



## Zoning Administrator

### Regular Meeting **AGENDA**

**Meeting to be held at both the physical and teleconference locations below:**

**Ukiah Civic Center ♦ 300 Seminary Ave., Conf. Rm. 3 ♦ Ukiah, CA 95482**

**Zoom Teleconference Link: <https://us06web.zoom.us/j/81400512570>  
Meeting ID: 814 0051 2570**

**To join by telephone only call : 877 853 5247 (US Toll-free)  
To raise your hand: press \*9. To unmute yourself: press \*6**

**June 1, 2023 - 2:00 PM**

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**1. CALL TO ORDER**

**2. VERIFICATION OF NOTICE**

**3. APPEAL PROCESS**

All determinations of the Zoning Administrator regarding minor discretionary planning permits are final unless a written appeal, stating the reasons for the appeal, is filed with the City Clerk within ten (10) days of the date the decision was made. An interested party may appeal only if he or she appeared and stated his or her position during the hearing on the decision from which the appeal is taken. For items on this agenda, the appeal must be received by Monday, June 12, 2023 at 5:00 p.m.

**4. COMMENTS FROM AUDIENCE ON NON-AGENDA ITEMS**

The Zoning Administrator (ZA) welcomes input from the audience that is within the subject matter jurisdiction of the ZA. In order for everyone to be heard, please limit your comments to three (3) minutes per person and not more than ten (10) minutes per subject. The Brown Act regulations do not allow action to be taken on audience comments.

**5. APPROVAL OF MINUTES**

5.a. Approval of October 17, 2022 Zoning Administrator Minutes

***Recommended Action: Review and approve the Minutes of the October 17, 2022 Zoning Administrator meeting***

Attachments:

1. Draft Zoning Administrator Minutes of 10-17-22

5.b. Approval of December 15, 2022 Zoning Administrator Minutes

***Recommended Action: Review and approve the Minutes of the December 15, 2022 Zoning Administrator meeting***

Attachments:

1. Draft Zoning Administrator Minutes of 12-15-22

## 6. SITE VISIT VERIFICATION

## 7. PUBLIC HEARING

- 7.a. Request to Renew the Existing Vibe Ukiah, LLC Cannabis Manufacturing and Dispensary/Retail Use Permit at 441 North State Street; APN 002-186-19. File No. 23-8376.  
**Recommended Action: Approve renewal of the existing Vibe Ukiah, LLC Cannabis Manufacturing and Dispensary/Retail Use Permit at 441 North State Street.**

Attachments:

1. Draft Findings
2. Draft Conditions of Approval
3. Application Materials
4. Comments from Ukiah Police Department

- 7.b. Request to consider a Minor Site Development Permit (MiSDP) to construct a 39' fire training tower designed by Fire Training Structures; LLC. The structure will be used by Ukiah Valley Fire Authority (UVFA) and regional entities to provide training for roof operations, interior firefighting, confined space rescues, search and rescue, door breaching/forcible entry, as well as high-angle descent and rescue.

**Recommended Action: Staff recommends Zoning Administrator 1) conduct a public hearing; and 2) adopt the findings and conditionally approve the Minor Site Development Permit for the project.**

Attachments:

1. Draft Findings
2. Draft Conditions of Approval
3. Application Materials
4. Agency Comments

## 8. ADJOURNMENT

Please be advised that the City needs to be notified 72 hours in advance of a meeting if any specific accommodations or interpreter services are needed in order for you to attend. The City complies with ADA requirements and will attempt to reasonably accommodate individuals with disabilities upon request. I hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda was posted on the bulletin board at the main entrance of the City of Ukiah Civic Center, located at 300 Seminary Avenue, Ukiah, California, not less than 72 hours prior to the meeting set forth on this agenda.

Posted on May 25, 2023  
Jesse Davis, Chief Planning Manager

**CITY OF UKIAH**  
**ZONING ADMINISTRATOR MINUTES**  
**Meeting Held Remotely through Teleconference**  
**October 17, 2022**  
**9:00 a.m.**

**STAFF PRESENT**

Craig Schlatter, Zoning Administrator  
Jesse Davis, Planning Manager

**OTHERS PRESENT**

Bunnie Carter  
Essence Roberson (Applicant)  
Ken McCormick

**1. CALL TO ORDER**

The Zoning Administrator called the meeting to order at 9:00 a.m. via teleconference.

*Zoning Administrator Craig Schlatter presiding.*

**2. VERIFICATION OF NOTICE**

Staff confirmed timely noticing of all public hearings items posted on the agenda.

**3. APPEAL PROCESS**

Note: For matters heard on this agenda the final date to appeal is October 27, 2022 at 5:00 p.m.

**4. COMMENTS FROM AUDIENCE ON NON-AGENDA ITEMS**

None.

**5. APPROVAL OF MINUTES**

a) Zoning Administrator Schlatter reviewed and approved the Minutes of August 30, 2022, as presented.

**6. SITE VISIT VERIFICATION**

Zoning Administrator Schlatter stated that he had not performed a site visit for item listed on the agenda, but noted that he was familiar with the location and that this use was an interior operation only.

**7. PUBLIC HEARING**

a) *Request to review and consider a Minor Use Permit to develop an indoor 9-hole mini-golf course within an existing structure that includes a lounge with seating for special events (e.g. corporate outings, birthdays, etc.) at 125 South Orchard Avenue; APN (002-247-03); File No. 22-7596.*

Chief Planning Manger Davis presented the Staff Report.

Zoning Administrator Craig Schlatter opened the public hearing at 9:19 AM.

Upon a question from the Zoning Administrator, Chief Planning Manager Davis clarified the requirements and Ukiah City Code standards for parking, and the applicant provided additional clarification regarding the proposed operations and expectations for the business.

Zoning Administrator Schlatter approved the request to develop an indoor 9-hole mini-golf course within an existing structure that includes a lounge with seating for special events (e.g. corporate outings, birthdays, etc.) at 125 South Orchard Avenue; APN (002-247-03); File No. 22-7596.; based on the Findings and subject to the Conditions included with the staff report.

8. **ADJOURNMENT**

There being no further business, the meeting adjourned at 9:43 p.m.

DRAFT

**CITY OF UKIAH**  
**ZONING ADMINISTRATOR MINUTES**  
**Meeting Held Remotely through Teleconference**  
**December 15, 2022 1:00 p.m.**

**STAFF PRESENT**

Craig Schlatter, Zoning Administrator  
Michelle Irace, Planning Manager

**OTHERS PRESENT**

Megan Peterson

**1. CALL TO ORDER**

The Zoning Administrator called the meeting to order at 1:01 p.m. via teleconference.

*Zoning Administrator Craig Schlatter presiding.*

**2. VERIFICATION OF NOTICE**

Staff confirmed timely noticing of all public hearings items posted on the agenda.

**3. APPEAL PROCESS**

For matters heard on this agenda the final date to appeal is December 27, 2022 at 5:00 p.m.

Note: the original agenda posted stated that appeals were due on December 25, 2022. However, the Zoning Administrator noted that because of the holiday, the appeal date is extended to December 27, 2022.

**4. COMMENTS FROM AUDIENCE ON NON-AGENDA ITEMS**

None.

**5. APPROVAL OF MINUTES**

Zoning Administrator Craig Schlatter did not approve the Minutes of October 17, 2022 due to the fact that they were not prepared as action minutes and contain typographical errors.

**6. SITE VISIT VERIFICATION**

Zoning Administrator Craig Schlatter stated he performed a site visit for items listed on the agenda.

**7. PUBLIC HEARING**

a) Request to Review and Consider a Minor Use Permit to Allow a Children's Play Center (Mendo LEAP) Within an Existing Building at 203 S. State St.; APN (002-267-09); File No. 22-7678.

Planning Manager Irace presented the Staff Report.

Zoning Administrator Schlatter:

- 1) Asked for clarification of the following language on pg. 16 of the agenda packet (pg. 4 of the Staff Report) related to applicability of the parking exemption in UCC 9199(A)(1).

*The Project is located within the Downtown Parking Improvement District No.1 and does not propose to expand the existing commercial structure As such, the Project is exempt from parking requirements as described in UCC §9199(A)(1), which states,*

*“All existing commercial structures as of January 1, 1979, within the area defined as the city of Ukiah parking district no. 1, shall be exempt from the required off street parking requirements prescribed in section 9198 of this article. This exemption applies to changes in the structure, a sale of the property or business or expansion into existing structure space. New commercial construction including demolition, reconstruction, structural additions and existing or new residential uses within said district are not exempt. The exemption provided in this section does not require variance approval by the planning commission or the city council.”*

- 2) Noted that the City Council recently adopted the City’s 2040 General Plan (after the posting of this agenda), and asked how the Project is consistent with the 2040 General Plan.

Zoning Administrator Schlatter opened the public hearing at 1:19 p.m.

Speakers: Megan Peterson (applicant).

Zoning Administrator Schlatter closed the public hearing at 1:20 p.m.

Planning Manager Irace noted the following:

- 1) Clarified that the Project does not include expansion of the commercial structure (footprint) or structural changes that would trigger an additional level of review, such as a Site Development Permit, and therefore qualifies for the parking exemption in accordance with UCC §9199(A)(1). The language on pg. 4 of the Staff Report will be revised to read:

*“The Project is located within the Downtown Parking Improvement District No.1 and does not propose to expand the existing footprint of the commercial structure.”*

- 2) The Ukiah 2040 General Plan was adopted by the City Council on December 7, 2022, after the Staff Report and agenda for this item were prepared and posted. The new (2040) General Plan designation of the site is Downtown Core, while the zoning designation remains Urban Center. The 2040 General Plan contains several goals and policies related to recreation throughout several elements. Of note, is Land Use Element Goal LU-3 and Policy LU-3.3, as well as Public Facilities, Services and Infrastructure Element Goal PFS-12. For these reasons, the proposed Project is consistent with the 2040 General Plan.

As a result of this discussion, the following language has been added to Finding No. 1 in Attachment 1 to the Staff Report.

Staff notes that the Ukiah 2040 General Plan was adopted by the City Council on December 7, 2022, after the Staff Report and agenda for this item were prepared and posted. The new (2040) General Plan designation of the site is Downtown Core, while

the zoning designation remains Urban Center. The 2040 General Plan Urban Core land use designation is applied to the central core of Ukiah, generally extending along East Perkins Street and State Street that currently comprises parcels with the Downtown Zoning District. This designation is intended to establish and promote Downtown Ukiah as the central gathering place in the community for commercial, entertainment, hospitality, and urban living. Development in the Downtown Core is meant to establish a walkable, infill-oriented environment, focusing on multi-modal transportation and overall connectivity to the remainder of the city. Typical uses within this designation include mixed-use multi-family, commercial, retail, live/work, office; restaurants; entertainment venues; professional and medical offices, etc. Consistent with the Downtown Core land use designation description, the Project proposes an indoor recreation/entertainment venue for children and families within an existing commercial unit along State Street, which offers walkable, multi-modal transportation and connection to the greater downtown area. Additionally, the Project supports a number of 2040 General Plan goals and policies related to economic and commercial development, land use patterns and consistency, as well as those related to recreation (see below for a list of the most notable goals and policies supported by the Project). For these reasons, the proposed Project is consistent with the 2040 General Plan.

#### *Economic Development Element*

ED-7: To grow the local economy and employment base by supporting efforts to retain, expand and attract local businesses.

ED-8: To cultivate a culture of entrepreneurship to encourage and support local business start-ups.

#### *Land Use Element*

LU-3: To improve and enhance the appearance and vibrancy of Downtown Ukiah to create a high-quality place for residents, businesses, and visitors.

LU-3.3: Downtown Arts Entertainment. The City shall encourage private-sector investment in Downtown to transform it into a safe, vibrant, and prosperous arts and entertainment district that offers enhanced shopping, dining, recreational, and cultural experiences and events for residents, families, and visitors.

LU-4: To encourage the growth and development of retail, office, service, and entertainment uses in Ukiah to provide jobs, support City services, and make Ukiah an attractive place to live.

#### *Public Facilities, Services and Infrastructure Element*

PFS-12: To provide parks, recreational facilities, and trails for residents and visitors.

PFS-12.1 Connected Park System. The City shall provide an interconnected park system that creates an urban greenbelt and links all trail systems within the City.

Zoning Administrator Schlatter approved the Minor Use Permit to Allow a Children's Play Center (Mendo LEAP) Within an Existing Building at 203 S. State St. (File No. 22-7678), based on the Findings, as amended, and subject to the Conditions included in the Staff Report.

## **8. ADJOURNMENT**

There being no further business, the meeting adjourned at 1:22 p.m.



**DATE:** May 23, 2023  
**TO:** Zoning Administrator  
**FROM:** Michelle Irace, Planning Manager  
**SUBJECT:** Request to Renew the Existing Vibe Ukiah, LLC Cannabis Manufacturing and Dispensary/Retail Use Permit at 441 North State Street; APN 002-186-19. File No. 23-8376.

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**SUMMARY**

**PROPERTY OWNER(S):** Vibe Investments, LLC  
**APPLICANT:** Vibe Ukiah, LLC  
**LOCATION:** 441 North State Street; APN 002-186-19.  
**TOTAL ACREAGE:** ±0.18-acre (7,840.8 sf)  
**GENERAL PLAN:** Community Commercial (CC)  
**ZONING DISTRICT:** Community Commercial (C1)  
**AIRPORT COMPATABILITY ZONE:** Other Airport Environs (OAE)  
**ENVIRONMENTAL DETERMINATION:** Project is exempt from further environmental review per California Environmental Quality Act (CEQA) Guidelines §15061(b)(3), Review for Exemption  
**RECOMMENDATION:** Conditional Approval (see Draft Findings in Attachment 1 and Draft Conditions of Approval in Attachment 2)

**BACKGROUND**

On May 13, 2020, the Planning Commission approved a Major Use Permit (File No. 19-4434) to allow operation of a cannabis non-volatile manufacturing and retail/dispensary business at the project location. Approval of the Major Use Permit included allowance for the following: non-volatile manufacturing, consisting of packaging of adult use and medicinal cannabis pre-rolls; 300 sf retail/dispensary space; 230 sf of additional display space; 20-30 retail deliveries per day and

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one weekly delivery of cannabis for manufacturing; and a parking variance to allow a reduction of six spaces (three spaces are provided). The approved Use Permit also includes up to 12 employees and the following hours of operation:

*Dispensary:*

7:00 a.m. to 8:00 a.m. - Opening Procedures (no public access)

9:00 a.m. to 9:00 p.m. – Dispensary Operations

9:00 p.m. to 10:00 p.m. – Closing Procedures (no public access)

*Manufacturing:*

8:00 a.m. to 8:00 p.m. – Manufacturing Operations

Although the Use Permit was approved in May, 2020, the original permittee, Element 7, did not begin operation of the business. On December 21, 2020, a Minor Amendment (File No. 20-5589) to the original Use permit to make minor alterations to the floor plan and transfer ownership of the permit from Element 7 to Vibe Ukiah, LLC was approved by the Zoning Administrator. The business became operational in March, 2022, and was reviewed by the Zoning Administrator on April 12, 2022, for annual renewal, as all cannabis-related Use Permits previously required annual review from the date of issuance, regardless of operational status.

As of August 3, 2022, per UCC §9174.2(D), “Use Permits for cannabis-related business will be subject to review after the first year of operation by the Zoning Administrator, including inspection of the business by the Zoning Administrator or his designee, to determine whether the business is being operated in accordance with any conditions of approval imposed on the use permit as issued by the Planning Commission or Zoning Administrator.” Because the business became operational in March 2022, and was last renewed on April 12, 2022, the Use Permit is subject to review at this time.

The existing Use Permit expiration date is May 13, 2023. An application for renewal was submitted by the applicant on April 24, 2023, and the application was deemed complete on May 8, 2023. A site visit was conducted by Staff on May 22, 2023. Under the City’s current cannabis regulations, upon approval of the proposed renewal, the Use Permit will no longer expire within one year, but is subject to the City’s revocation procedures for cannabis-related Use Permits (UCC §9174.2(e)) and standard Use Permit expiration regulations (UCC §9262(h)).

## **PROJECT DESCRIPTION**

An application was received from Vibe Ukiah, LLC for renewal of the Use Permit. No changes to the previously approved Use Permit, or associated approved plans are proposed. All original Conditions of Approval are applicable to the proposed renewal, and will remain in effect. Application materials are included as Attachment 3.

## **SURROUNDING LAND USES**

The parcel carries a General Plan Land Use designation of Community Commercial (CC) and is zoned Community Commercial (C1). The project site is surrounded by parcels zoned Community Commercial (C1), and Urban Commercial (UC). The site is located outside of the Downtown

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Zoning District, but is within the Downtown Parking Improvement District No.1. Table 1 below includes a summary of uses directly adjacent to the parcel. See Figure 1 for an aerial image of the site, Figure 2 for a General Plan designation map, and Figure 3 for a zoning designation map.

Table 1, Surrounding Zoning and Uses

	Zoning	Use
North; East; and South	Community Commercial	Residential and commercial/office
West	Community Commercial; Urban Center	Residential and commercial

Figure 1. Aerial Map

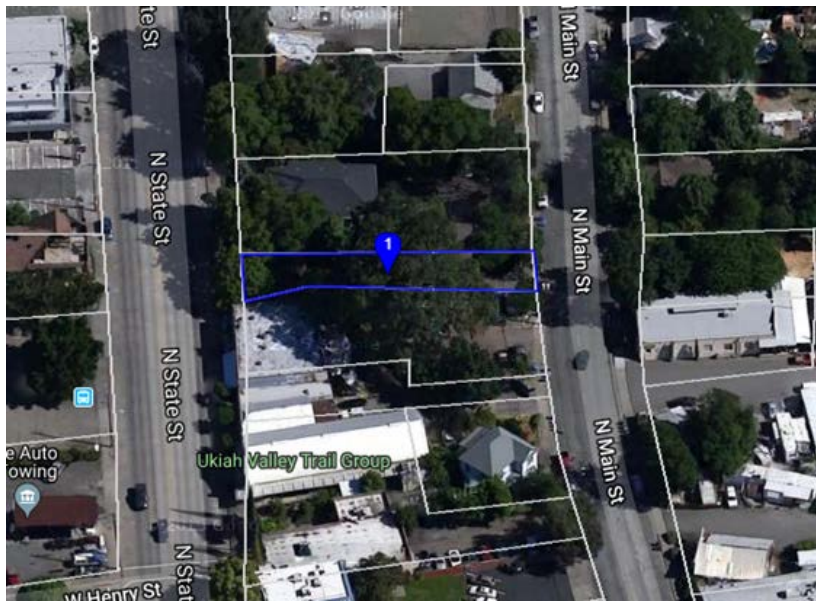


Figure 2, General Plan Designation



Figure 3, Zoning Designation



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## AGENCY COMMENTS

The permit renewal application was sent to the Ukiah Police Department for review and comment. As noted in the response from the Police Department, there are no issues associated with the business or location over the last year (see Attachment 4). The Use Permit renewal is subject to all original Conditions of Approval; no new Conditions of Approval are proposed by Staff (see Attachment 2).

## STAFF ANALYSIS

### General Plan and Zoning Consistency

*Use.* The parcel carries a General Plan Land Use designation of Community Commercial (CC) and is zoned Community Commercial (C1). The CC land use designation identifies areas generally located along major corridors in the city including State Street, East Gobbi Street, and Talmage Road, with the intent of providing a transition between higher-intensity commercial uses along Highway 101 and residential neighborhoods on the western side of the city. The CC land use designation notes C1 as its corresponding zoning designation and identifies a variety of small and large format retail stores, personal services and office uses, restaurants, mixed-use and multifamily development, and hotels as ‘typical’ uses. The proposed renewal of an existing use permit for a commercial retail business is consistent with both the CC land use designation and the C1 zoning designation. Additionally, the project is consistent with several goals and policies related to commercial and economic development within the Economic Development and Land Use elements of the General Plan.

