSS	T4M HSS	T4M HSS	T4M HSS	T4M HSS	
WM	WM		5	WM	WM	WM	WM	WM	WM	WM	

PROPOSED REDWOOD CREDIT UNION - LIGHTING PHOTOMETRICS
101 S MAIN STREET
UKIAH, CA

BLAKESLEE
ELECTRIC, INC.
INDUSTRIAL • COMMERCIAL
LIC #415480
14 West Third Street, P.O. Box 1091, Santa Rosa, CA 95402
Tel (707) 546-6383 Fax (707) 546-8877 www.blakesleelectric.com

Designer
TS
Date
REV1 1/19/2023
Scale
As Noted
Drawing No.
E2
Summary

1 of 2



Plan View
Scale - 1" = 200'

Note
Extended photometric calculations
show effects on neighboring
properties as requested. Blue
photometric values are zero (0).

BLAKESLEE
ELECTRIC, INC.

INDUSTRIAL • COMMERCIAL
LIC #415498
14 West Third Street, P.O. Box 1951, Santa Rosa, CA 95402
Tel (707) 545-6383 Fax (707) 545-9577 www.BlakesleeElectric.com

Designer
TS
Date
REV1 1/19/2023
Scale
As Noted
Drawing No.
E2
Summary



PROPOSED REDWOOD CREDIT UNION - LIGHTING PHOTOMETRICS
101 S MAIN STREET
UKIAH, CA

DESIGN REVIEW NOTE:

THIS CONCEPTUAL SITE PLAN HAS BEEN PREPARED TO PROVIDE THE REVIEWING AGENCY WITH A DRAWING REFLECTING THE PARCEL'S EXISTING CONDITION AND THE PROPOSED CONCEPTUAL LAYOUT. MINOR ADJUSTMENTS MAY BE MADE DURING THE DEVELOPMENT OF THE CONSTRUCTION DRAWINGS TO FACILITATE THE REQUESTS OF CITY STAFF, THE BUILDING CODE AND LOCAL REGULATIONS.

BUILDING SPRINKLERS AND FIRE DEPARTMENT CONNECTIONS FOR BUILDING SPRINKLERS WILL BE REQUIRED WITH THIS DEVELOPMENT. THESE FACILITIES WILL BE LOCATED AND SIZED IN ACCORDANCE WITH THE BUILDING CODE, APPLICABLE COUNTY/CITY STANDARDS AND LOCAL REGULATIONS WITH THE DEVELOPMENT OF CONSTRUCTION DRAWINGS.

THE PROFESSIONAL PREPARING THESE DRAWINGS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THIS MAP. CHANGES TO THESE DRAWINGS MUST BE REQUESTED IN WRITING AND MUST BE APPROVED BY THE PROFESSIONAL.

THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND ARE BASED ON OBSERVED TOPOGRAPHIC SURFACE FEATURES AND AVAILABLE INFORMATION. THE PROFESSIONAL PREPARING THESE DRAWINGS ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THESE FACILITIES OR FOR THE INADVERTENT OMISSION OF RELATED INFORMATION.

BASIS OF BEARINGS: PARCEL MAP - MINOR SUBDIVISION 76-18, FILED IN CASE 2, DRAWER 29, PAGE 23, MENDOCINO COUNTY RECORDS.