Per UCC §9082, cannabis related businesses are allowed in C1 zoning districts with approval of a Use Permit. Per UCC §9174.2(C and D), Use Permits issued for cannabis-related businesses shall be subject to review once after the first year of operation. In determining whether to renew a cannabis Use Permit, the Zoning Administrator must consider specific criteria (UCC §9174.2(D)(2)). Renewal criteria, as well as Staff’s analysis of consistency are included in Table 2 below. Information from the Police Department has been included in the analysis (see Attachment 4).

*Table 2: Criteria for Permit Renewal*

<b>Renewal Criteria</b>	<b>Staff Analysis</b>
a. Whether the cannabis-related business operated pursuant to the use permit has generated an excessive number of calls for police service compared to similarly situated businesses of the same size as the cannabis-related business.	The Ukiah Police Department indicates that there have been no calls for service related to the business at this location.
b. Whether there have been excessive secondary criminal or public nuisance impacts in the surrounding area or neighborhood, including, but not limited to, disturbances of the peace, illegal drug activity, cannabis use in public, harassment of passersby, littering,	The Ukiah Police Department indicates that there have been no secondary criminal or public nuisance issues to adjacent areas as a result of the business.

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loitering, illegal parking, loud noises, odors, or lewd conduct.	
c. Whether the cannabis-related business operating pursuant to a use permit has a history of inadequate safeguards or procedures that show it is likely that it will not comply with any operating requirements and standards required in the conditions of approval	Operation of the business is in compliance with all original Conditions of Approval. Additionally, the Ukiah Police Department indicates that they have not been made aware of any inadequate safeguards or procedures that would affect compliance.
d. Whether the cannabis-related business has failed to pay fees, penalties, or taxes required by the conditions of approval of the use permit or by this code or State law, or has failed to comply with any requirements for the production of records or other reporting requirements of this code.	To the knowledge of Community Development Department and Ukiah Police Department personnel, all required fees have been paid. According to the State of California Department of Cannabis Control, the business maintains an "active" license (No. C10-0000963-LIC).
e. Whether the operator of the cannabis-related business or one or more of its officers, employees, partners, managers or members with management responsibilities ("managers") has been convicted of a felony, or has engaged in misconduct that is substantially related to the qualifications, functions or duties of an operator of a cannabis-related businesses. A "conviction" within the meaning of this chapter means a plea or verdict of guilty, or a conviction following a plea of nolo contendere. Notwithstanding the above, an application shall not be denied solely on the basis that the applicant or any manager has been convicted of a felony, if the person convicted has obtained a certificate of rehabilitation (expungement of felony record) under California law or under a similar Federal statute or State law where the expungement was granted.	All current owners and employees of the business have been finger printed and subject to a Live Scan background process. All persons associated with future changes in staffing and ownership will be required to obtain a successful Live Scan from the Police Department.
f. Whether the operator or managers of the cannabis-related business have previously or are currently engaged in unlawful, fraudulent, unfair, or deceptive business acts or practices.	See criterion c through e above.

Based on the above analysis and a site visit conducted on May 22, 2023, Staff finds the business and renewal request consistent with all Ukiah City Code regulations and the Conditions of Approval associated with the issued Use Permit. Findings for approval are included in Attachment 1 and Conditions of Approval are included in Attachment 2.

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## **ENVIRONMENTAL DOCUMENTATION**

The original project (Use Permit) was found to be categorically exempt from the California Environmental Quality Act (CEQA) per §15301, Existing Facilities, and a Notice of Exemption was filed with the County Clerk.

CEQA Guidelines §15061(b)(3), Review for Exemption states that a project is exempt from CEQA if “The activity is covered under the common sense exemption that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA”.

Because the project involves renewal of an existing Use Permit, and does not propose any changes to the Use Permit, the existing building, or operations of the approved project, it can be said with certainty that there is no potential for the project to result in an impact to the environment.

## **NOTICE**

Notice of the Public Hearing was provided in the following manner, in accordance with UCC §9262(C).

- Published in the Ukiah Daily Journal on May 20, 2023;
- Posted on the Project site on May 22, 2023;
- Posted at the Civic Center (glass case) 72 hours prior to the public hearing; and
- Mailed to property owners within 300 feet of the project parcel on May 9, 2023.

## **RECOMMENDATION**

Staff recommends the Zoning Administrator approve the Use Permit renewal, based on the Findings in Attachment 1 and subject to the Conditions of Approval in Attachment 2.

## **ATTACHMENTS**

1. Draft Findings
2. Draft Conditions of Approval
3. Application Materials
4. Comments from the Ukiah Police Department

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**FINDINGS FOR  
RENEWAL OF AN EXISTING CANNABIS MANUFACTURING  
AND DISPENSARY/RETAIL USE PERMIT  
AT 441 NORTH STATE STREET  
APN 002-186-19 FILE NO. 23-8376**

The following findings are supported by and based on information contained in the approved Major Use Permit (File No. 19-4434), Minor Modification to the Use Permit (File No. 20-5589), as well as well as information contained within this Staff Report (May 23, 2023), the application materials and documentation, and the public record, in accordance with UCC §9174.2 and §9262.

1. The proposed renewal of an existing use permit for a commercial retail business is consistent with both the Community Commercial (CC) land use designation and the Community Commercial (C1) zoning designation, which allow for retail/commercial businesses, and specifically cannabis-related businesses with approval of a Use Permit. The project is also consistent with the following goals of the Economic Development and Land Use elements of the General Plan related to commercial and economic development.

*ED-6: To maintain a supportive business climate and a healthy economy that leads to the expansion of existing businesses and the attraction of new ones.*

*ED-7: To grow the local economy and employment base by supporting efforts to retain, expand and attract local businesses.*

*ED-8: To cultivate a culture of entrepreneurship to encourage and support local business start-ups).*

*ED-10: To foster a robust and diversified local economy that provides quality employment and attracts stable businesses.*

*LU-4: To encourage the growth and development of retail, office, service, and entertainment uses in Ukiah to provide jobs, support City services, and make Ukiah an*

2. Based on information contained within the Staff Report (May 23, 2023) and a site visit conducted on May 22, 2023, the project, as conditioned, is consistent with UCC §9174.2, *Cannabis Related Businesses*, of the Ukiah City Code and all Conditions of Approval.
3. Pursuant to City Code §9174.2, the proposed renewal was reviewed by Planning Division staff and the Ukiah Police Department. As discussed in Table 2 of the Staff Report (May 23, 2023), no issues have been reported and all criterion for renewal has been met.
4. The approved Use Permit was determined to be compatible with surrounding land uses and will not be detrimental to the public's health, safety and general welfare. No changes to the business or operation are proposed.

Findings  
Cannabis Use Permit Annual Renewal  
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441 North State Street  
File No. 22-6846.

The original project was found to be categorically exempt from the California Environmental Quality Act (CEQA) per §15301, Existing Facilities, and a Notice of Exemption was filed with the County Clerk.

CEQA Guidelines §15061(b)(3), Review for Exemption, states that a project is exempt from CEQA if “The activity is covered under the common sense exemption that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA”.

Because the project involves renewal of an existing Use Permit, and does not propose any changes to the Use Permit, the existing building, or operations of the approved project, it can be said with certainty that there is no potential for the project to result in an impact to the environment.

5. A Notice of the Public Hearing was provided in the following manner, in accordance with UCC §9262(C).
  - Published in the Ukiah Daily Journal on May 20, 2023;
  - Posted on the Project site on May 22, 2023;
  - Posted at the Civic Center (glass case) 72 hours prior to the public hearing; and
  - Mailed to property owners within 300 feet of the project parcel on May 9, 2023.
6. Based on the above findings and information contained within the Staff Report (May 23, 2023) and associated documents, the findings required to approve renewal of the cannabis Use Permit can be made by the Zoning Administrator, in accordance with UCC §9174.2(d)(2)).

**CONDITIONS OF APPROVAL FOR  
RENEWAL OF AN EXISTING CANNABIS MANUFACTURING  
AND DISPENSARY/RETAIL USE PERMIT  
AT 441 NORTH STATE STREET  
APN 002-186-19 FILE NO. 23-8376**

This annual renewal of a cannabis Use Permit is granted to Vibe Ukiah, LLC. Conditions of Approval from the original approved Major Use Permit (File No. 19-4434) and Minor Modification to the Use Permit (File No. 20-5589) shall be applicable to the renewal and will remain in effect. Approval of the Use Permit includes allowance for the following: non-volatile manufacturing, consisting of packaging of adult use and medicinal cannabis pre-rolls; 300 sf retail/dispensary space; 230 sf of additional display space; 20-30 retail deliveries per day and one weekly delivery of cannabis for manufacturing; and a parking variance to allow a reduction of six spaces (three spaces are provided). The approved Use Permit also includes up to 12 employees and the following hours of operation:

*Dispensary:*

7:00 a.m. to 8:00 a.m. - Opening Procedures (no public access)

9:00 a.m. to 9:00 p.m. – Dispensary Operations

9:00 p.m. to 10:00 p.m. – Closing Procedures (no public access)

*Manufacturing:*

8:00 a.m. to 8:00 p.m. – Manufacturing Operations

*The cannabis Use Permit is subject to the following Conditions of Approval.*

**From the Planning Division**

1. Approval is granted to allow the operation of the cannabis business as described in the documents for the Major Use Permit (File No.19-4434) approved by the Planning Commission on May 13, 2020, and Minor Amendment (File No. 20-5589) approved by the Zoning Administrator on December 21, 2020. Any modifications to the plans contained within the previously approved documents may require an amendment to this Use Permit, as determined by the Community Development Director and the Chief of Police.
2. In accordance with UCC §9174.2(e), an approved use permit for a cannabis-related business may be revoked through the City’s revocation process, as set forth in UCC 9262(h)(2), except that all references therein to the Planning Commission shall be deemed to refer to the Zoning Administrator, if the cannabis-related business is operated in a manner that violates the conditions of approval imposed by the use permit or the provisions of this code, or conflicts with State law.

*Conditions of Approval from the original Use Permit (File No. 19-4434) and Minor Modification to the Use Permit (File No. 20-5589) are listed below.*

**City of Ukiah Special Conditions**

1. No cultivation shall occur on-site. If the applicant wishes to include it at a later date, the applicant shall contact the Community Development Department to determine which planning permits are required.

Conditions of Approval  
Cannabis Use Permit Renewal  
Vibe Ukiah, LLC  
441 North State Street  
File No.: 23-8376

2. No consumption of cannabis or cannabis-related products shall occur on-site.
3. No special events are permitted on-site. If the applicant wishes to hold events, they must contact the Community Development Department; additional permits or approvals may be required.
4. Per Section 5704 of the UCC this Use Permit is valid for one-year. Dispensary Use Permits may be renewed on an annual basis by the Zoning Administrator following the procedure described in Section 5704 of the UCC. It is the Applicant's responsibility to apply for annual renewal 45 days prior to this permit expiring.
5. As outlined in Article 20, Administrative and Procedures, of the Zoning Code this planning permit may be revoked through the City's revocation process if the approved project related to this permit is not being conducted in compliance with these stipulations and conditions of approval; or if the project is not established within two years of the effective date of this approval; or if the established use for which the permit was granted has ceased or has been suspended for 24 consecutive months.
6. Prior to issuance of building permits and commencing operations, the applicant shall submit proof of State licensure to operate the cannabis related business to the Community Development Department.
7. Prior to issuance of building permits or commencing operations, the applicant and all employees shall successfully complete a Live Scan background and provide proof of such completion.
8. No persons will live on-site. If the applicant wishes to have a live-in manager in the future, they shall consult with the Planning and Community Development Department and obtain any necessary permits.
9. The business is required to obtain a City of Ukiah business license prior to occupancy.
10. Address signage for 320 North Main Street shall be removed from the building.

#### **City of Ukiah Standard Conditions**

11. This approval is not effective until the 10-day appeal period applicable to this Site Development Permit has expired without the filing of a timely appeal. If a timely appeal is filed, the project is subject to the outcome of the appeal and shall be revised as necessary to comply with any modifications, conditions, or requirements that were imposed as part of the appeal.
12. All Conditions of Approval shall be printed on all sets of building permit project plans pertaining to any site preparation work or construction associated with the development of the multi-family project and ancillary site improvements approved by the Site Development Permit.
13. All use, construction and the location thereof, or occupancy, shall conform to the application and to any supporting documents submitted therewith, including any maps, sketches, or plot plans accompanying the application or submitted by applicant in support thereof.
14. Any construction shall comply with the "Standard Specifications" for such type of construction now existing or which may hereafter be promulgated by the Engineering

Conditions of Approval  
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Vibe Ukiah, LLC  
441 North State Street  
File No.: 23-8376

Department of the City of Ukiah; except where higher standards are imposed by law, rule, or regulation or by action of the Planning Commission such standards shall be met.

15. In addition to any particular condition which might be imposed; any construction shall comply with all building, fire, electric, plumbing, occupancy, and structural laws, rules, regulations, and ordinances in effect at the time the Building Permit is approved and issued.
16. Building permits shall be issued within two years after the effective date of the Site Development Permit or same shall be null and void.
17. The Applicant shall obtain all required Sign Permits, in compliance with Division 3, Chapter 7, Signs, of the UCC.
18. The Applicant shall submit verification of all applicable permits or approvals in compliance with all local, state and federal laws to the Community Development Department prior to issuance of building permits.
19. All fees associated with the project planning permits and approvals shall be paid in full prior to occupancy.

#### **Department of Public Works Conditions**

20. All work within the public right-of-way shall be performed by a licensed and properly insured contractor. The contractor shall obtain an encroachment permit for work within this area or otherwise affecting this area. Encroachment permit fee shall be \$45 plus 3% of estimated construction costs
21. All sidewalks and driveway aprons that front the parcel shall be ADA compliant.

#### **Electric Utility Department Conditions**

22. This property will be served from existing underground facilities and a 75kva 3-phase Transformer that currently serves the building at 441 N. State Street. Should the project need to upgrade to a larger panel or increase the electric load in the future, please contact the Electric Utility Office.
23. In the event that the existing Electric Main Service Panel's need to be upgraded to a larger size, applicant shall provide projected load calculations for their project to the Electric Utility Department.
24. Developer is to provide EUSERC approved electrical equipment compatible with the City of Ukiah's EUSERC Acceptability Chart.
25. All future site improvements shall be submitted to the Electric Utility Department for review and comment. At that time, specific service requirements, service Voltage and developer costs and requirements will be determined.
26. Developer/customer shall incur all costs of this future project to include (labor, materials, equipment, and future services).

Conditions of Approval  
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Vibe Ukiah, LLC  
441 North State Street  
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### **Building Division Conditions**

27. Tenant Improvements (TI) will require a building permit. Please submit building permit application, four complete plans sets, two wet stamped and signed.
28. The design and construction of all site alterations shall comply with the 2016 California Building Code, 2016 Plumbing Code, 2016 Electrical Code, 2016 California Mechanical Code, 2016 California Fire Code, 2016 California Energy Code, 2016 Title 24 California Energy Efficiency Standards, 2016 California Green Building Standards Code and City of Ukiah Ordinances and Amendments.

### **Ukiah Police Department Conditions**

Prior to Building Permit Final and for the Duration of the Use:

29. The business permittee shall provide the Police Department with the current name and primary and secondary telephone numbers of at least one 24-hour on-call manager to address and resolve complaints and to respond to operating problems or concerns associated with the business.
30. The business permittee shall provide the City with the current name and primary and secondary telephone numbers of at least one manager to communicate with the surrounding neighborhoods and businesses. The business shall make good faith efforts to encourage neighborhood residents to call this person to solve problems, if any, before any calls or complaints are made to the City or Police Department.
31. The business permittee shall immediately report to the City Police Department all criminal activity occurring on the business site.
32. The business permittee shall only manufacture cannabis in a fully enclosed building and not allow cannabis or cannabis products on the manufacturing site to be visible from the public right of way, the unsecured areas surrounding the building on the site, or the site's main entrance and lobby.
33. Video from the security surveillance cameras must be recording at all times (24 hours a day, seven days a week) and the recording shall be maintained for at least 90 days. In the event of a crime on site or anywhere within range of the dispensary's security cameras, the dispensary shall provide the Chief of Police with a useable digital copy of the security video upon request or at the earliest convenience. Duration of Use: Security system shall be equipped with at least 24 hours of continued operation time in case of power failure.
34. Electronic "point of sale" age verification system is required which scans and authenticates ID, identifies fake ID's, records dates and times of transactions, has the ability to create a "banned patron" list.
35. A copy of all applicable state and local licenses or permits shall be submitted to the City prior to issuance of permit and prior to operation. All applicable state and local licenses or permits be displayed in the lobby or waiting area of the main entrance to the building.
36. All perimeter fencing and gates shall be constructed of decorative tubular steel, no climb type. The six foot wrought iron fencing shall be constructed along the eastern top of bank of Gibson Creek, and continuing along the side lot lines to and including the frontage along North Main Street.
37. All solid core exterior doors shall be equipped with a 180 degree viewing device to screen persons before allowing entry.

Conditions of Approval  
Cannabis Use Permit Renewal  
Vibe Ukiah, LLC  
441 North State Street  
File No.: 23-8376

38. Broken or damaged exterior lighting shall be repaired or replaced within 48 hours of being noted.
39. Report any graffiti to UPD @ 463-6262. After reporting, clean-up/paint over as soon as possible. Spray on graffiti remover can be purchased at hardware supply stores.
40. Property shall be kept free of debris/garbage.
41. Applicant shall install a "Knox Box" to allow Police Department emergency access to the interior and exterior areas of the property after hours.
42. Height markers shall be installed on the interior doorways and front door entrance.
43. Building shall be equipped with UL compliant security system including Video Assessment Surveillance System (VASS), Intrusion Detection System with private security response and emergency panic alarms. Security system must be monitored by UL listed monitoring company and installed via a UL certified installer.
44. Any proposed revisions to the approved Security Plan shall be made in writing and subject to approval.
45. An inspection shall be conducted by the Department in order to confirm compliance with approved Security Plan prior to building permit final.

#### **Ukiah Valley Fire Authority Conditions**

46. All exit doors shall be equipped with lighted exit signage and emergency lighting with a battery backup.
47. Main entry door must swing in direction of egress travel "out".
48. Prior to issuance of building permits, the permit holder shall submit the Fire and Safety Technical Report to the Fire Official for review and approval.
49. New and existing buildings shall have approved address numbers placed in a position to be plainly legible from the street or road fronting the property, CFC 505.1. Address number shall be placed on the South facing exterior and East facing wall at corner of main building. Fire Marshal can verify with contractor.
50. Fire extinguishers shall be required. Fire Marshal can assist with location and number of required extinguishers.
51. Fire sprinkler system shall be maintained and modified as necessary.
52. Carbon Monoxide cylinders must be secured and restricted from falling. Amount of cylinders shall be verified and properly stored at all times. If stored in a closed room, room must be vented and alarmed.
53. It is highly recommended that all exits be clearly marked. Means of egress shall be illuminated when the building space is occupied, CFC 1008.2
54. Exit signs shall be internally or externally illuminated at all times; signs shall be connected to an emergency power system that provides illumination for not less than 90 minutes in case of primary power loss. CFC 1013.3 & 1013.6.3.
55. In the event of power supply failure, an emergency electrical system shall automatically illuminate the means of egress. CFC 1008.3.

Conditions of Approval  
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Vibe Ukiah, LLC  
441 North State Street  
File No.: 23-8376

56. A "Knox Box" key security safe shall be required, and mounted on the exterior at a location specified by the Fire Marshal.
57. Emergency contact information shall also be provided to the Fire Department.

RECEIVED

APR 24 2023



CITY OF UKIAH  
COMMUNITY DEVELOPMENT  
**City of Ukiah**

Community Development Department  
Planning Division  
300 Seminary Ave., Ukiah CA 95482  
Email: [planning@cityofukiah.com](mailto:planning@cityofukiah.com)  
Web: [www.cityofukiah.com](http://www.cityofukiah.com)  
Phone: (707) 463-6268  
Fax: (707) 463-6204

## Planning Permit Application

# 23-8376

PROJECT NAME: <b>Vibe Ukiah LLC - dba Vibe by California</b>			
PROJECT ADDRESS/CROSS STREETS: <b>441 North State Street - Parallel to Main Street</b>		AP NUMBER(S): <b>002-186-19-0</b>	
APPLICANT/AUTHORIZED AGENT: <b>Joe Starr</b>	PHONE NO: <b>279-356-8423</b>	FAX NO:	E-MAIL ADDRESS: <b>Compliance@vibebycalifornia.com</b>
APPLICANT/AUTHORIZED AGENT ADDRESS: <b>8112 Alpine Ave</b>		CITY: <b>Sacramento</b>	STATE/ZIP: <b>CA / 95826</b>
PROPERTY OWNER IF OTHER THAN APPLICANT/AGENT: <b>Allen L. Ling</b>	PHONE NO: <b>510-847-2222</b>	FAX NO:	E-MAIL ADDRESS:
PROPERTY OWNER ADDRESS IF OTHER THAN APPLICANT <b>517 Bonnie Drive</b>		CITY: <b>El Cerrito</b>	STATE/ZIP: <b>CA/ 94530</b>
HAS YOUR PROJECT RECEIVED A PRELIMINARY REVIEW? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <i>There are no proposed changes.</i>			
<input type="checkbox"/> AIRPORT LAND USE COMM. DETERMINATION REFERRAL 100.0800.611.003	\$	<input type="checkbox"/> REZONING - PLANNED DISTRICT 100.0800.611.001	\$
<input type="checkbox"/> ANNEXATION 100.0800.611.001	\$	<input type="checkbox"/> SITE DEVELOPMENT PERMIT - AMENDMENT 100.0400.449.001	\$
<input type="checkbox"/> APPEAL 100.0400.449.001	\$	<input type="checkbox"/> SITE DEVELOPMENT PERMIT - MAJOR 100.0400.449.001	\$
<input type="checkbox"/> GENERAL PLAN AMENDMENT 100.0800.611.001	\$	<input type="checkbox"/> SITE DEVELOPMENT PERMIT - MINOR 100.0400.449.001	\$
<input type="checkbox"/> MURAL PERMIT 100.0400.449.001	\$	<input type="checkbox"/> SPECIFIC/MASTER PLAN 100.0800.611.003	\$
<input type="checkbox"/> PRE-DEVELOPMENT MEETING 100.0800.611.003	\$	<input type="checkbox"/> MINOR SUBDIVISION/TENTATIVE PARCEL MAP (4 OR FEWER LOTS) 100.0800.610.001	\$
<input type="checkbox"/> STAFF RESEARCH (MORE THAN 1 HOUR) 10023100.41153	\$	<input type="checkbox"/> MAJOR SUBDIVISION/TENTATIVE SUBDIVISION MAP (5 OR MORE LOTS) 100.0800.610.001	\$
<input type="checkbox"/> LOT LINE ADJUSTMENT OR MERGER 100.0800.610.001	\$	<input type="checkbox"/> OTHER	\$ 1,000
<input checked="" type="checkbox"/> OTHER Cannabis Renewal Application			
COUNTY CEQA FILING FEE: CHECK PAYABLE TO MENDOCINO CO.	\$	MAJOR PERMIT DEPOSIT:	\$
COUNTY CEQA (NEG DEC) FEE: CHECK PAYABLE TO MENDOCINO CO.	\$	MINOR PERMIT FEE:	\$
COUNTY CEQA (EIR) FEE: CHECK PAYABLE TO MENDOCINO CO.	\$	TOTAL FEE:	\$ 1,000
FILING DATE: <b>4/24/23</b>		TOTAL AMOUNT PAID: \$ <b>1,000 via phone</b>	
RECEIPT NUMBER: <b>CC over phone</b>		APPLICATION NUMBER(S): <b>23-8376 (renewal)</b>	

**Recommendation:** Prior to submitting an application, discuss your project with Staff to discover what fees (sewer, water, in-lieu park fees, traffic impact fees, etc.) may be required for your project. Also, ask about street tree requirements, required sidewalk repairs, drainage issues, storm water mitigation requirements, frontage improvements, etc.

**From:** [CALVIN YEE](#)  
**To:** [Michelle Irace](#)  
**Cc:** [nuris@vibebycalifornia.com](mailto:nuris@vibebycalifornia.com); [Jesse Davis](#)  
**Subject:** Re: Vibe Annual Renewal UP  
**Date:** Monday, April 24, 2023 1:42:08 PM  
**Attachments:** [image001.png](#)

---

**[EXTERNAL EMAIL]** DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.

Hi Michelle,

Thank you for sending the payment receipt. With respect to the monthly invoices, please send them to our compliance email and you can use my name as the contact.

Further, Nuri just sent you a separate email with a slight amendment to our renewal application. When the original application was submitted in 2021, we were in the process of purchasing the property from the former owner and thus, did not yet have the documents to submit evidencing our ownership of the property. With the transaction completed, we now have the deed to submit showing our ownership. Our apologies for the oversight in the submission this morning!

Thanks again for your assistance!

Regards,



It's always 4:20  
at Vibe

---

**Calvin Yee**  
VP Business Development

t: (916) 304-7773                      8112 Alpine Ave  
m: (914) 924-8188                      Sacramento, CA 95826  
e: [calviny@vibebycalifornia.com](mailto:calviny@vibebycalifornia.com)      [www.vibebycalifornia.com](http://www.vibebycalifornia.com)

---


**From:** Michelle Irace <[mirace@cityofukiah.com](mailto:mirace@cityofukiah.com)>  
**Date:** Monday, April 24, 2023 at 12:54 PM  
**To:** CALVIN YEE <[calviny@vibebycalifornia.com](mailto:calviny@vibebycalifornia.com)>, "[nuris@vibebycalifornia.com](mailto:nuris@vibebycalifornia.com)" <[nuris@vibebycalifornia.com](mailto:nuris@vibebycalifornia.com)>  
**Subject:** RE: Vibe Annual Renewal UP

New Search  
 > Back to Search Results

## Vibe Ukiah LLC


Report Unlicensed Business

### License Information


 **Active**

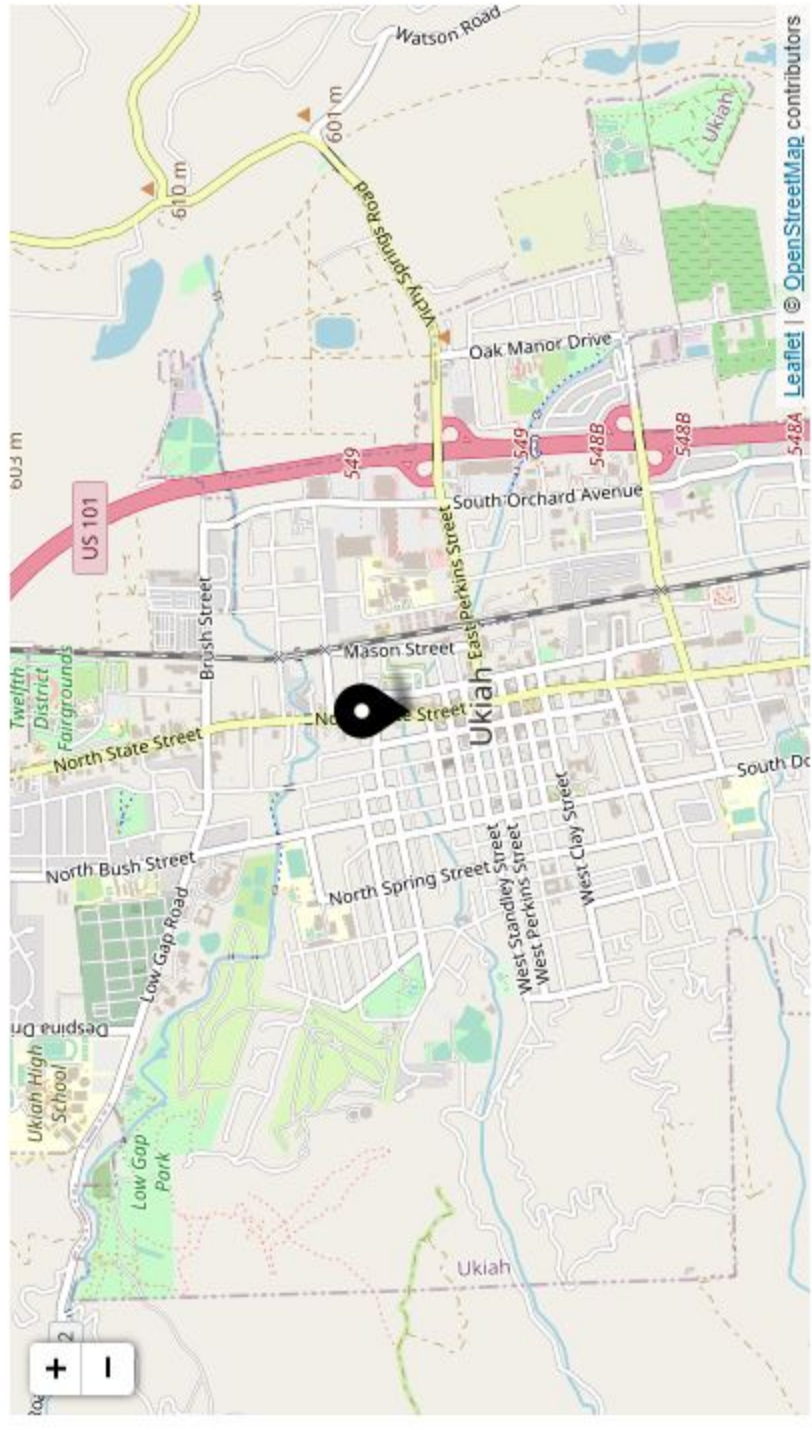
**Lic. No. C10-0000963-LIC (Annual)**  
 Commercial - Retailer  
 Adult-Use and Medicinal  
 Effective on **2022-02-18**  
 Expires on **2024-02-18**  
 License Status Change on **2022-02-18**

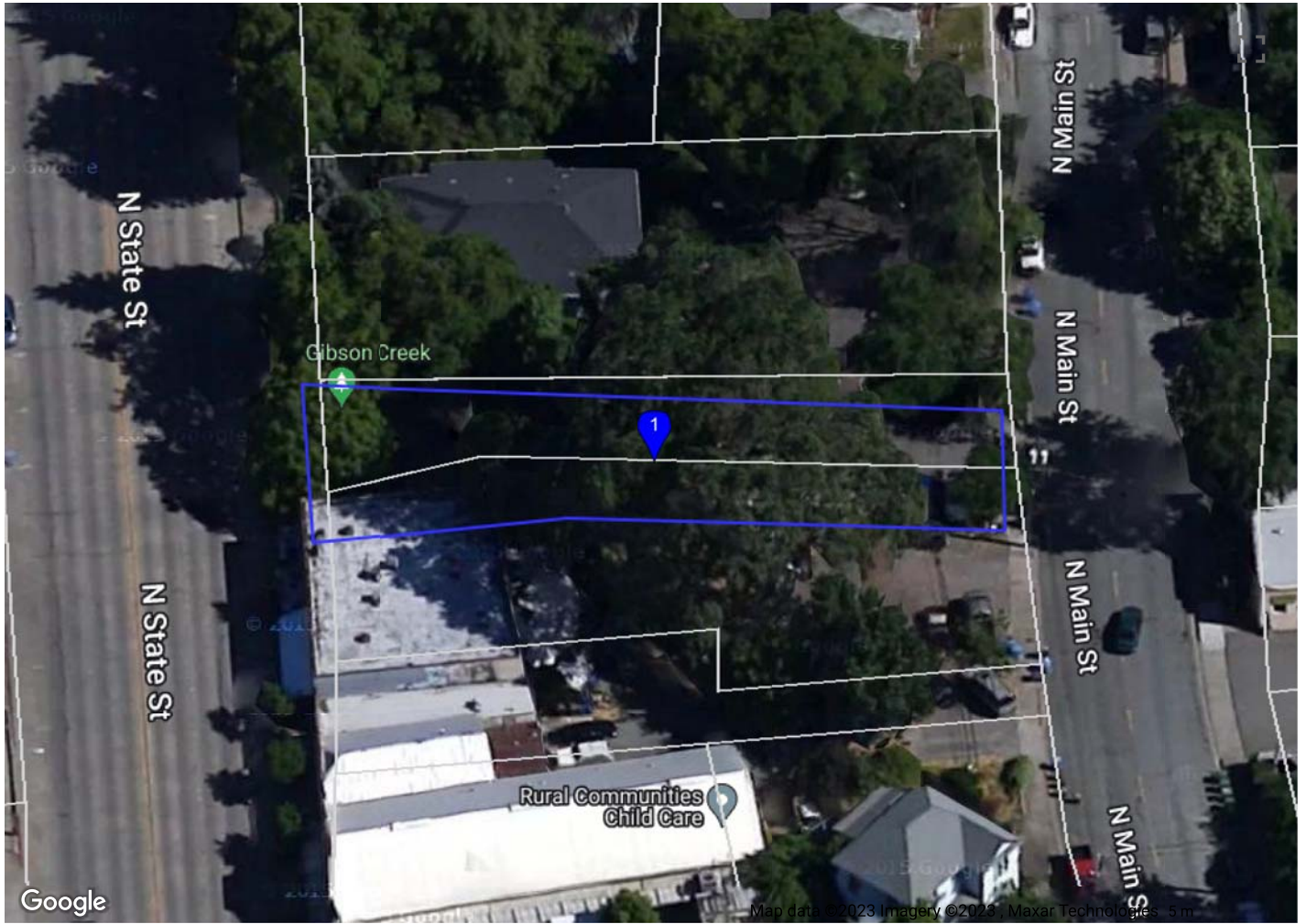
### Business Information

 Legally named **Vibe Ukiah LLC**  
 Registered as Limited Liability Company  
 Aaron P Johnson, Gordon Anderson, James Walker, Joseph Starr, Mark Waldron, Michal Holub  
 Mike@arcadewellness.Org  
 916-739-6337

### Location

 441 State St N  
 Ukiah, CA 95482  
 Mendocino County





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Map data ©2023 Imagery ©2023 Maxar Technologies, Sme



1 Property Address: 441 N STATE ST UKIAH CA 95482-2400

### Ownership

County: **MENDOCINO, CA**  
 Assessor: **KATRINA BARTOLOMIE, ASSESSOR**  
 Parcel # (APN): **002-186-19-00**  
 Parcel Status: **ACTIVE**  
 Owner Name: **VIBE INVESTMENTS LLC**  
 Mailing Address: **8112 ALPINE AVE SACRAMENTO CA 95826**  
 Legal Description:

### Assessment

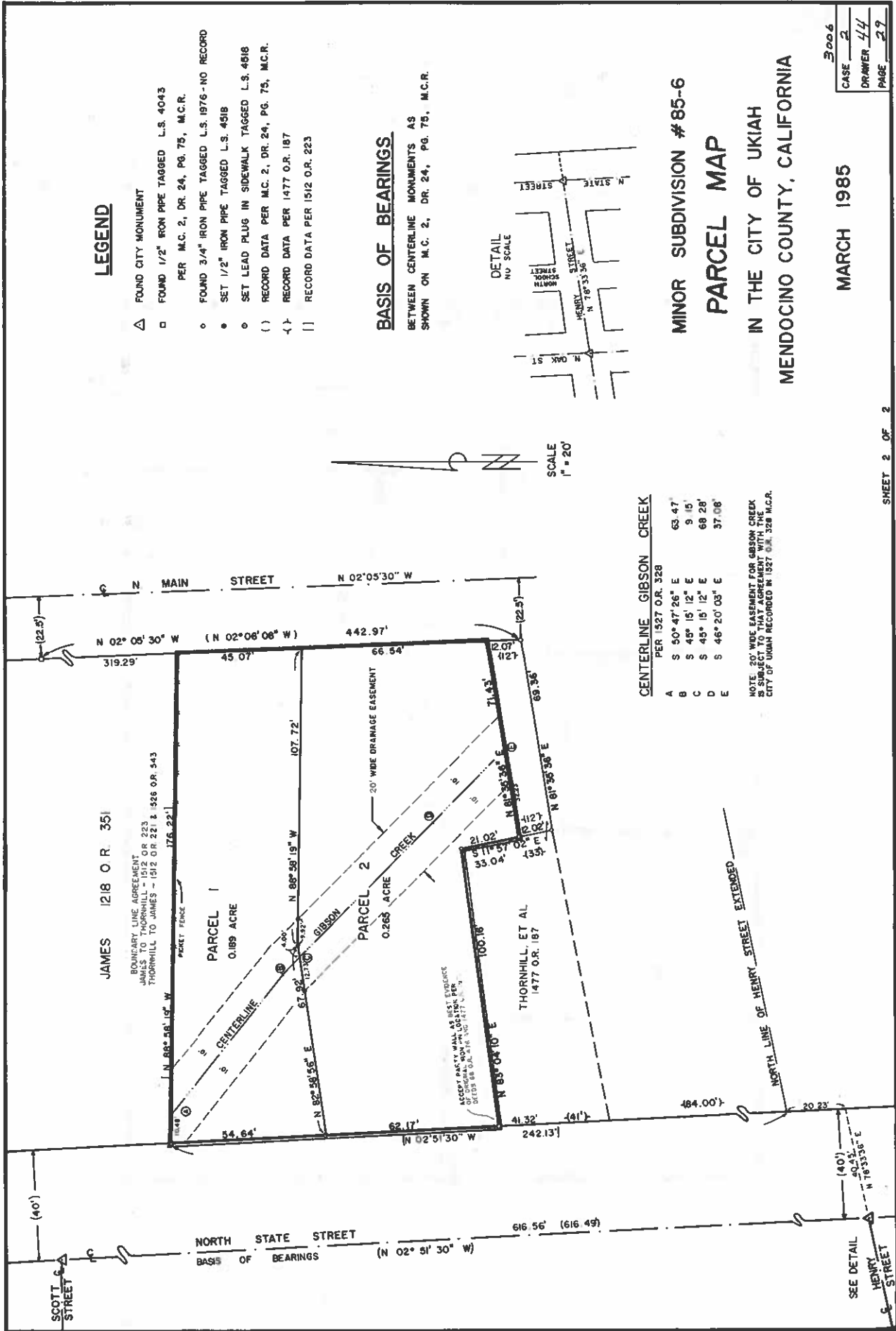
Total Value: <b>\$402,074</b>	Use Code: <b>13</b>	Use Type: <b>OFFICE</b>
Land Value: <b>\$160,829</b>	Tax Rate Area: <b>003-014</b>	County Zoning Code:
Impr Value: <b>\$241,245</b>	Year Assd: <b>2022</b>	Census Tract: <b>116.00/1</b>
Other Value:	Property Tax:	Price/SqFt:
% Improved: <b>60%</b>	Delinquent Yr:	
Exempt Amt:	HO Exempt: <b>N</b>	

### Sale History

	Sale 1	Sale 2	Sale 3	Transfer
Document Date:	<b>05/03/2021</b>	<b>08/16/2017</b>	<b>06/23/2017</b>	<b>05/03/2021</b>
Document Number:	<b>06859</b>	<b>10806</b>	<b>08167</b>	<b>06859</b>
Document Type:	<b>GRANT DEED</b>	<b>GRANT DEED</b>		
Transfer Amount:		<b>\$375,000</b>		
Seller (Grantor):				

### Property Characteristics

Bedrooms:	Fireplace:	Units:
Baths (Full):	A/C:	Stories:
Baths (Half):	Heating:	Quality:
Total Rooms:	Pool:	Building Class:
Bldg/Liv Area:	Park Type:	Condition:
Lot Acres: <b>0.190</b>	Spaces:	Site Influence:
Lot SqFt: <b>8,276</b>	Garage SqFt:	Timber Preserve:
Year Built:		Ag Preserve:
Effective Year:		





Cedric Crook  
Chief of Police

**To:** Michelle Irace and Jesse Davis  
**CC:** Chief Crook  
**From:** Lt. Rick Pintane  
**Subject:** Vibe – 441 N State St  
**Project#:** 23-8376 Renewal  
**Date:** 05/08/2023

In response to your email, per 5704 and 9174.2 the responses are listed below under each section in bold;

1. Whether the cannabis-related business operated pursuant to the use permit has generated an excessive number of calls for police service compared to similarly situated businesses of the same size as the cannabis-related business.