FIELD SURVEY DATE: DECEMBER 2, 2019, BY BKF ENGINEERS

CONCEPTUAL SITE IMPROVEMENT DRAWINGS FOR
REDWOOD CREDIT UNION
IN THE CITY OF UKIAH
101 S. MAIN STREET

APN 002-231-01-00

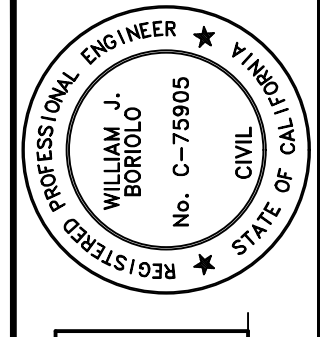
FEBRUARY 2023

ATTACHMENT 6

OWNER: REDWOOD CREDIT UNION
3033 CLEVELAND AVE
SANTA ROSA, CA. 95403
PH: (707) 545-4000

CIVIL ENGINEER: BKF ENGINEERS
200 4TH ST, STE. 300
SANTA ROSA, CA. 95401
PH: (707) 583-8500
FAX: (707) 583-8539

ARCHITECT: AXIA ARCHITECTS
250 D ST, STE. 210
SANTA ROSA, CA. 95404
PH: (707) 542-4652



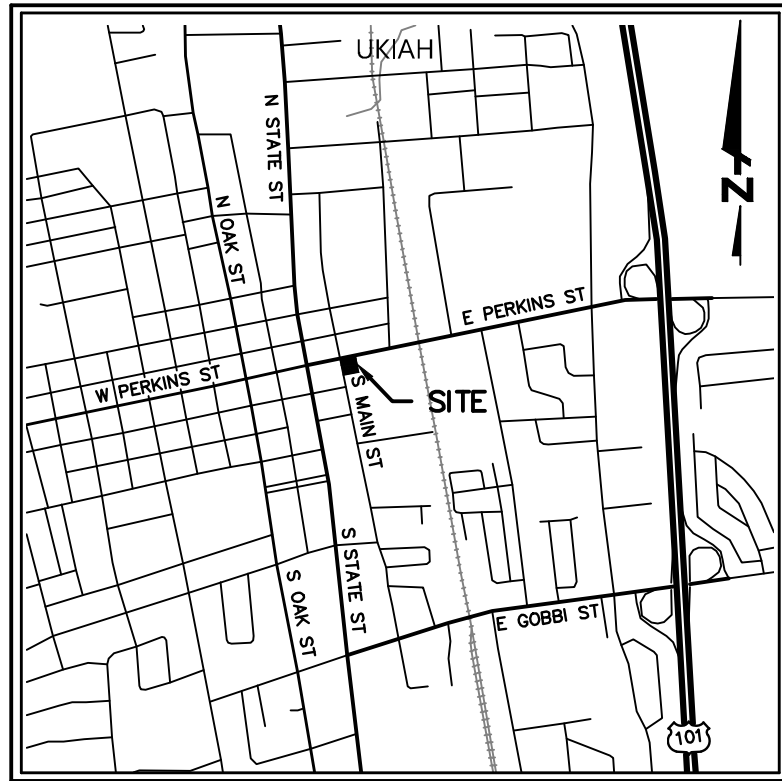
PRELIMINARY
NOT FOR CONSTRUCTION
DATE: 02/09/2023
WILLIAM J. BORIO
C 75905

200 4TH STREET
SANTA ROSA, CA 95401
(707) 583-8500
www.bkf.com
BKF

REDWOOD CREDIT UNION
APN 002-231-01-00
101 S. MAIN STREET, UKIAH, CALIFORNIA
PROJECT INFORMATION

Revisions	No.	Date	Scale	As Shown	Design	Drawn	Approved	Job No.
		FEB 2023	AS SHOWN		RHS	IT	WB	201913-11