**No.**

2. Whether there have been excessive secondary criminal or public nuisance impacts in the surrounding area or neighborhood, including, but not limited to, disturbances of the peace, illegal drug activity, cannabis use in public, harassment of passersby, littering, loitering, illegal parking, loud noises, or lewd conduct. **No.**

3. Whether the cannabis-related business operating pursuant to the use permit has a history of inadequate safeguards or procedures that show it is likely that it will not comply with the operating requirements and standards in this chapter. **The Police Department has not been made aware of any inadequate safeguards or procedures that would affect compliance.**

4. Whether the cannabis-related business has failed to pay fees, penalties, or taxes required by the conditions of approval of the use permit or by this code or State law or has failed to comply with any requirements for the production of records or other reporting requirements of this code. **The Police Department is not aware of any.**

5. Whether the operator of the cannabis-related business or one or more of its officers, employees, partners, managers or members with management responsibilities ("managers") has been convicted of a felony, or has engaged in misconduct that is substantially related to the qualifications, functions or duties of an operator of a cannabis-related business. A "conviction" within the meaning of this chapter means a plea or verdict of guilty, or a conviction following a plea of nolo contendere. Notwithstanding the above, an application shall not be denied solely on the basis that the applicant or any Manager has been convicted of a felony, if the person convicted has obtained a certificate of rehabilitation (expungement of felony record) under California law or under a similar Federal statute or State law where the expungement was granted.

**The police department has not been notified of the applicant, his or her agent or employees, or any person who is exercising managerial authority on behalf of the applicant of being convicted of a felony, or of a misdemeanor involving moral turpitude, or has engaged in misconduct related to the qualifications, functions or duties of a permittee.**



Cedric Crook  
Chief of Police

7. Whether the operator or managers of the cannabis-related business have previously or are currently engaged in unlawful, fraudulent, unfair, or deceptive business acts or practices.  
**The police department has not been notified of persons related to the business engaging in unlawful, fraudulent, unfair, or deceptive business acts or practices.**

8. That the applicant has not engaged in unlawful, fraudulent, unfair, or deceptive business acts or practices.  
**The police department has not been notified of the applicant engaging in unlawful, fraudulent, unfair, or deceptive business acts or practices.**

A handwritten signature in black ink, appearing to read "Rick Pintane", written over a horizontal line.

Rick Pintane  
Lieutenant  
Ukiah Police Department



**DATE:** June 1, 2023  
**TO:** Zoning Administrator  
**FROM:** Jesse Davis, Chief Planning Manager  
**SUBJECT:** Request to consider a Minor Site Development Permit (MiSDP) to construct a 39' fire training tower designed by Fire Training Structures; LLC purchased with funds from the City of Ukiah's PG&E settlement. The structure will be used by Ukiah Valley Fire Authority (UVFA) and regional entities to provide training for roof operations, interior firefighting, confined space rescues, search and rescue, door breaching/forcible entry, as well as high-angle descent and rescue. The project site is within the Public Facilities (PF) zoning district at 300 Seminary Avenue; Assessor Parcel Number (APN 002-255-03); File #23-8331.

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**SUMMARY**

**OWNER/APPLICANT:** City of Ukiah/Ukiah Valley Fire Authority (UVFA)  
**AGENT:** Matthew Keizer, CBO, MCP, CFM  
**LOCATION:** 300 Seminary Avenue; APN (002-255-03)  
**TOTAL ACREAGE:** ± 6.64 acres  
**GENERAL PLAN:** Public (P)  
**ZONING DISTRICT:** Public Facilities (PF)  
**AIRPORT COMPATIBILITY:** Zone 6  
**ENVIRONMENTAL DETERMINATION:** Categorical Exemption, pursuant to CEQA Guidelines Article 19, Class 11, Section 15311, Accessory Structures  
**RECOMMENDATION:** Conditional Approval, based on Findings and subject to Conditions of Approval (**Attachments 1 and 2**)

**PROJECT SUMMARY**

A Minor Site Development Permit (MiSDP) application was received on April 14, 2023 to install a 39' fire training tower designed by Fire Training Structures, LLC. The proposal requests construction of a training tower that would be used by the Ukiah Fire Authority (UVFA), as well as regional fire prevention entities. The proposed tower would be located on the southwest portion of the Civic Center property directly south of a similar training tower that was approved in 1997 (Site Development Permit No. 97-01). The existing tower will remain and is intended to supplement the proposed training structure.

This proposed project location (**Attachment 3**) is paved and presently features containers used for the storage of City records and miscellaneous materials. The site is secured and obscured on three sides by a 6' fence features brown view-obscuring slats. As mentioned, the project site features an existing UVFA training tower, as well as other City training facilities and storage, including UVFA carport structures to protect trailers and similar fire protection equipment (Site Development Permit No. 04-21). Public access to the proposed training tower and area will remain restricted. The existing containers are to be relocated to

separate City parcels for long-term storage. Additionally, the project includes the planting of street trees and landscaping along South Dora Street, coordinated by the City's Community Services Department.

## **BACKGROUND & DISCUSSION**

Per the Ukiah City Council Meeting on May 4, 2022

*In 2017, the County of Mendocino was impacted by a devastating fire that was determined to be caused by PG&E equipment. Through a settlement that included many other counties, Mendocino County received \$22,000,000.00 in one-time funds. The County of Mendocino Board of Supervisors debated how to spend the funds, with an emphasis on supporting those affected by the fire.*

*The Board ultimately set aside \$1,000,000 of the settlement funds for the purchase of two Fire Training Towers, to be owned and maintained by two agencies within the county. The purpose of the Fire Training Towers was to support local agencies by filling a training void that has existed within the county for many years. The Ukiah Valley Fire Authority is integral in the training of many agencies throughout the county due to our size, cadre of instructors, and geographic location. With this fact in mind, it was determined that one of the facilities would be placed in Ukiah, with the Ukiah Valley Fire Authority taking ownership of the tower and maintaining it while providing training partner agencies.*

*The number of structure fires in the United States has been steadily declining for many years and while that is a good statistic for the public, it has led to a lack of experience in firefighters nationwide. This leads to inefficiencies, diminished safety due to the lack of training and experience, and an overall lack of professionalism. This has led many fire departments to purchase Fire Training Facilities that allow for live fire training in an effort to fill the chasm. In addition to this, the Insurance Services Office (ISO) bases part of their rating on whether or not an agency has a tower that meets specific requirements for things such as height and a burn room.*

*The UVFA has been searching for ways to be able to purchase a Fire Training Tower that allows for the use of live fire for many years, but due to funding constraints, have been unsuccessful. This innovative opportunity arose and staff seized the opportunity to collaborate with the County, as well as our partner fire agencies, to advance the fire service in all of Mendocino County. This proposed tower is NFPA and ISO compliant and will allow tests across all the job performance requirements that firefighters are required to have.*

On September 7, 2022, the Ukiah City Council re-approved the purchase of this training tower for an increased amount. The cost increase was due to supply chain issues related to the COVID-19 pandemic.

## **PROJECT SITE & LOCATION**

The project site is located at 300 Seminary Avenue, which is home to the Ukiah Civic Center. The ±6.64-acre site is well-landscaped, and developed with multiple public improvements, structures and uses, including parking lots, training areas, telecommunication facilities, as well as police and fire services. The proposed site features a similar fire training tower, as well as other fire related training infrastructure. In general, the associated municipal facilities feature ample parking, instructional areas, and training infrastructure, and regularly host events, such as City Council meetings or regional public safety trainings.

There are no water courses, wildlife, wildlife-habitat, floodway or flood plain on-site, nor are there any identified environmentally sensitive habitat areas within or near the project site. Per the California Department of Conservation's Farmland Mapping and Monitoring Program (FMMP), the site and its surroundings are described as 'Urban and Built-Up'.

It was further determined that the project site features no combining districts or other zoning restrictions and is not subject to any mapped flood or seismic hazards. While within Zone 6 (Traffic Pattern Zone), the associated risk is considered minimal as concern is generally associated with object heights greater than 100 feet above runway elevation. The project is within the height limitations for the PF zoning district, as it is under 40'. Finally, while the Ukiah Civic Center is on the City of Ukiah's Historic and Architectural

Inventory Table, the proposed tower is not attached or connected to those facilities. Rather the proposed tower is within a disconnected training area that includes similar improvements and infrastructure.

### SURROUNDING LAND USE & ZONING

A summary of zoning designations and uses is provided below in **Table 1**. In general, the area features an assortment of commercial, public and residential uses. A General Plan Land Use Map is depicted in **Figure 1**, a Zoning Map in **Figure 2**, an aerial map of the site is included in **Figure 3**.

TABLE 1, SURROUNDING ZONING AND LAND USES		
	ZONING:	USE:
NORTH	Medium-Density Residential (R-2); Community Commercial (C-1); Public Facilities (PF) – McGarvey Park	Residential, Commercial, Recreation
EAST	Low-Density Residential (R-1); Neighborhood Comm. (C-N)	Residential, Commercial
SOUTH	Low-Density Residential (R-1); Neighborhood Comm. (C-N)	Residential, Commercial
WEST	Medium-Density Residential (R-2); Community Commercial (C-1); Public Facilities (PF)	Residential, Civic, Mixed-Use

Figure 1: General Plan Land Use



Figure 2: Zoning Designation



Figure 3: Aerial View



**PROJECT DESIGN**

The proposed tower is designed to be a simple and affordable multi-story training structure for local fire departments. The structure is designed, fabricated and built from three (3) 8' x 40' ISO steel shipping containers and one (1) 8' x 20' ISO steel shipping container with two (2) fully insulated and enclosed 20' burn rooms. Interior and exterior training space may total up to 1,840 sq. ft. and is customizable. Standard features include:

- Two (2) Enclosed burn locations.
- Built-in temperature monitoring system.
- Standard Door, Window, Clean-Out and Ventilation Hatches.
- Moveable Wall Partitions or Reconfigurable Maze Panels. Either set of partitions or panels can be quickly reconfigured to alter the interior layout (i.e. create rooms, hallways, etc.)
- Wall Breach.
- Standpipe and Sprinkler System.

The bullhead system is NFPA 1402 and OSHA compliant and can be fully customized to meet live-fire, confined space and ropes training. Visualizations and plans for the proposed tower are provided in **Attachment 3**.

**AGENCY COMMENTS**

Project referrals were sent to the following responsible or trustee agencies with interest or jurisdiction over the project: Ukiah Valley Fire Authority, City of Ukiah Public Works, City of Ukiah Police Department, City of Ukiah Building Division, Community Services Department, as well as the City Manager's Office. The agencies comments and recommended Conditions of Approval are contained in **Attachment 4**.

**STAFF ANALYSIS**

**General Plan:** The General Plan land use designation of the parcel is "P" (Public). The proposed request is aligned with the intent of this designation, as the subject parcel features a municipal complex with numerous public services, including police, fire, public works, parks/recreation, utility billing, and city management. The request is further reinforced by multiple General Plan goals and policies identified in **Table 2:**

<b>TABLE 2 GENERAL PLAN GOAL, POLICY IMPLEMENTATION</b>
<b>Goal PFS-9:</b> To maintain effective, fast, and dependable fire protection and emergency medical response in Ukiah.
<b>Policy PFS – 9.3 (Interagency Coordination):</b> The City shall coordinate with Cal Fire and the Ukiah Valley Fire Authority regarding the fire protection and wildfire safety standards.
<b>Goal SAF-4:</b> To maintain adequate and effective fire protection services for Ukiah.
<b>Policy SAF 4.1 (Fire Service Rating):</b> The City shall optimize the ISO ratings of the Ukiah Valley Fire Authority to Class 1 by prioritizing agency needs and balancing cost/quality trade-offs.
<b>Policy SAF 4.3 (Fire Protection Resources):</b> The City shall foster cooperative working relationships with public fire agencies, including CAL FIRE, to optimize fire protection resources within Ukiah.

**Zoning:** The Public Facility Zoning Designation is intended to be applied to properties which are used for public purposes or specified public utilities. Public facilities and uses, such as fire training towers would be considered an 'Allowed Use' per Ukiah City Code Section 9170.1. Per UCC 9170.7(B), "...a site development permit shall be required for development projects in the Public Facilities (PF) Zoning District, pursuant to the requirements of subsection 9261B of this Chapter." No specific setbacks are established for the PF Zoning District, but it is intended that the yard setbacks shall be equal or greater than those for adjacent districts. Per UCC 9170.3(C), City Utility Facilities and Public Safety Structures feature a height limitation of forty feet (40').

**Site Development Permit Analysis:** Pursuant to UCC 9170.7(B), a Site Development Permit is required for all new construction within the public facility zoning district. Below, **Table 3** provides findings that are required before the Site Development Permit can be approved:

<b>TABLE 3: PROJECT CONSISTENCY - SITE DEVELOPMENT PERMIT FINDINGS</b>	
<b>SITE DEVELOPMENT PERMIT FINDINGS</b>	<b>STAFF ANALYSIS</b>
The proposal is consistent with the goals, objectives, and policies of the City General Plan.	The proposed project is consistent with multiple goals, objectives, and policies of the 2040 General Plan, and is consistent with the Public (P) Land Use Designation. The proposal requests a modern fire training tower that will improve interagency coordination between CALFIRE and UVFA. The project also addresses numerous goals and policies within the City's 2040 Safety Element; and
The location, size, and intensity of the proposed project will not create a hazardous or inconvenient vehicular or pedestrian traffic pattern.	The location, size, and intensity of the project will not create hazardous, or inconvenient vehicular or pedestrian traffic patterns as reviewed by Staff, since it replaces existing storage containers within an enclosed area in proximity to an existing training tower and equipment; and
The accessibility of off-street parking areas and the relation of parking areas with respect to traffic on adjacent streets will not create a hazardous or inconvenient condition to adjacent or surrounding uses.	The accessibility of off-street parking areas and the relation of parking areas with respect to traffic on adjacent streets will not create a hazardous or inconvenient condition to adjacent or surrounding land uses, as sufficient parking and queuing areas are provided for the requested use as part of the Ukiah Civic Center; and
Sufficient landscaped areas have been reserved for purposes of separating or screening the proposed structure(s) from the street and adjoining building sites and breaking up and screening large expanses of paved areas.	Sufficient landscaped areas, as conditioned, will be reserved for purposes of separating and screening the development from Dora Street. Accordingly, street trees are conditioned along Dora Street. To its south, the project site is buffered by considerable vegetation and trees. As feasible, existing and mature trees on the site will be preserved; and
The proposed development will not restrict or cut out light and air on the property, or on the property in the neighborhood; nor will it hinder the development or use of buildings in the neighborhood or impair the value thereof.	The proposed development will not restrict or cut out light and air on the property, or on property in the neighborhood as it replaces existing storage containers immediately south of an existing tower used for fire protection training and education. The proposal is screened from residential uses along Dora Street by fencing and street trees conditioned by this Site Development Permit. It is separated from residences along Jones Street by sufficient vegetation. The project site is within a municipal service complex with numerous public facilities and uses, including other training and telecommunication towers; and
The improvement of any commercial or industrial structure will not have a substantial detrimental impact on the character or value of an adjacent residential zoning district.	This finding is not particularly applicable to public facility training infrastructure, such as the tower proposed. The development of this structure will not have a detrimental impact on the character or value of an adjacent zoning district since the development is appurtenant to a municipal fire facility, and similar infrastructure already exists within proposed project site; and
The proposed development will not excessively damage or destroy	The subject property is developed within proximity to existing municipal facilities and infrastructure; There are no water courses,

<p>natural features, including trees, shrubs, creeks, and the natural grade of the site.</p>	<p>wildlife, wildlife-habitat, floodway or flood plain on-site, nor are there any identified environmentally sensitive habitat areas within or near the project site. Per the California Department of Conversation's Farmland Mapping and Monitoring Program (FMMP), the site and its surroundings are described as 'Urban and Built-Up'. To the extent feasible, on-site trees will be preserved. The proposed street trees serve to improve the property and the adjacent transportation corridor; and</p>
<p>There is sufficient variety, creativity, and articulation to the architecture and design of the structure(s) and grounds to avoid monotony and/or a box-like uninteresting external appearance.</p>	<p>This finding is not particularly applicable to public facility training infrastructure, such as the requested training tower. The proposed improvement, while box-like, serves a critical municipal function and will be well screened by existing fencing and trees, as well as proposed street-trees.</p>

**VISUAL IMPACTS:** While the visibility of the tower could be novel, the impacts are limited by the existing improvements, setbacks, and vegetation. The adverse visual effects of the tower, however, could intensify as existing trees require removal due to age, poor health, or storm damage. At present, based on the existing screening of the tower, it is the opinion of Planning Division staff that visibility would not be a significant adverse impact requiring mitigation. Staff notes the existence of a similar tower improvement, as well as the vegetative screening proposed and existing. Staff is aware, however, that the visual impacts could increase if existing trees are removed. Therefore, the Planning Division recommends a condition of approval be applied to require street trees be planted and maintained to provide adequate and ongoing screening of the tower, based on input and coordination provided by the Community Services Department.

### ENVIRONMENTAL DOCUMENTATION

The proposed project is subject to the California Environmental Quality Act (CEQA). The project qualifies for a categorical exemption pursuant to CEQA Guidelines Article 19 Class 11, Section 15311, Accessory Facilities

The project involves the construction of a training facility appurtenant to a central municipal fires station in an existing training area. The footprint of the subject structure requires minimal ground disturbance. There are no unusual circumstances that would result in a reasonable possibility of a significant effect, and the project is consistent with the applicable general plan designation and policies, including the Public Facilities zoning district and municipal regulations.

### NOTICE

Notice of the Public Hearing was provided in the following manner, in accordance with UCC §9262(C):

- Published in the Ukiah Daily Journal on May 20, 2021
- Posted on the Project Site on May 20, 2021
- Posted at the Civic Center (glass case) 72 hours prior to the public hearing
- Provided to property owners within 300 ft of the project parcels, as well as Public Agencies on May 21, 2021

### RECOMMENDATION

Staff recommends Zoning Administrator 1) conduct a public hearing; and 2) adopt the findings and conditionally approve the Minor Site Development Permit for the project.