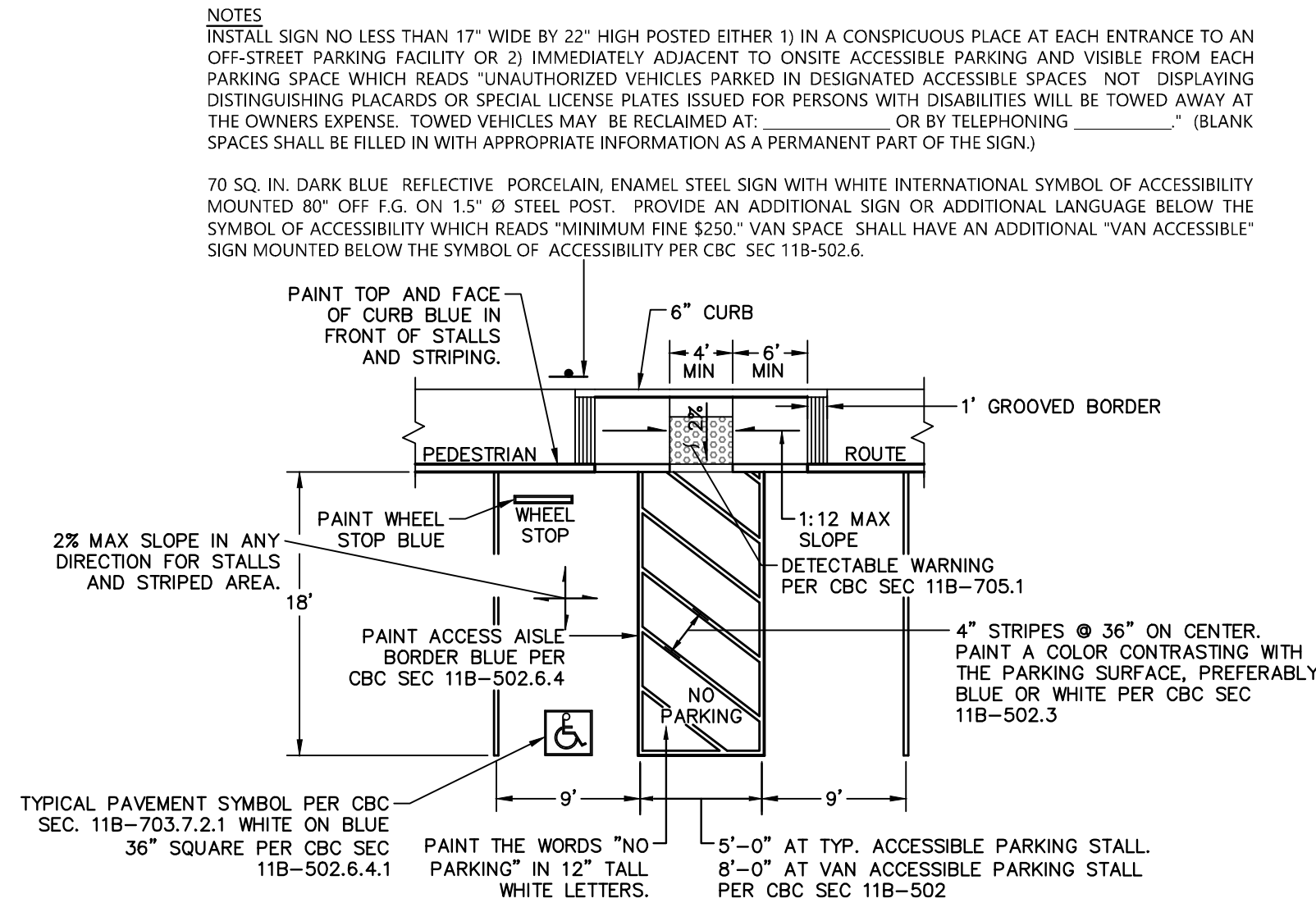
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C1
1 OF 2