### ATTACHMENTS

1. Draft Findings
2. Draft Conditions of Approval
3. Application Materials
4. Agency Comments

**FINDINGS FOR UVFA TRAINING TOWER  
MINOR SITE DEVELOPMENT PERMIT  
300 SEMINARY AVENUE  
(APN 002-255-03); FILE NO. 23-8331**

The Community Development Department's recommendation for conditional approval of a Minor Site Development Permit is based in part on the following findings, in accordance with Ukiah City Code:

**Minor Site Development Permit Findings**

1. The requested Minor Site Development Permit, as conditioned, is based in part on the following findings, in accordance with §9263:

**A. *The proposal is consistent with the goals, objectives, and policies of the City General Plan.***

The proposed project is consistent with multiple goals, objectives, and policies of the 2040 General Plan, and is consistent with the Public (P) Land Use Designation. The proposal requests a modern fire training tower that will improve interagency coordination between CALFIRE and UVFA. The project also addresses numerous goals and policies within the City's 2040 Safety Element; and

**B. *The location, size, and intensity of the proposed project will not create a hazardous or inconvenient vehicular or pedestrian traffic pattern.***

The location, size, and intensity of the project will not create hazardous, or inconvenient vehicular or pedestrian traffic patterns as reviewed by Staff, since it replaces existing storage containers within an enclosed area in proximity to an existing training tower and equipment; and

**C. *The accessibility of off-street parking areas and the relation of parking areas with respect to traffic on adjacent streets will not create a hazardous or inconvenient condition to adjacent or surrounding uses.***

The accessibility of off-street parking areas and the relation of parking areas with respect to traffic on adjacent streets will not create a hazardous or inconvenient condition to adjacent or surrounding land uses, as sufficient parking and queuing areas are provided for the requested use as part of the Ukiah Civic Center; and

**D. *Sufficient landscaped areas have been reserved for purposes of separating or screening the proposed structure(s) from the street and adjoining building sites, and breaking up and screening large expanses of paved areas.***

Sufficient landscaped areas, as conditioned, will be reserved for purposes of separating and screening the development from Dora Street. Accordingly, street trees are conditioned along Dora Street. To its south, the project site is buffered by considerable vegetation and trees. As feasible, existing and mature trees on the site will be preserved; and

- E. *The proposed development will not restrict or cut out light and air on the property, or on the property in the neighborhood; nor will it hinder the development or use of buildings in the neighborhood, or impair the value thereof.***

The proposed development will not restrict or cut out light and air on the property, or on property in the neighborhood as it replaces existing storage containers immediately south of an existing tower used for fire protection training and education. The proposal is screened from residential uses along Dora Street by fencing and street trees conditioned by this Site Development Permit. It is separated from residences along Jones Street by sufficient vegetation. The project site is within a municipal service complex with numerous public facilities and uses, including other training and telecommunication towers; and

- F. *The improvement of any commercial or industrial structure will not have a substantial detrimental impact on the character or value of an adjacent residential zoning district.***

This finding is not particularly applicable to public facility training infrastructure, such as the tower proposed. The development of this structure will not have a detrimental impact on the character or value of an adjacent zoning district since the development is appurtenant to a municipal fire facility, and similar infrastructure already exists within proposed project site; and

- G. *The proposed development will not excessively damage or destroy natural features, including trees, shrubs, creeks, and the natural grade of the site.***

The subject property is developed within proximity to existing municipal facilities and infrastructure; There are no water courses, wildlife, wildlife-habitat, floodway or flood plain on-site, nor are there any identified environmentally sensitive habitat areas within or near the project site. Per the California Department of Conservation's Farmland Mapping and Monitoring Program (FMMP), the site and its surroundings are described as 'Urban and Built-Up'. To the extent feasible, on-site trees will be preserved. The proposed street trees serve to improve the property and the adjacent transportation corridor; and

- H. *There is sufficient variety, creativity, and articulation to the architecture and design of the structure(s) and grounds to avoid monotony and/or a box-like uninteresting external appearance.***

This finding is not particularly applicable to public facility training infrastructure, such as the requested training tower. The proposed improvement, while box-like, serves a critical municipal function and will be well screened by existing fencing and trees, as well as proposed street-trees.

**CONDITIONS OF APPROVAL FOR UVFA TRAINING TOWER  
MINOR SITE DEVELOPMENT PERMIT  
300 SEMINARY AVENUE  
(APN 002-255-03); FILE NO. 23-8331**

The following Conditions of Approval shall be made a permanent part of the Minor Site Development Permit, shall remain in force regardless of property ownership, and shall be implemented in order for this entitlement to remain valid.

*Project Description.* A Minor Site Development Permit (MiSDP) application was received on April 14, 2023 to install a 39' fire training tower designed by Fire Training Structures, LLC. The proposed project requests construction of a training tower that would be used by the Ukiah Fire Authority (UVFA), as well as regional fire prevention entities, for training purposes. The proposed tower would be located on the southwest portion of the Civic Center property adjacent to a similar training tower that was approved in 1997 (Site Development Permit No. 97-01).

The following Conditions of Approval apply to the project.

**City of Ukiah - Special Conditions**

1. Per the Community Services Department, landscaping shall be added to the strip between the sidewalk and the fence on the west side of the property [along Dora Street]. Landscaping shall be consistent with the City's Tree Management Guidelines and Climate Initiatives and improve the aesthetics of this boulevard. The presence of power lines precludes any tree that is likely to grow over thirty feet tall. The lack of irrigation suggests the use of native plants to be planted late in the fall or early in winter and in accordance with the City Code §5425 Street Tree Planting. Consultation with the City Horticulturists or landscaping professionals to ensure appropriate establishment care is recommended.
  - a. Suggested plants include, but are not limited to:
  - b. Madrone (*Arbutus Menziesii*)
  - c. Buckeye *Aesculus californica*
  - d. Manzanita (*Arctostaphylos manzanita*)
  - e. Sticky monkey flower (*Diplacus puniceus*)
  - f. California fuchsia (*Epilobium canum* ssp. *latifolium*)

**City of Ukiah - Standard Conditions**

2. This approval is not effective until the 10-day appeal period applicable to this Major Use Permit/Site Development Permit has expired without the filing of a timely appeal. If a timely appeal is filed, the project is subject to the outcome of the appeal and shall be revised as necessary to comply with any modifications, conditions, or requirements that were imposed as part of the appeal.
3. All fees associated with the project planning permits and approvals shall be paid in full prior to occupancy.
4. As outlined in Article 20, Administrative and Procedures, of the Zoning Code this planning permit may be revoked through the City's revocation process if the approved project related to this Permit is not conducted in compliance with these stipulations and conditions of approval; or if the project is not established within two years of the effective date of this approval; or if the established use for which the permit was granted has ceased or has been suspended for 24 consecutive months.

5. All Conditions of Approval shall be printed on all sets of building permit project plans pertaining to any site preparation work or construction associated with the development of the project and ancillary site improvements approved by the Site Development Permit.
6. All use, construction and the location thereof, or occupancy, shall conform to the application and to any supporting documents submitted therewith, including any maps, sketches, or plot plans accompanying the application or submitted by applicant in support thereof.
7. Any construction shall comply with the "Standard Specifications" for such type of construction now existing or which may hereafter be promulgated by the Public Works Department - Engineering Department of the City of Ukiah; except where higher standards are imposed by law, rule, or regulation or by action of the Planning Commission such standards shall be met.
8. Building permits shall be issued within two years after the effective date of the Site Development Permit, or same shall be null and void.
9. In addition to any particular condition which might be imposed; any construction shall comply with all building, fire, electric, plumbing, occupancy, and structural laws, rules, regulations, and ordinances in effect at the time the Building Permit is approved and issued.



City of Ukiah

Community Development Department  
 Planning Division  
 300 Seminary Ave., Ukiah CA 95482  
 Email: [planning@cityofukiah.com](mailto:planning@cityofukiah.com)  
 Web: [www.cityofukiah.com](http://www.cityofukiah.com)  
 Phone: (707) 463-6268  
 Fax: (707) 463-6204

## Planning Permit Application

PROJECT NAME: <b>Ukiah Valley Fire Authority - Training Structure</b>					
PROJECT ADDRESS/CROSS STREETS: <b>South Dora Street/Holden Street</b>				AP NUMBER(S): <b>002-255-03</b>	
APPLICANT/AUTHORIZED AGENT: <b>Matthew Keizer</b>		PHONE NO: <b>707-467-5718</b>	FAX NO: <b>N/A</b>	E-MAIL ADDRESS: <b>mkeizer@cityofukiah.com</b>	
<b>300 Seminary Avenue</b>			CITY: <b>Ukiah</b>	STATE/ZIP: <b>CA, 95482</b>	
PROPERTY OWNER IF OTHER THAN APPLICANT/AGENT: <b>City of Ukiah</b>		PHONE NO: <b>-</b>	FAX NO: <b>-</b>	E-MAIL ADDRESS: <b>-</b>	
PROPERTY OWNER ADDRESS IF OTHER THAN APPLICANT <b>-</b>			CITY: <b>-</b>	STATE/ZIP: <b>-</b>	
HAS YOUR PROJECT RECEIVED A PRELIMINARY REVIEW? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO					
<input type="checkbox"/> AIRPORT LAND USE COMM. DETERMINATION REFERRAL 100.0800.611.003	\$	<input type="checkbox"/> REZONING – PLANNED DISTRICT 100.0800.611.001	\$	<input type="checkbox"/> USE PERMIT – AMENDMENT 100.0400.449.001	\$
<input type="checkbox"/> ANNEXATION 100.0800.611.001	\$	<input checked="" type="checkbox"/> SITE DEVELOPMENT PERMIT – AMENDMENT 100.0400.449.001	\$ <b>900</b>	<input type="checkbox"/> USE PERMIT – MAJOR 100.0400.449.001	\$
<input type="checkbox"/> APPEAL 100.0400.449.001	\$	<input type="checkbox"/> SITE DEVELOPMENT PERMIT – MAJOR 100.0400.449.001	\$	<input type="checkbox"/> USE PERMIT – MINOR 100.0400.449.001	\$
<input type="checkbox"/> GENERAL PLAN AMENDMENT 100.0800.611.001	\$	<input type="checkbox"/> SITE DEVELOPMENT PERMIT – MINOR 100.0400.449.001	\$	<input type="checkbox"/> VARIANCE – MAJOR 100.0400.449.001	\$
<input type="checkbox"/> MURAL PERMIT 100.0400.449.001	\$	<input type="checkbox"/> SPECIFIC/MASTER PLAN 100.0800.611.003	\$	<input type="checkbox"/> VARIANCE – MINOR 100.0400.449.001	\$
<input type="checkbox"/> PRE-DEVELOPMENT MEETING 100.0800.611.003	\$	<input type="checkbox"/> MINOR SUBDIVISION/TENTATIVE PARCEL MAP (4 OR FEWER LOTS) 100.0800.610.001	\$	<input type="checkbox"/> ZONING AMENDMENT MAP OR TEXT 100.0800.611.001	\$
<input type="checkbox"/> STAFF RESEARCH (MORE THAN 1 HOUR) 10023100.41153	\$	<input type="checkbox"/> MAJOR SUBDIVISION/TENTATIVE SUBDIVISION MAP (5 OR MORE LOTS) 100.0800.610.001	\$	<input type="checkbox"/> REZONING 100.0800.611.001	\$
<input type="checkbox"/> LOT LINE ADJUSTMENT OR MERGER 100.0800.610.001	\$	<input type="checkbox"/> OTHER	\$	<input type="checkbox"/> OTHER	\$
COUNTY CEQA FILING FEE: CHECK PAYABLE TO MENDOCINO CO.	\$ <b>50</b>	MAJOR PERMIT DEPOSIT:	\$ <b>-</b>	FILING DATE:	<b>04/14/2023</b>
COUNTY CEQA (NEG DEC) FEE: CHECK PAYABLE TO MENDOCINO CO.	\$ <b>-</b>	MINOR PERMIT FEE:	\$ <b>900</b>	TOTAL AMOUNT PAID:	\$ <b>900</b>
COUNTY CEQA (EIR) FEE: CHECK PAYABLE TO MENDOCINO CO.	\$ <b>-</b>	TOTAL FEE:	\$ <b>900</b>	RECEIPT NUMBER:	<b>TBD</b>
<b>APPLICATION NUMBER(S): 23-8331</b>					

**Recommendation:** Prior to submitting an application, discuss your project with Staff to discover what fees (sewer, water, in-lieu park fees, traffic impact fees, etc.) may be required for your project. Also, ask about street tree requirements, required sidewalk repairs, drainage issues, storm water mitigation requirements, frontage improvements, etc.

## Project Description -Attached

Please attach a written project description including summary of work (both interior and exterior for construction and operation) and/or business proposed. The purpose of the project description is to assist Staff in understanding the project. The project description will also be included in the Staff Report required to review (and ultimately approve or deny) the planning permit. Providing complete information will help expedite the project review process and in determining what additional information, if any, related to the project and required environmental review is required.

### Environmental Review and Reports

Please be aware that projects are required to comply with the California Environmental Quality Act (CEQA). Projects will be reviewed by Staff for compliance with CEQA and Staff will determine the appropriate CEQA document to prepare for the project (exemption, negative declaration, etc.). In order to make this determination, specific reports (traffic, arborist, soils, etc.) and or additional information may be required.

### Use Information

Please provide the following information related to the use of the site and building:

Description of Building & Site			
Parcel Size: 6.64 Acres	Building Size: N/A	Number of Floors: N/A	
Use of Building (check all that apply)	Description	Square Footage	Number of Units/Suites
<input type="checkbox"/> Office (business/professional)			
<input type="checkbox"/> Office (medical/dental)			
<input type="checkbox"/> Retail			
<input type="checkbox"/> Light Industrial			
<input type="checkbox"/> Residential			
<input checked="" type="checkbox"/> Other:	Fire Training Structure	±640 sq ft	4 Stories
Operating Characteristics			
Days and Hours of Operation: Various			
Number of Shifts: N/A	Days and Hours of Shifts: N/A		
Number of Employees/Shift: N/A			
Loading Facilities: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Type/Vehicle Size: N/A		
Deliveries: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Type: N/A	Number (day/week/month): N/A	Time(s) of Day: N/A
Outdoor areas associated with use? (check all that apply) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Sales area: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Square Footage:	Unloading of deliveries: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Square Footage:	Storage: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Square Footage:
Noise Generating Use? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Description: N/A		

### To Be Completed by Staff

General Plan Designation: <b>Public (P)</b>	Zoning District: <b>Public Facilities</b>	Airport Land Use Designation: <b>Zone 6</b>
City's Architectural & Historic Inventory: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Age of Building: <b>N/A</b>	Demolition Policy: <b>N/A</b>
Hillside: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Flood Designation FIRM Map: <b>N/A</b>	Flood Designation Floodway Map: <b>N/A</b>
Tree Policies		
General Plan Open Space Conservation <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES GOAL/POLICY #:	Community Forest Management Plan <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES GOAL/POLICY #:	
Landscaping and Streetscape Design Guidelines <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES GUIDELINE #:	Commercial Development Design Guidelines <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES GUIDELINE #:	
Tree Protection and Enhancement Policy <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES NOTES:	Tree Planting and Maintenance Policy <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES NOTES:	
UCC: Street Tree Policy, Purpose and Intent <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES NOTES:	Other:	
Notes		

I, Sage Sangiacomo, owner authorize Matthew Keizer to act on my behalf for this project and I have read and agree with all of the above. (Application must be signed by owner).

4-20-23

**PROPERTY OWNER SIGNATURE**

**DATE**

I, [Signature], am the  owner /  authorized agent of the property for which the development is proposed. The above information and attached documents are true and accurate to the best of my knowledge. I have read and agree with all of the above.

I hereby authorize employees of the City of Ukiah, the City's authorized agents, and persons with review or decision making authority for the project to enter upon the subject property, as necessary, to inspect the premises, post notices, and process this application.

I understand that conditions of approval may be placed on my project by the city of Ukiah and it is my responsibility to fully understand the conditions and ask questions about them before action is taken on my planning permit.

[Signature]  
 OWNER /  AUTHORIZED AGENT

4-20-23

**DATE**

**INDEMNIFICATION AGREEMENT**

As part of this application, the applicant agrees to defend, indemnify, and hold harmless the City of Ukiah, its agents, officers, council members, employees, boards, commissions or Council from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void, or annul any approval of the application or related decision, or the adoption or certification of any environmental documents or negative declaration which relates to its approval. This indemnification shall include, but is not limited to, all damages, costs, expenses, attorney fees or expert witness fees that may be awarded to the prevailing party arising out of it or in connection with the approval of the application or related decision, whether or not there is concurrent, passive, or active negligence on the part of the City, its agents, officers, council members, employees, boards, commissions of Council. If for any reason, any portion of this indemnification agreement is held to be void or unenforceable by a court of competent jurisdiction, the remainder of the agreement shall remain in full force and effect.

The City of Ukiah shall have the right to appear and defend its interests in any action through its City Attorney or outside counsel. The applicant shall not be required to reimburse the City for attorney's fees incurred by the City Attorney of the City's outside counsel if the City chooses to appear and defend itself in the litigation.

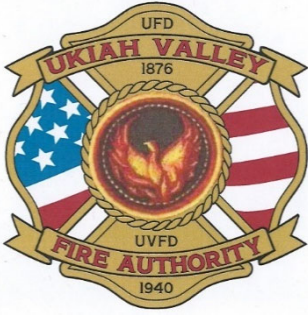
I have read and agree to all of the above.

[Signature] Sage Sangiacomo  
 PROPERTY OWNER /  AUTHORIZED AGENT  
(PLEASE PRINT NAME)

[Signature]  
 PROPERTY OWNER /  AUTHORIZED AGENT  
(SIGNATURE)

4-20-23

**DATE**



# UKIAH VALLEY FIRE AUTHORITY

300 Seminary Ave

UKIAH, CA 95482-6709

Phone: (707)467-5786 ♦ Inspections (707) 463-6739 ♦ Email:  
fireprevention@cityofukiah.com

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The Ukiah Valley Fire Authority in coordination with the City of Ukiah is proposing the installation of a 4-story fire training structure. The structure stands 39 feet in height, and at the base is 16 feet wide by 40 feet long. The structure was purchased from Fire Training Structures LLC using grant monies from the Mendocino County PG&E settlement and is fully compliant with NFPA 1402 *Standards on Facilities for Fire Training and Associated Props*. The training facility comes with a full complement of training situations, including, but not limited to; roof operations, interior firefighting operations, confined space rescues, search and rescue operations, door breaching/forcible entry, high-angle descent and rescue, and many other training activities. Many of the training items above are required not only for Ukiah but also for other fire agencies across the county. In addition to other required training our Insurance Services Office (ISO) rating requires us to have a minimum of 18 hours per year, per firefighter of fire training at a tower of this type. This structure will allow us to not only meet the minimum ISO required amount of training but will give us and our community the ability to exceed it.

The proposed location is strategic as this new training facility will complement the existing training tower, along with classrooms, equipment and supplies, existing fire apparatus bays, restrooms, and other necessary facilities for training. This training campus will not only be used for Ukiah personnel but also for Cal Fire, and other local jurisdictions in the area thus improving the overall protection of our community. The proposed location of the new training tower will roughly be in the same location as the current roof training prop. The new tower will be set roughly 16 feet off Dora Street and in the middle of the existing parcel. To further beautify the training site, we will be planting a new row of street trees along Dora Avenue. This training tower is another example of the commitment Ukiah has to the community and our commitment to continue to unify the county in Fire Protection Services.

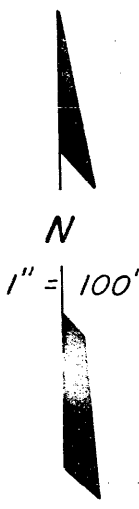
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Matt Keizer  
Fire Code Official  
Ukiah Valley Fire Authority  
[mkeizer@cityofukiah.com](mailto:mkeizer@cityofukiah.com)

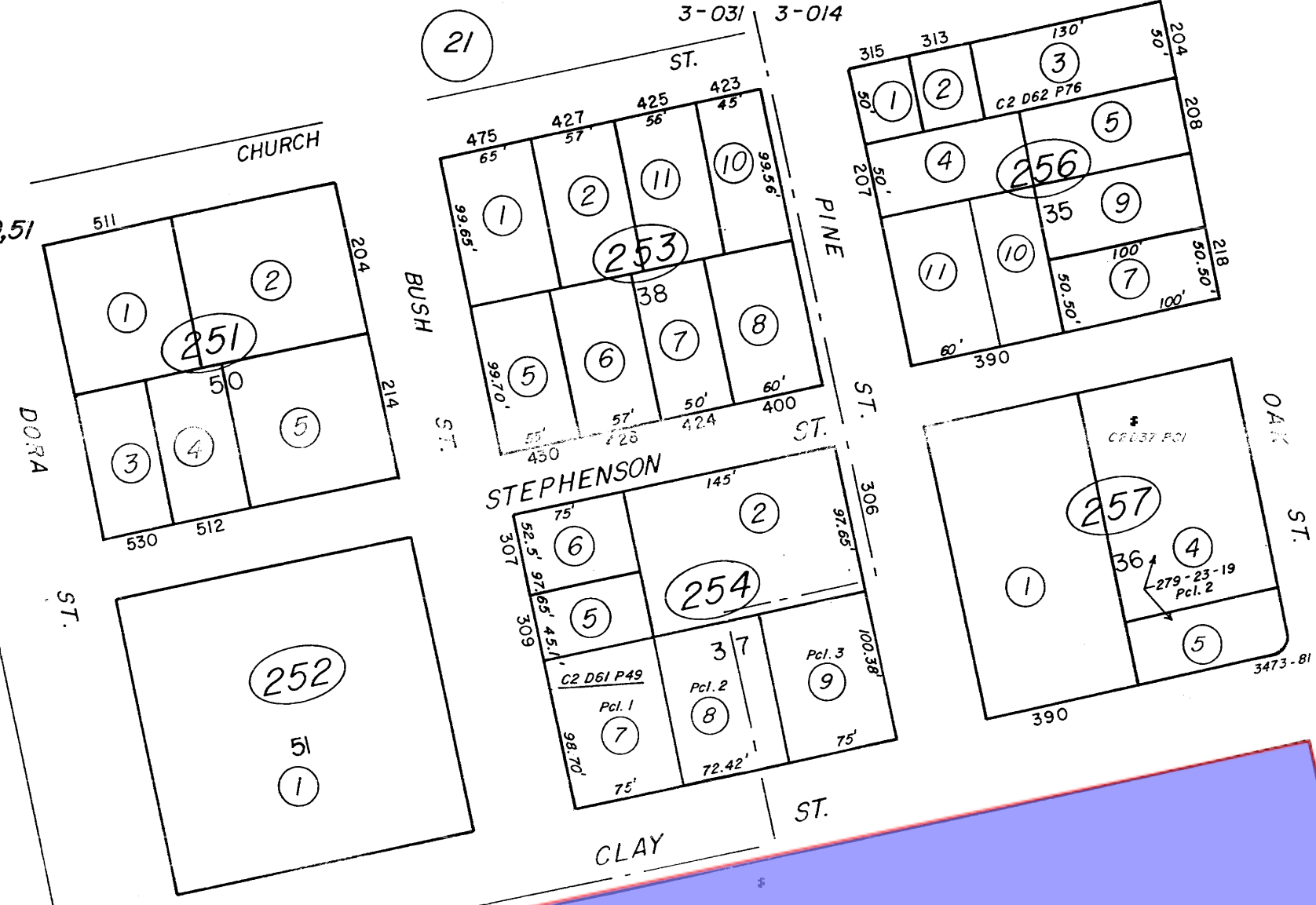
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# UKIAH CITY

Bks. 35, 36, 37, 38, 50, 51



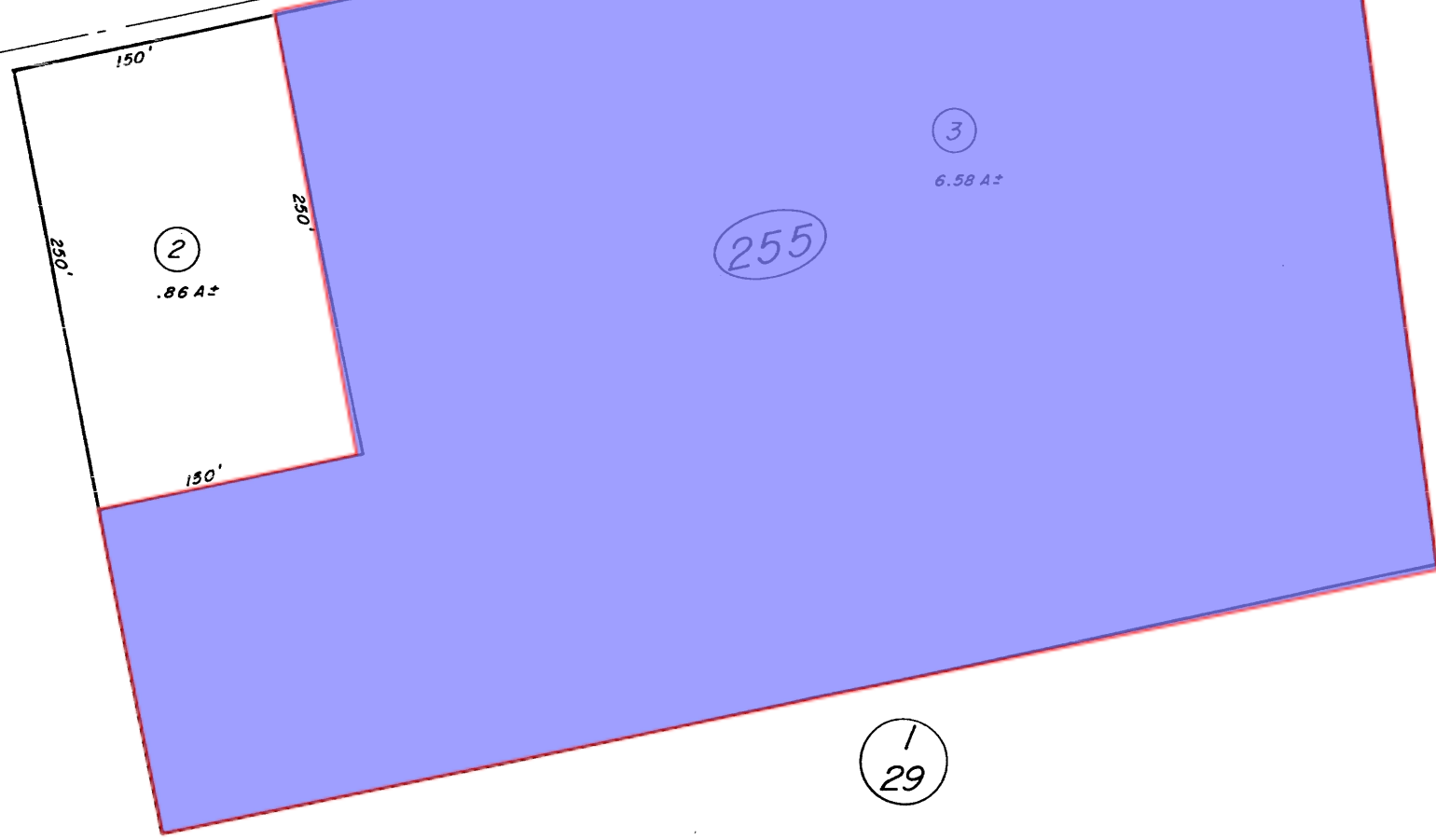
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3-031  
3-014

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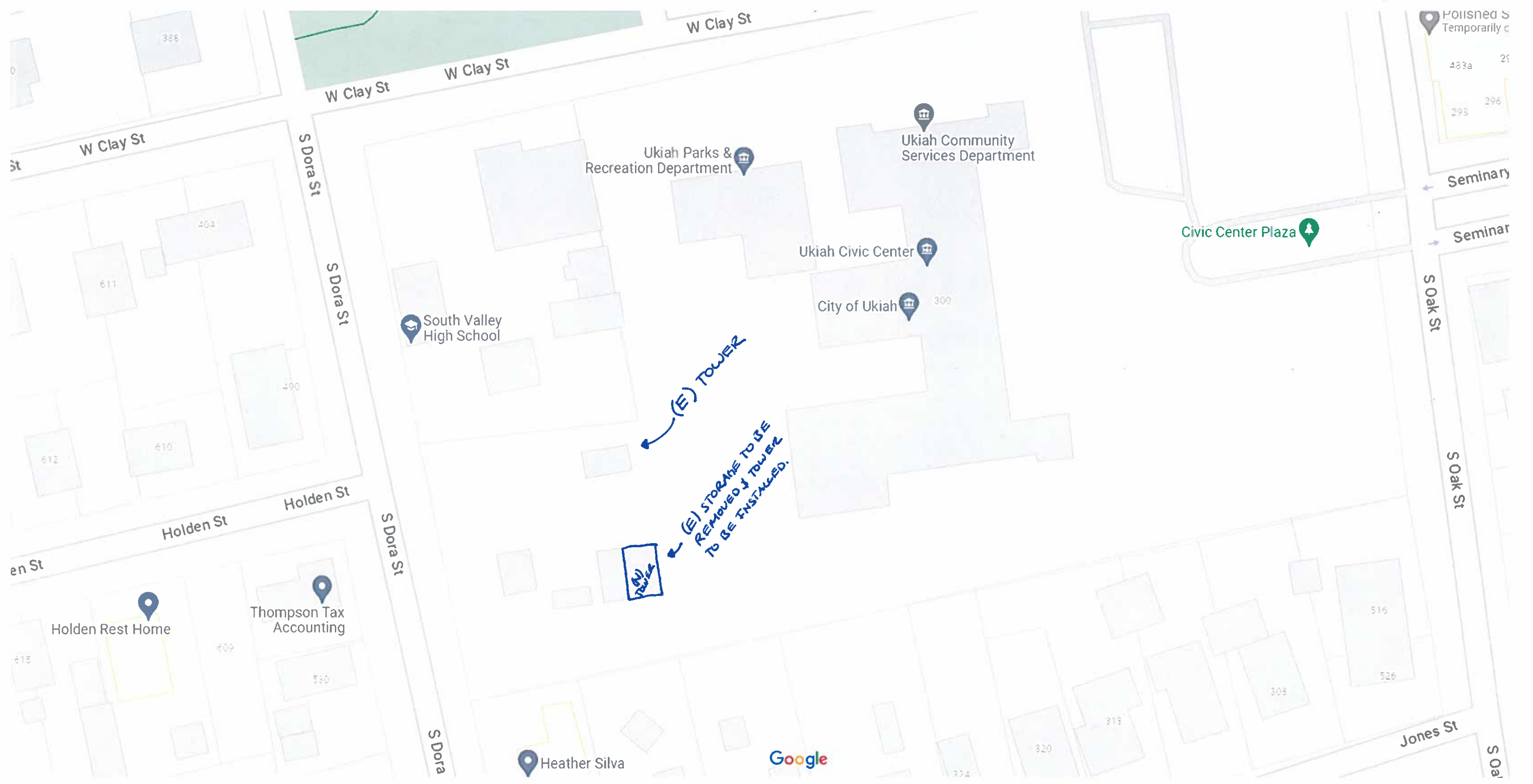


1  
27

1  
29

NOTE: This map was prepared for assessment purposes only. No liability is assumed for the data delineated hereon.

Assessor's Map  
County of Mendocino, Calif.  
March, 1948





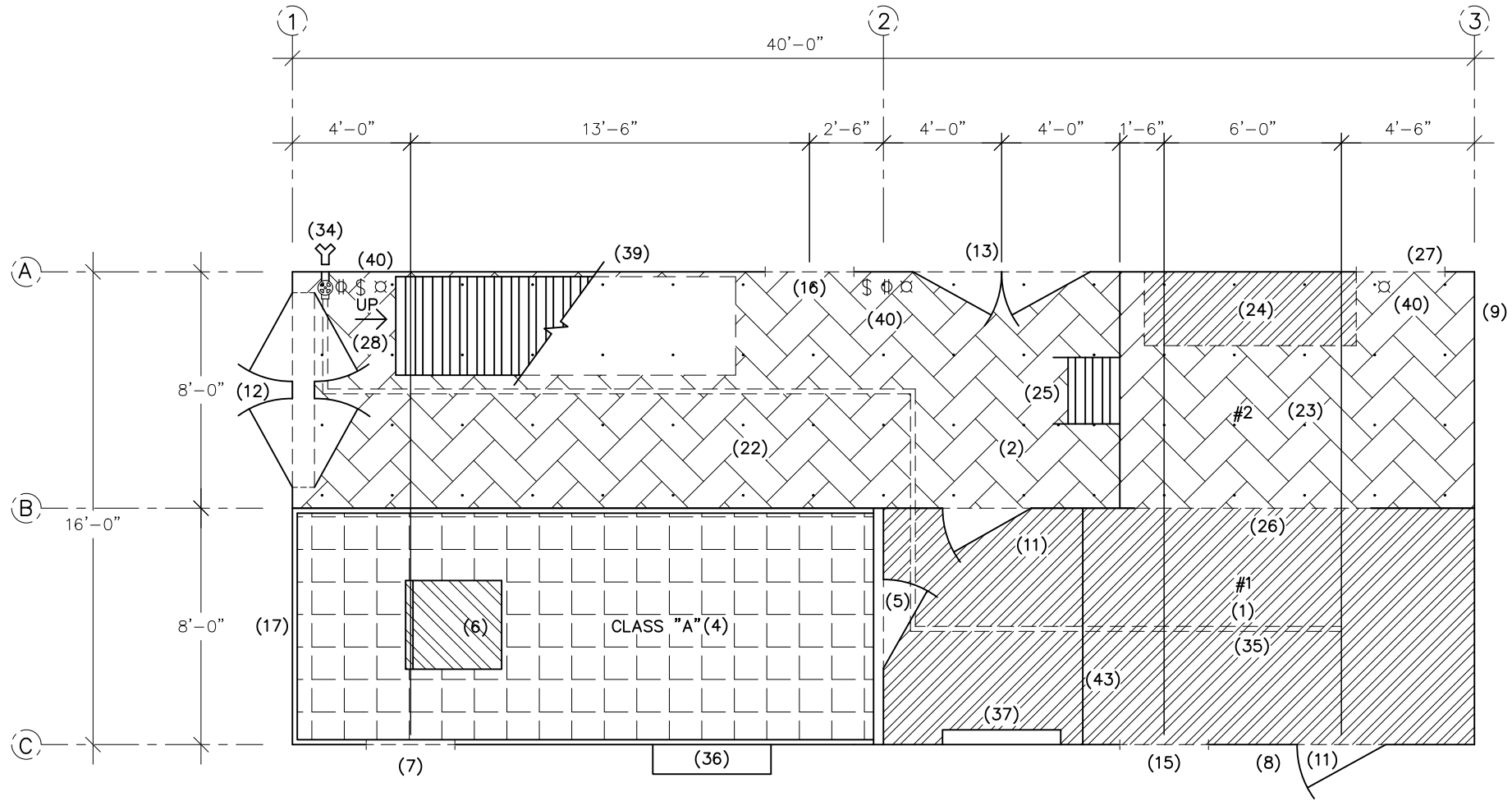


REMOVE RETAINING ZY12 WALL & DIRT  
TO MATCH ADJACENT GRADE.

NOTE: SEA CONTAINERS WILL BE  
REMOVED BY OTHERS.

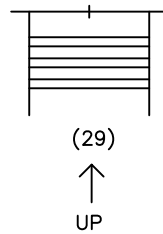
PLAN NOTES:

1. 40FT CONTAINER WITH STEEL FLOOR. EXTERIOR PAINT COLOR TO BE DETERMINED.
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3. 20FT CONTAINER WITH WOOD FLOOR. EXTERIOR PAINT COLOR TO BE DETERMINED.
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9. LOCATION OF CLEAN-OUT WINCH FOR SECOND STORY BURN ROOM
10. STANDARD PERSONNEL DOOR
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14. 3FT X 3FT WINDOW.
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36. REBAR CUTTING PROP.
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1ST FLOOR PLAN

SYMBOL KEY		HATCH KEY	
	• FDC CONNECTION		• WOOD FLOOR
	• STANDPIPE VALVE		• STEEL FLOOR
	• GFCI RECEPTACLE		• BRICK OVER STEEL
	• LIGHT SWITCH		• BAR GRATING
	• 100W LIGHT		• CONTAINER ROOF
	• 150W LED EXTERIOR FLOOD LIGHT		



REVISION

NO.	DESCRIPTION

UKIAH, CA  
LIVE-FIRE TRAINING FACILITY

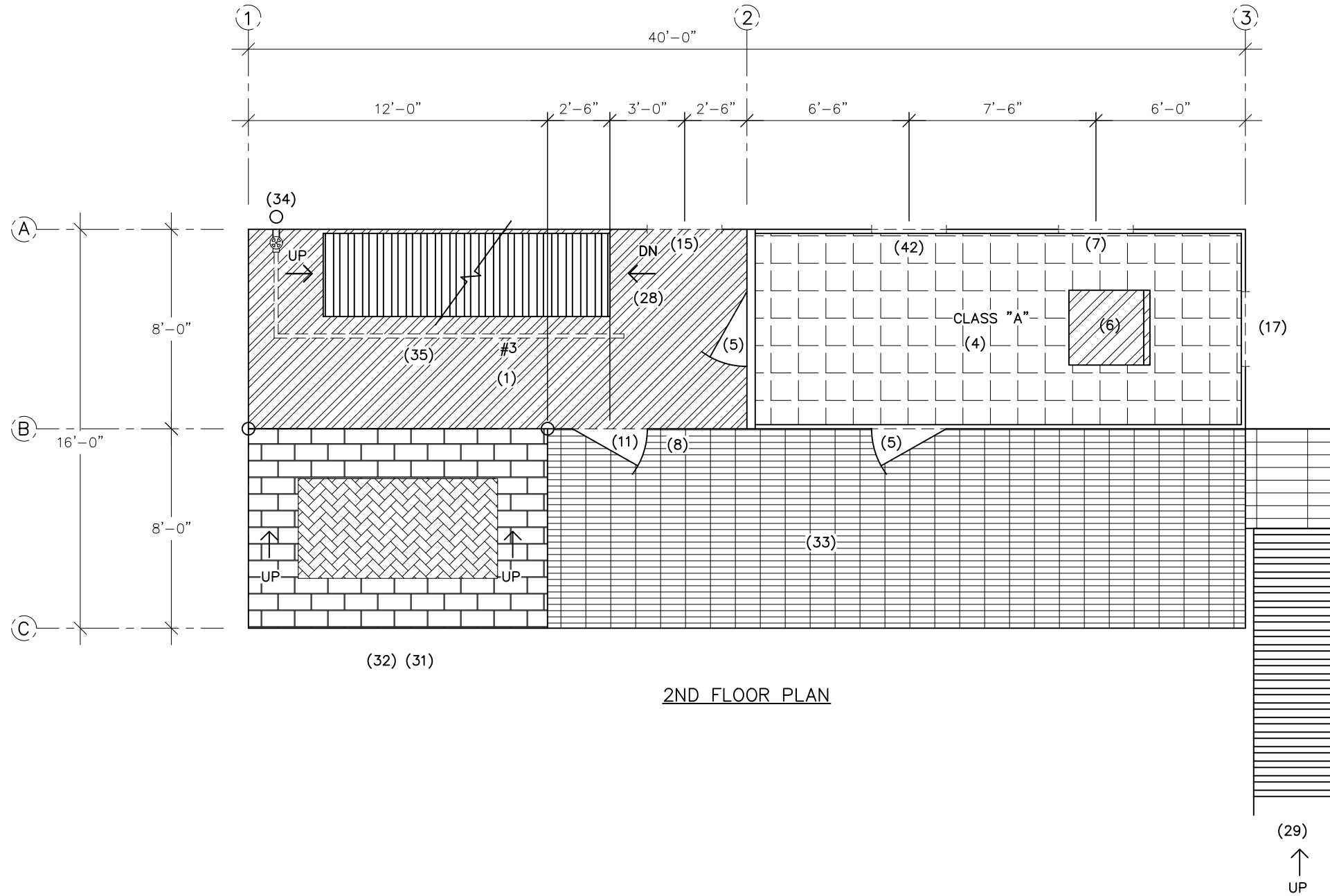
JOB NO.	UKIAH, CA
DRAWN	JED
ENGINEER	PTB
DATE	9-22-2022

SCALE	NTS
PLAN	

SHEET	FAB-1
	Page 49 of 65

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2ND FLOOR PLAN

SYMBOL KEY		HATCH KEY	
	• FDC CONNECTION		• WOOD FLOOR
	• STANDPIPE VALVE		• STEEL FLOOR
	• GFCI RECEPTACLE		• BRICK OVER STEEL
	• LIGHT SWITCH		• BAR GRATING
	• 100W LIGHT		• CONTAINER ROOF
	• 150W LED EXTERIOR FLOOD LIGHT		