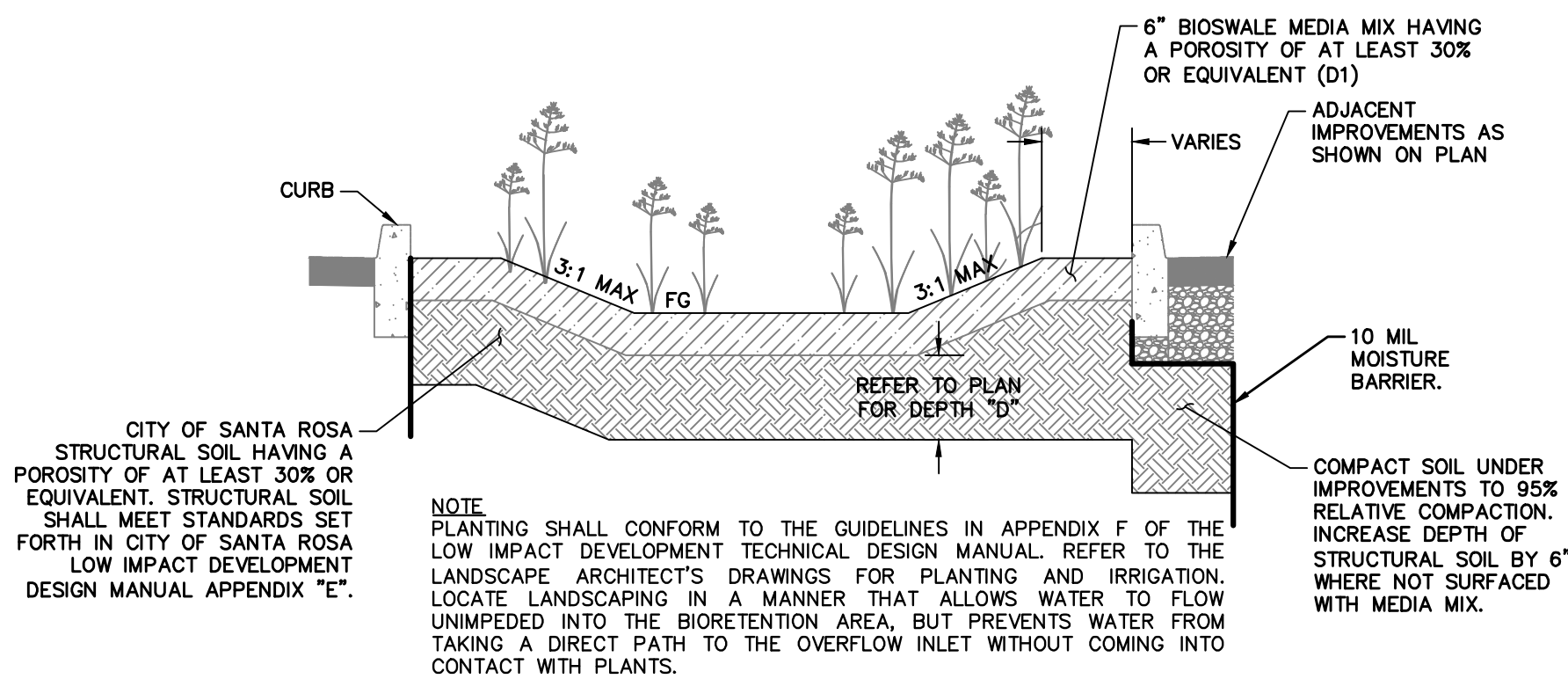
VICINITY MAP
NOT TO SCALE

INDEX OF DRAWINGS

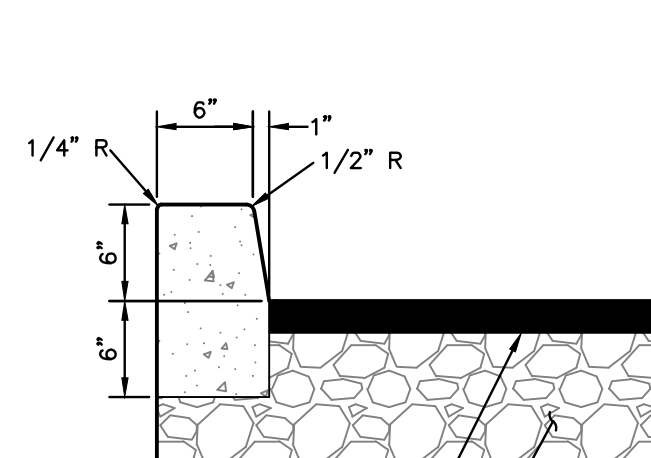
- C1. PROJECT INFORMATION
C2. SITE PLAN



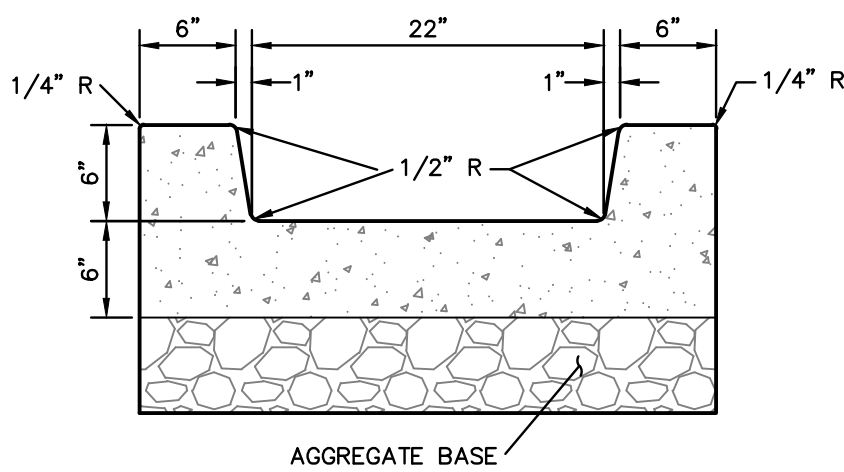
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NTS



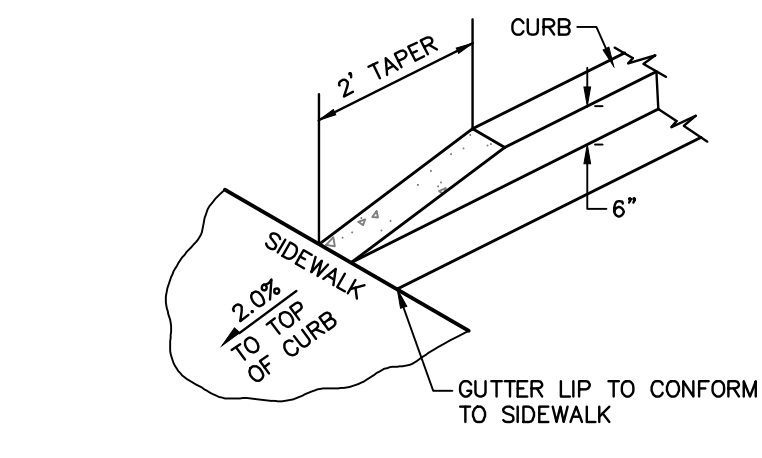
2 BIORETENTION FACILITY
NTS



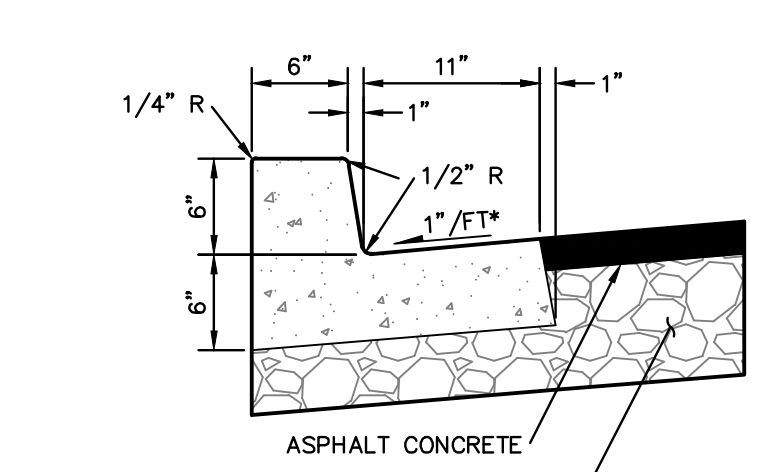
3 CURB DETAIL
NO SCALE



4 CURB DETAIL
NO SCALE