REVISION

NO.	DESCRIPTION

UKIAH, CA  
LIVE-FIRE TRAINING FACILITY

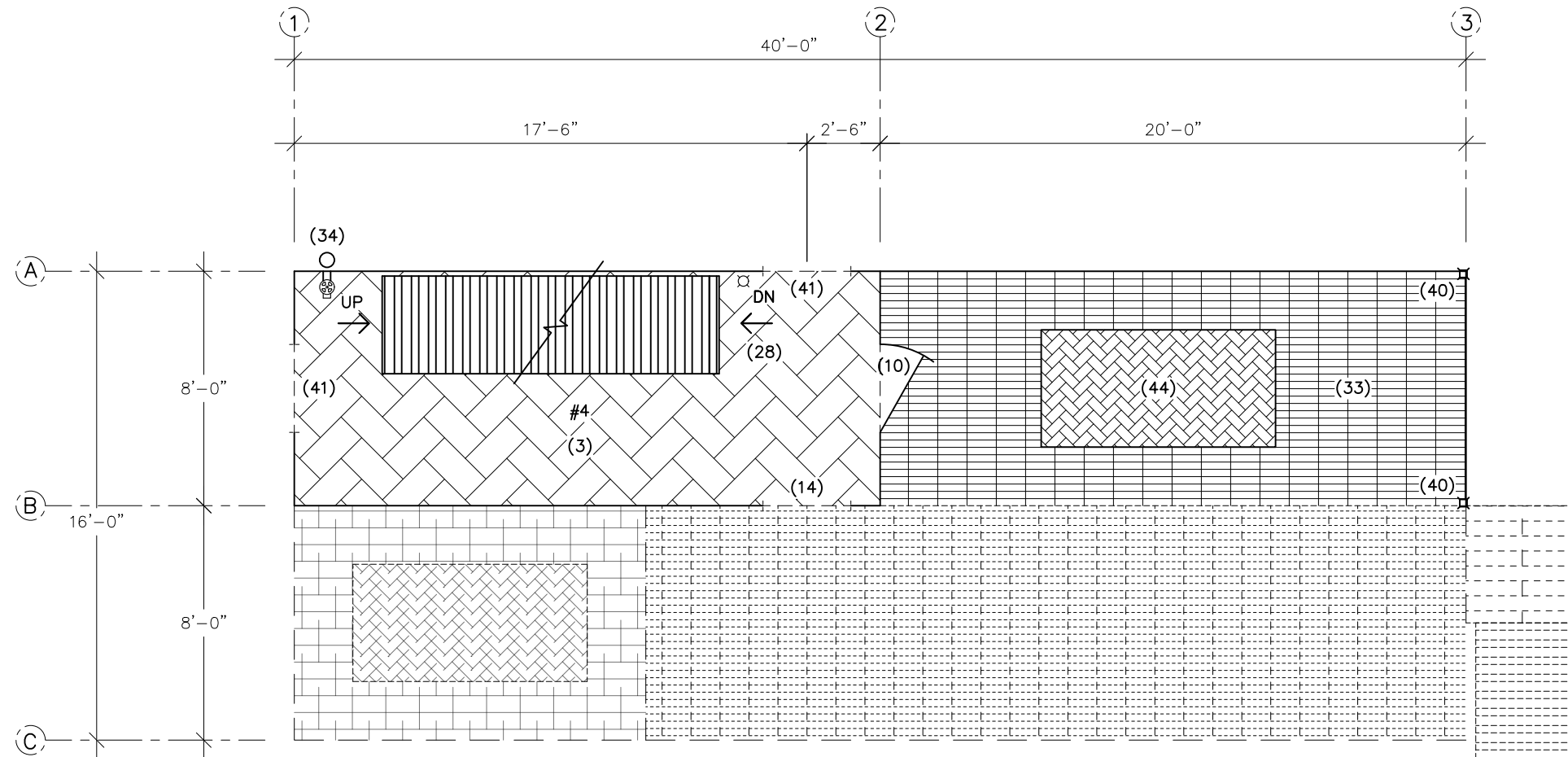
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DRAWN	JED
ENGINEER	PTB
DATE	9-22-2022

SCALE	NTS
PLAN	

SHEET	FAB-2
	Page 50 of 65

PLAN NOTES:

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3RD FLOOR PLAN

SYMBOL KEY		HATCH KEY	
	• FDC CONNECTION		• WOOD FLOOR
	• STANDPIPE VALVE		• STEEL FLOOR
	• GFCI RECEPTACLE		• BRICK OVER STEEL
	• LIGHT SWITCH		• BAR GRATING
	• 100W LIGHT		• CONTAINER ROOF
	• 150W LED EXTERIOR FLOOD LIGHT		

**FIRE TRAINING STRUCTURES, L.L.C.**  
 1005 NORTH 50TH STREET  
 PHOENIX, AZ 85008  
 T: (602) 268-6156  
 WWW.FIRETRAININGSTRUCTURES.COM

REVISION

UKIAH, CA  
 LIVE-FIRE TRAINING FACILITY

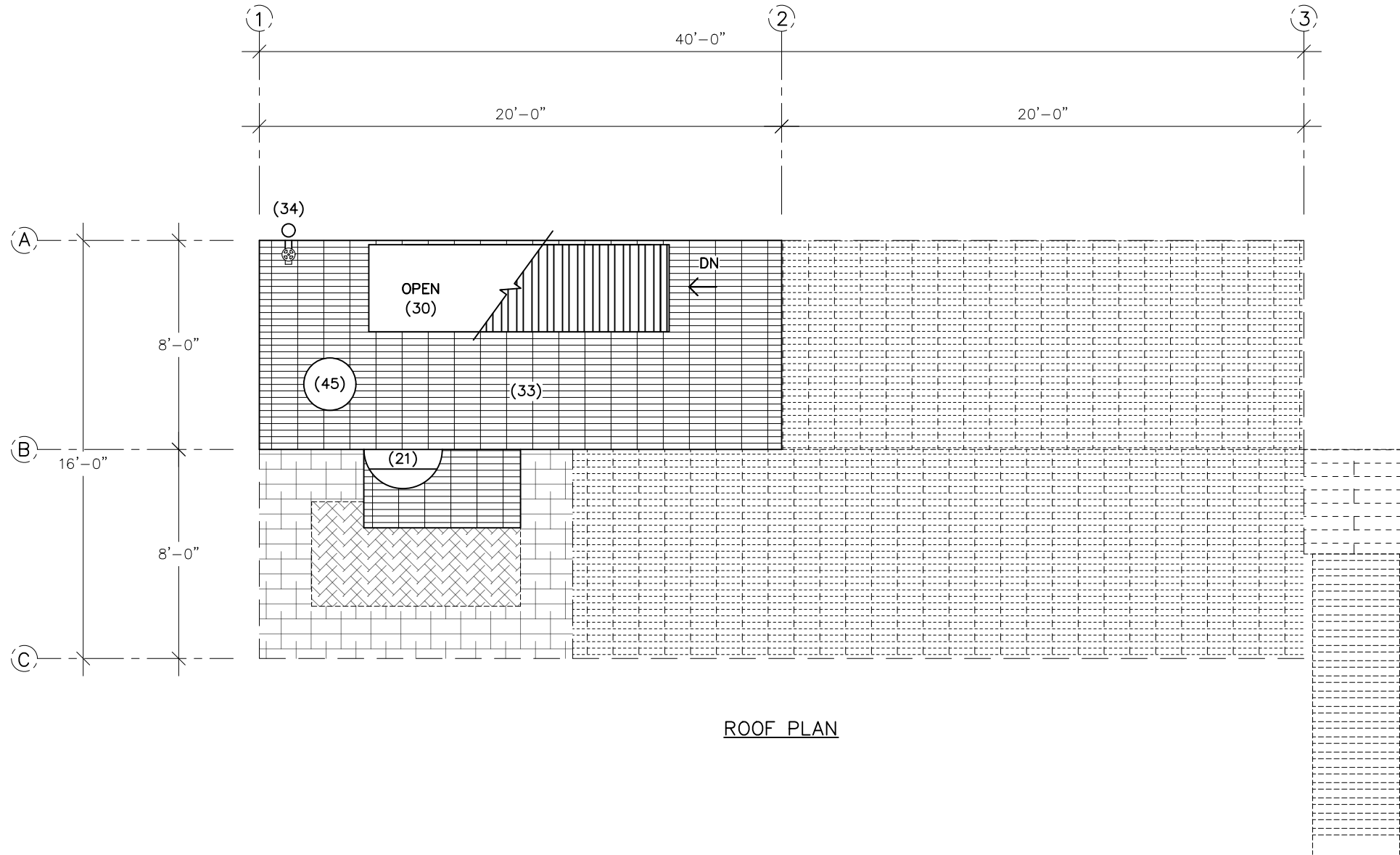
JOB NO.	UKIAH, CA
DRAWN	JED
ENGINEER	PTB
DATE	9-22-2022

SCALE	NTS
<b>PLAN</b>	

SHEET  
**FAB-3**  
 Page 51 of 65

PLAN NOTES:

1. 40FT CONTAINER WITH STEEL FLOOR. EXTERIOR PAINT COLOR TO BE DETERMINED.
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35. 1/2" DIAMETER SPRINKLER PIPE WITH TWO SPRINKLER HEADS AND BALL VALE AT EACH BURN ROOM. SLOPE FOR DRAINAGE.
36. REBAR CUTTING PROP.
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ROOF PLAN

SYMBOL KEY		HATCH KEY	
	• FDC CONNECTION		• WOOD FLOOR
	• STANDPIPE VALVE		• STEEL FLOOR
	• GFCI RECEPTACLE		• BRICK OVER STEEL
	• LIGHT SWITCH		• BAR GRATING
	• 100W LIGHT		• CONTAINER ROOF
	• 150W LED EXTERIOR FLOOD LIGHT		



REVISION

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UKIAH, CA  
LIVE-FIRE TRAINING FACILITY

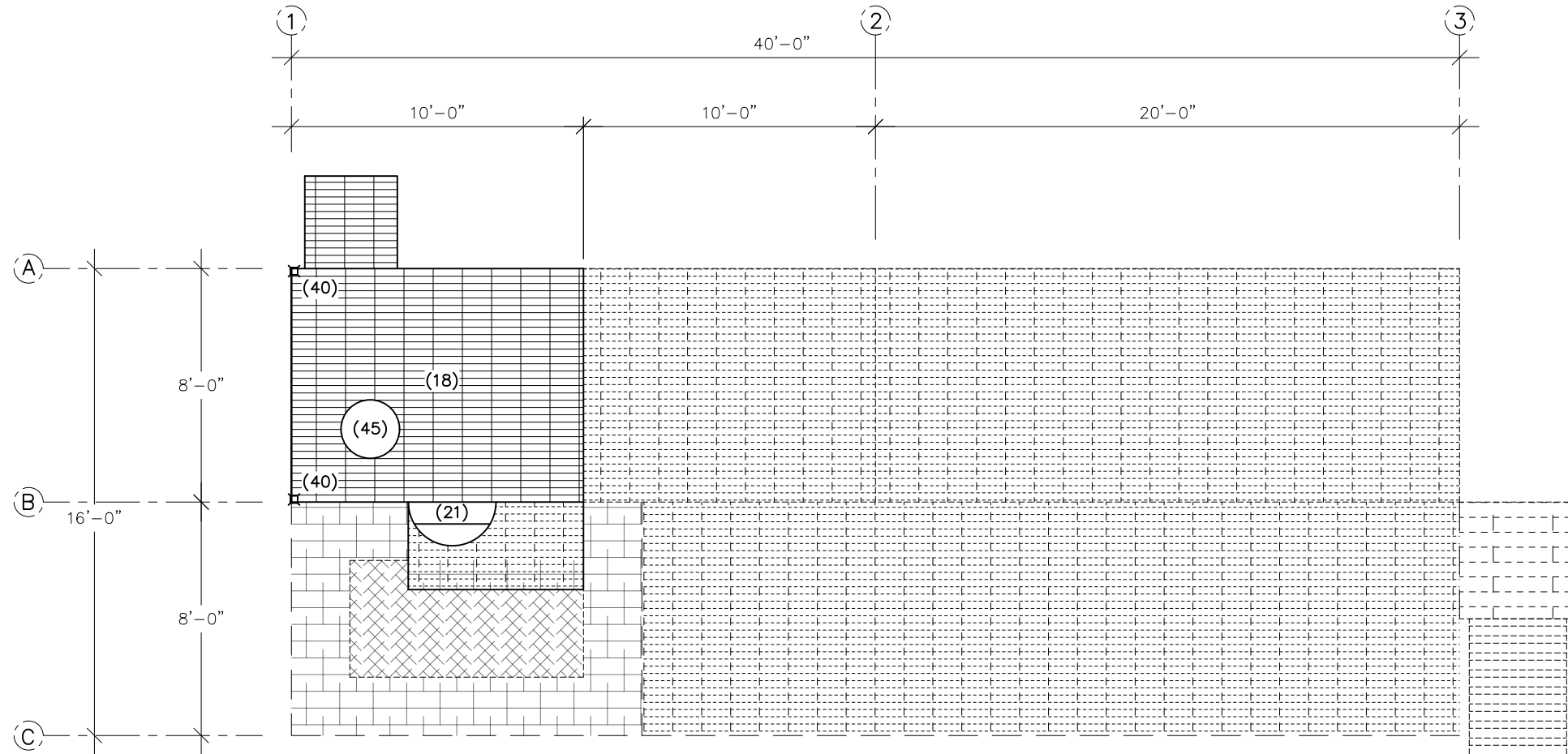
JOB NO.	UKIAH, CA
DRAWN	JED
ENGINEER	PTB
DATE	9-22-2022

SCALE	NTS
<b>PLAN</b>	

SHEET	<b>FAB-4</b> Page 52 of 65
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PLAN NOTES:

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30. STAIR OPENING WITH HATCH COVER AND GUARD RAILING.
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32. 4FT X 4FT CEILING PULL PROP. AN INSULATED LID SHALL BE PROVIDED WHEN NOT IN USE.
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37. BEHIND THE WALL FIRE PROP.
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43. PIVOTING WALL OUTSIDE OF BURN ROOM.
44. FLAT ROOF PROP WITH STEEL COVER.
45. 24" DIA. CONFINED SPACE TUBE FROM RAPPPELLING TOWER PALTFORM TO CONTAINER #4 ROOF TOP. REMOVABLE HATCH COVERS AT BOTH ENDS OF TUBE.



HIGH ROOF PLAN

SYMBOL KEY		HATCH KEY	
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	• STANDPIPE VALVE		• STEEL FLOOR
	• GFCI RECEPTACLE		• BRICK OVER STEEL
	• LIGHT SWITCH		• BAR GRATING
	• 100W LIGHT		• CONTAINER ROOF
	• 150W LED EXTERIOR FLOOD LIGHT		



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UKIAH, CA  
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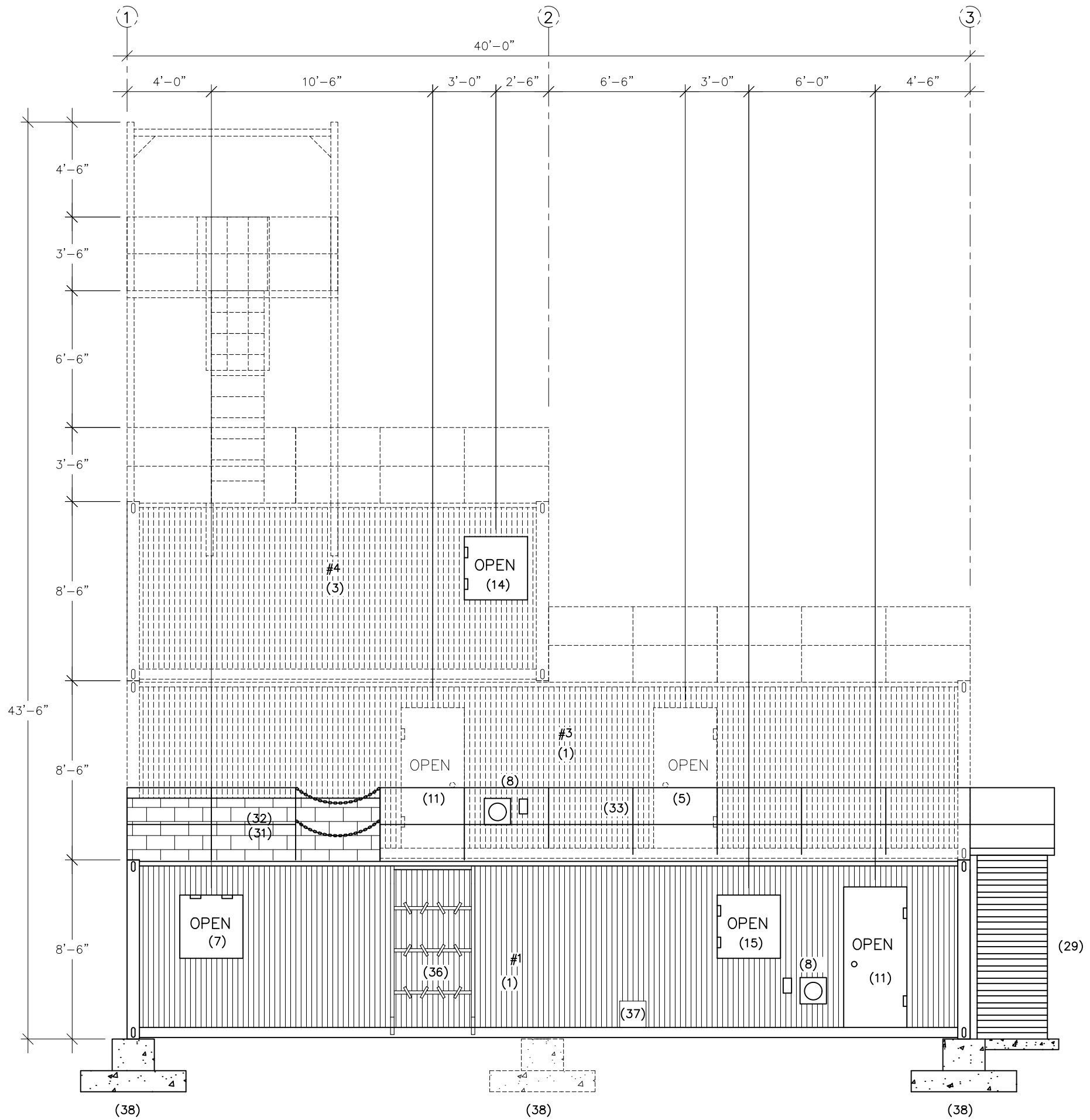
JOB NO.	UKIAH, CA
DRAWN	JED
ENGINEER	PTB
DATE	9-22-2022

SCALE	NTS
PLAN	

SHEET	FAB-5
	Page 53 of 65

PLAN NOTES:

1. 40FT CONTAINER WITH STEEL FLOOR. EXTERIOR PAINT COLOR TO BE DETERMINED.
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GRIDLINE C EXTERIOR ELEVATION