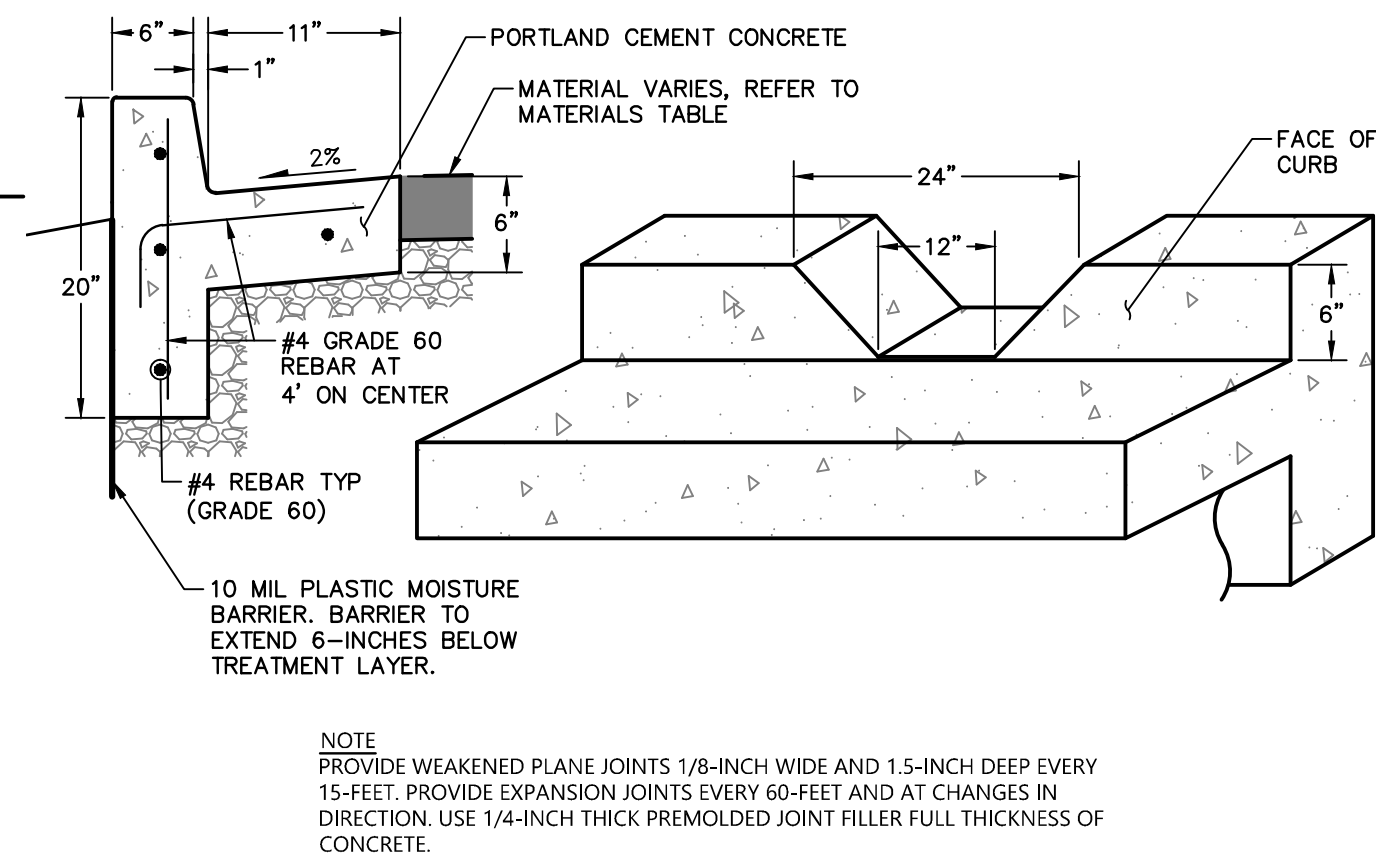
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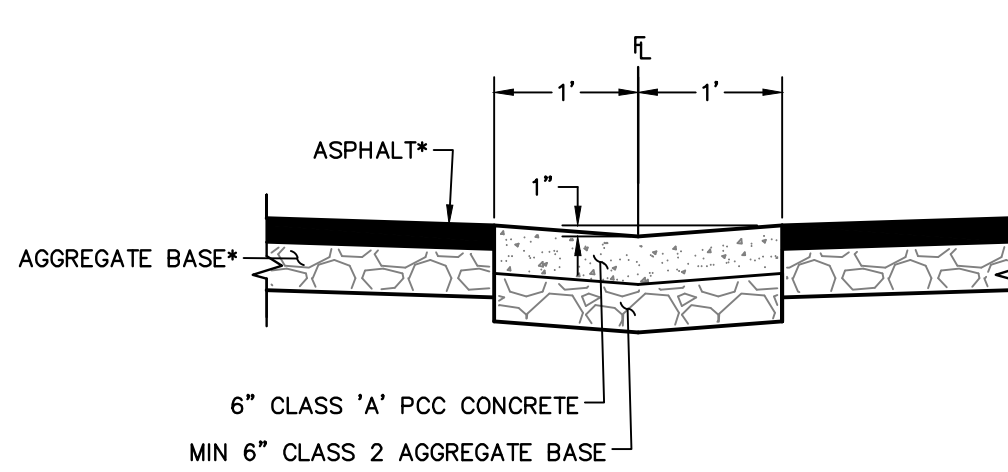
6 CURB DETAIL
NO SCALE