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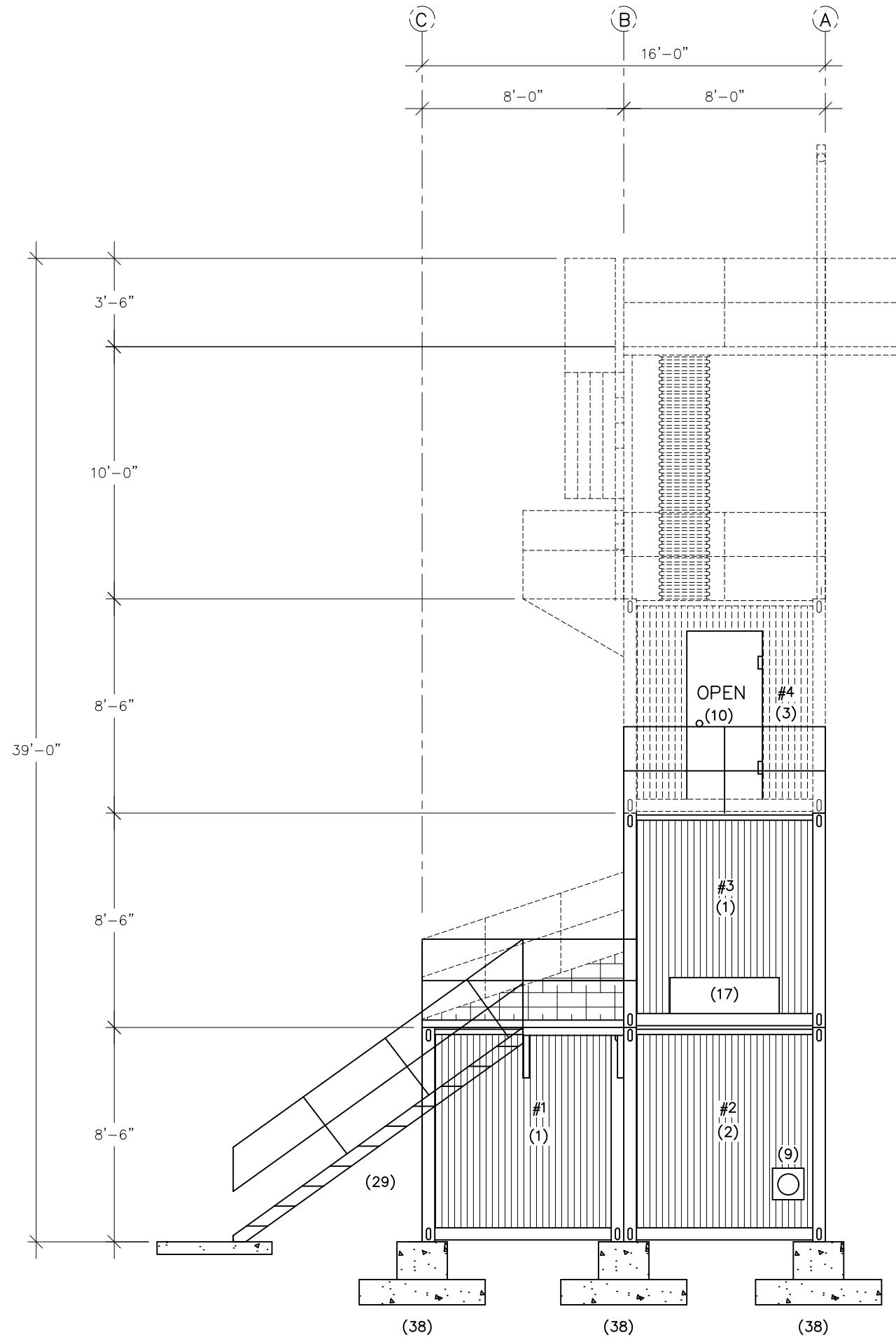
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ENGINEER	PTB
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SCALE	NTS
ELEVATION	

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**FAB-6**  
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GRIDLINE 3  
EXTERIOR ELEVATION

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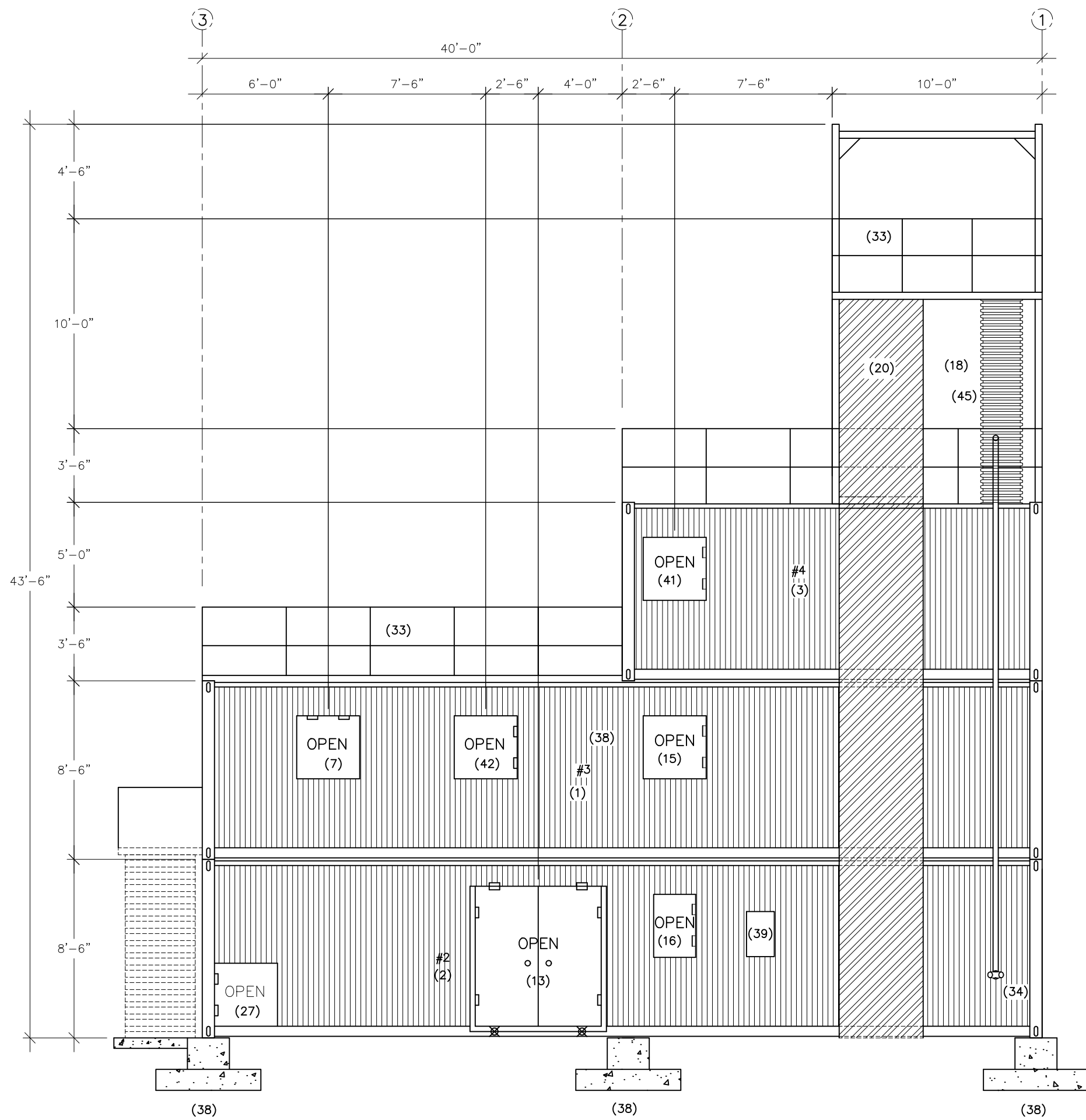
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ENGINEER	PTB
DATE	9-22-2022

SCALE	NTS
<b>ELEVATION</b>	

SHEET	<b>FAB-7</b> Page 55 of 65
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	• LIGHT SWITCH		• BAR GRATING
	• 100W LIGHT		• CONTAINER ROOF
	• 150W LED EXTERIOR FLOOD LIGHT		

GRIDLINE A EXTERIOR ELEVATION

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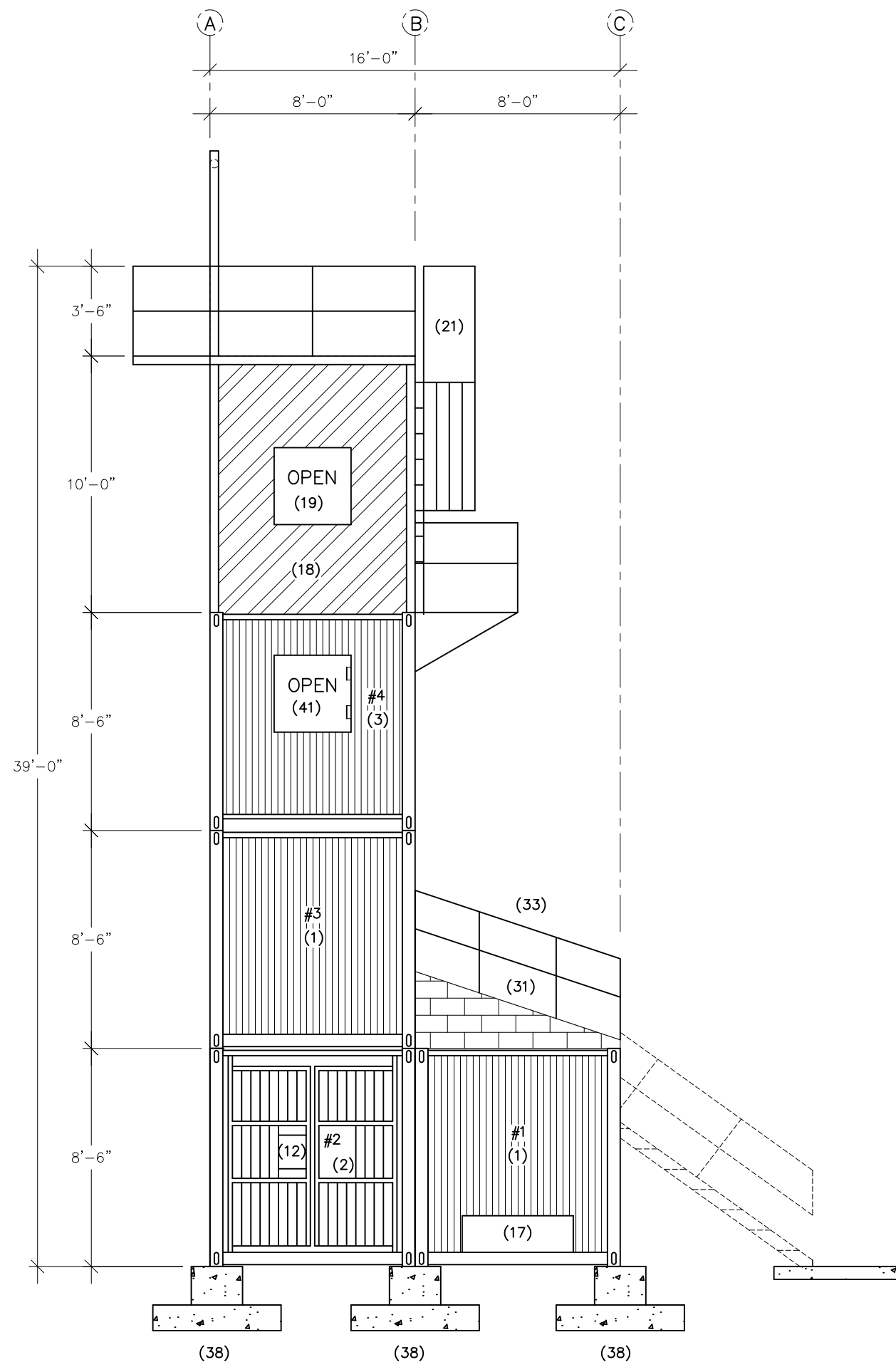
SCALE	NTS
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SHEET  
**FAB-8**  
 Page 56 of 65

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GRIDLINE 1  
EXTERIOR ELEVATION

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**FAB-9**  
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## PROJECT REVIEW REFERRAL

**Please provide comments by: May 25, 2023**

The City of Ukiah Community Development Department is soliciting input on the project described below for use in the staff analysis, CEQA document, and public hearing documents. Please identify any questions you have or missing information you need to complete your review, as well as suggested Conditions of Approval.

<b>TO:</b>	
<b>X</b>	Community Services Department: Neil D., Scott F., Brandon W.
<b>X</b>	City of Ukiah Building Official - Matthew Keizer
<b>X</b>	City of Ukiah – Public Works – Jason Benson
<b>X</b>	Ukiah Valley Fire Authority – Doug Hutchison
<b>X</b>	City of Ukiah Police Department - Rick Pintane
<b>FROM PROJECT PLANNER:</b> Jesse Davis, Chief Planning Manager	

<b>PROJECT INFORMATION:</b>	
<b>Project Name &amp; Permit #:</b>	Ukiah Valley Fire Authority Training Structure - #23-8331
<b>Site Address &amp; APN:</b>	300 Seminary Avenue, Ukiah (APN 002-255-03)
<b>General Plan:</b>	"P" Public
<b>Zoning:</b>	"PF" Public Facilities
<b>Airport Compatibility Zone:</b>	"Zone 6"
<b>Date Filed:</b>	04/14/2023
<b>Resubmittal:</b>	N/A
<b>Date Referred:</b>	05/18/2023
<b>Prev. Projects on Site (include file #)</b>	SDP 04-21 (UVFD Carport Structures); SDP 97-01 (UVFD Training Tower)
<b>Applicant/Agent Name:</b>	Ukiah Valley Fire Authority (Attn: Matthew Keizer)
<b>Phone:</b>	707-467-5718
<b>Email:</b>	<a href="mailto:mkeizer@cityofukiah.com">mkeizer@cityofukiah.com</a>
<b>Project Summary:</b> The UVFA is requesting that the Zoning Administrator approve a Minor Site Development Permit to construct a 39' fire training tower designed by Fire Training Structures, LLC purchased with funds from the City of Ukiah's PG&E settlement. The structure will be used by UVFA and regional entities to provide training for roof operations, interior firefighting operations, confined space rescues, search and rescue operations, door breaching/forcible entry, as well as high-angle descent and rescue. The site is zoned Public Facilities (PF), and features numerous municipal operations, including an active fire station and associated training structures. Please review the attached referral sheet and associated application materials for additional information.	

Please indicate whether you have comments and sign and date below. Return this Project Referral Form by the date noted above to the Project Planner listed.

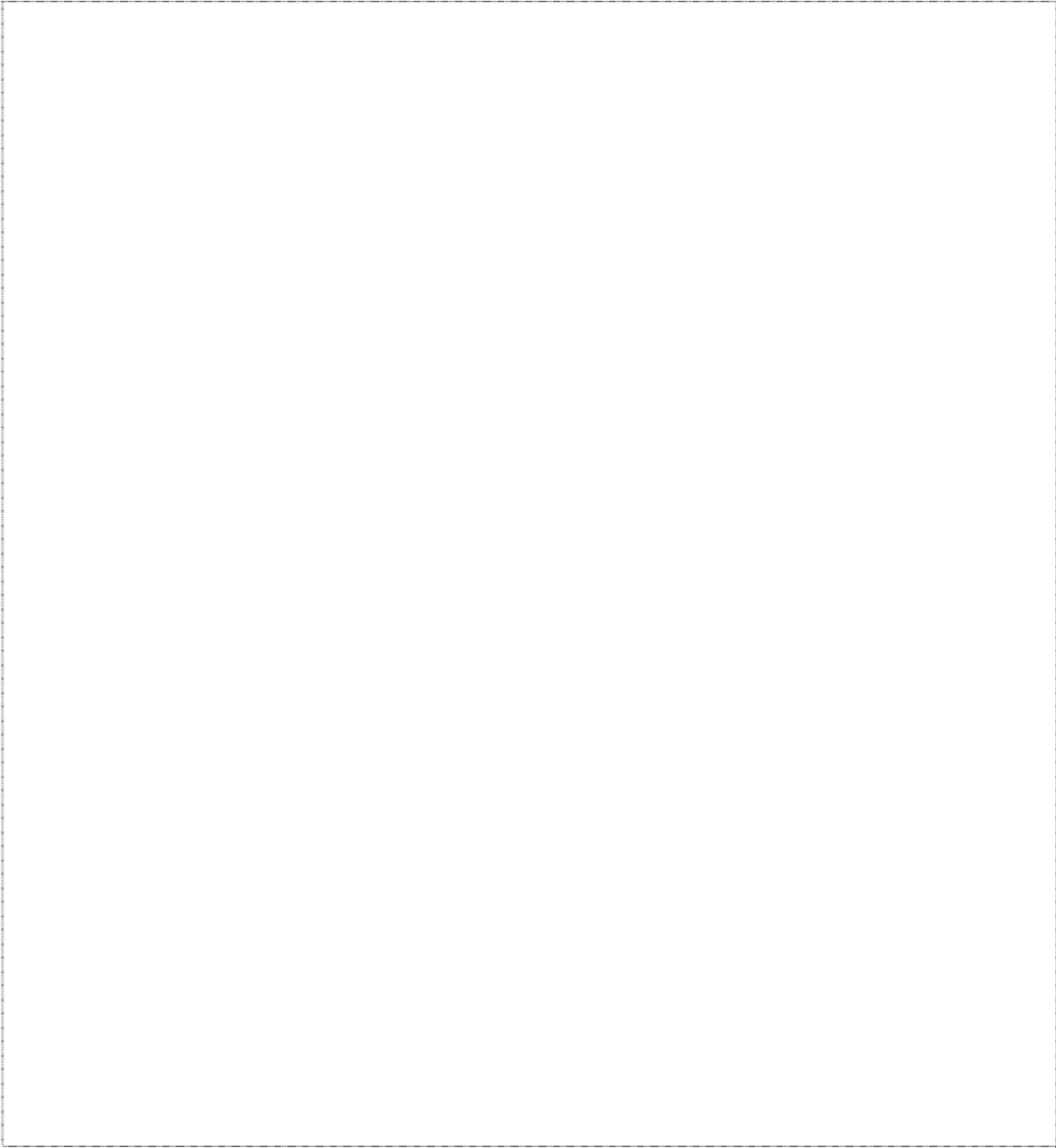
**Name and Affiliation/Department (Please Print):** \_\_\_\_\_

- No Comment
- Comments / Conditions of Approval Attached

**Signature**

**Date**

**Comments / Conditions of Approval:**



**PROJECT REVIEW REFERRAL**  
**Please provide comments by: May 25, 2023**

The City of Ukiah Community Development Department is soliciting input on the project described below for use in the staff analysis, CEQA document, and public hearing documents. Please identify any questions you have or missing information you need to complete your review, as well as suggested Conditions of Approval.


<b>TO:</b>	
X	Community Services Department: Neil D., Scott F., Brandon W.
X	City of Ukiah Building Official - Matthew Keizer
X	City of Ukiah – Public Works – Jason Benson
X	Ukiah Valley Fire Authority – Doug Hutchison
X	City of Ukiah Police Department - Rick Pintane
<b>FROM PROJECT PLANNER:</b> Jesse Davis, Chief Planning Manager	

PROJECT INFORMATION:	
<b>Project Name &amp; Permit #:</b>	Ukiah Valley Fire Authority Training Structure - #23-8331
<b>Site Address &amp; APN:</b>	300 Seminary Avenue, Ukiah (APN 002-255-03)
<b>General Plan:</b>	"P" Public
<b>Zoning:</b>	"PF" Public Facilities
<b>Airport Compatibility Zone:</b>	"Zone 6"
<b>Date Filed:</b>	04/14/2023
<b>Resubmittal:</b>	N/A
<b>Date Referred:</b>	05/18/2023
<b>Prev. Projects on Site (include file #)</b>	SDP 04-21 (UVFD Carport Structures); SDP 97-01 (UVFD Training Tower)
<b>Applicant/Agent Name:</b>	Ukiah Valley Fire Authority (Attn: Matthew Keizer)
<b>Phone:</b>	707-467-5718
<b>Email:</b>	<a href="mailto:mkeizer@cityofukiah.com">mkeizer@cityofukiah.com</a>
<b>Project Summary:</b> The UVFA is requesting that the Zoning Administrator approve a Minor Site Development Permit to construct a 39' fire training tower designed by Fire Training Structures, LLC purchased with funds from the City of Ukiah's PG&E settlement. The structure will be used by UVFA and regional entities to provide training for roof operations, interior firefighting operations, confined space rescues, search and rescue operations, door breaching/forcible entry, as well as high-angle descent and rescue. The site is zoned Public Facilities (PF), and features numerous municipal operations, including an active fire station and associated training structures. Please review the attached referral sheet and associated application materials for additional information.	

Please indicate whether you have comments and sign and date below. Return this Project Referral Form by the date noted above to the Project Planner listed.

**Name and Affiliation/Department (Please Print):** Rick Pintane/Police Department

- No Comment  
 Comments / Conditions of Approval Attached

Signature 

Date 05/24/23

**Comments / Conditions of Approval:**