ABBREVIATIONS	
±	MORE OR LESS
Δ	DELTA
AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
APN	ASSESSOR'S PARCEL NUMBER
BC	BEGIN CURVE
BCT	BEGIN CURB TRANSITION
BFP	BACKFLOW PREVENTER
BLDG	BUILDING
BLRD	BOLLARD
BM	BENCHMARK
BO	BLOWOFF
BSL	BUILDING SETBACK LINE
CB	CATCH BASIN
CC	POINT OF COMPOUND CURVE
CL	CENTERLINE
CL2	CLASS II
CO	CLEAN OUT
CONC	CONCRETE
CY	CUBIC YARD
DDC	DOUBLE DETECTOR CHECK
DI	DROP INLET
DIA	DIAMETER
DN	DOCUMENT NUMBER
DS	RAINWATER DOWN SPOUT
DW	DRIVEWAY
DYL	DOUBLE YELLOW LINE
E	ELECTRIC
ECT	END CURB TRANSITION
EG	EXISTING GROUND
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ER	EDGE OF ROAD
ESMT	EASEMENT
EX	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	SURFACE FLOWLINE
FT	FOOT
G	GAS
GB	GRADE BREAK
GI	GRATE INLET
GM	GAS METER
HB	HOSE BIB
HDRL	HANDRAIL
HORZ	HORIZONTAL
HT	HEIGHT
INV	BOTTOM INSIDE OF PIPE
IP	IRON PIPE
IR	IRRIGATION
L	LENGTH
LP	LIGHT POLE
MAX	MAXIMUM
MB	MAILBOX
MH	MANHOLE
MIN	MINIMUM
MON	MONUMENT
NO	NUMBER
NTS	NOT TO SCALE
OVH	OVERHEAD UTILITY LINE
OR	OFFICIAL RECORDS
PAD	PAD GRADE
PCC	PORTLAND CEMENT CONCRETE
PG&E	PACIFIC GAS & ELECTRIC
PIV	POST INDICATOR VALVE
PL	PROPERTY LINE
PTC	PROJECTED TOP OF CURB
PUE	PUBLIC UTILITY EASEMENT
PVI	POINT OF VERTICAL INTERSECTION
PVT	PRIVATE
R	RADIUS
RC	POINT OF REVERSE CURVE
RSPR	RIPRAP ROCK SLOPE PROTECTION
RTWL	RETAINING WALL
R/W	RIGHT OF WAY
S=	SLOPE
SD	STORM DRAIN
SDCO	STORM DRAIN CLEAN OUT
SDMH	STORM DRAIN MANHOLE
SF	SQUARE FEET
SL	STREETLIGHT
SO	SIDE OPENING
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEAN OUT
SSMH	SANITARY SEWER MANHOLE
STA	STATION
STD	STANDARD
TB	TOP OF BOX
TC	TOP FACE OF CURB
TEL	TELECOMMUNICATION LINE
TF	TRANSFORMER
TG	TOP OF GRATE
TS	TRAFFIC SIGNAL
TV	TELEVISION
TW	TOP OF WALL
TYP	TYPICAL
UB	UTILITY BOX
UP	UTILITY POLE
UT	UNDERGROUND UTILITY LINE
UT	UNDERGROUND UTILITY LINE
VC	VERTICAL CURVE
VERT	VERTICAL
VLT	VAULT
W	WATER
WL	WHITE LINE
WM	WATER METER
WS	WATER SERVICE
YD	YARD DRAIN

SYMBOLS & LEGEND	
EXISTING	PROPOSED



7 CURB DEPRESSION DETAIL
NTS



8 VALLEY GUTTER DETAIL
NTS

