



Design Review Board

Regular Meeting

AGENDA

Civic Center ♦ 300 Seminary Ave., Conf. Rm. #3 ♦ Ukiah, CA 95482

Zoom Teleconference Link: <https://us06web.zoom.us/j/81821430811>

Telephone only: 877 853 5247 (US Toll-free)

Meeting ID: 818 2143 0811

Passcode: 246191

July 27, 2023 - 3:00 PM

The Design Review Board serves as an advisory body to City staff, Zoning Administrator, Planning Commission and City Council to make site design recommendations consistent with the City's Design Review Guidelines. The Design Review Board works with staff and applicants to review proposed site development permit applications, planned development applications and precise development plans, and make recommendations concerning architecture, site design layout, landscaping, parking, signage, exterior lighting and other aspects of urban design to City staff, Zoning Administrator, Planning Commission and City Council as appropriate.

The Design Review Board encourages applicants and/or their representatives to be available at the meeting to answer questions so that no agenda item need be deferred to a later date due to a lack of pertinent information.

1. CALL TO ORDER

- 1.a. Introduction of Lorena Akin - Recent Appointment to the Design Review Board by Ukiah City Council

Recommended Action: The Community Development Director will introduce the newest appointee to the Design Review Board, Lorena Akin.

Attachments:

1. Lorena Akin - DRB Application (Approved by City Council)

2. ROLL CALL

3. CORRESPONDENCE

4. APPROVAL OF MINUTES

- 4.a. Approval of the May 25, 2023 Regular Meeting Minutes

Recommended Action: Recommended Action: Review and approve Minutes of the May 25, 2023 DRB Regular Meeting

Attachments:

1. May 25, 2023 Regular Meeting Minutes

5. COMMENTS FROM AUDIENCE ON NON-AGENDA ITEMS

The Design Review Board (DRB) welcomes input from the audience that is within the subject matter jurisdiction of the DRB . In order for everyone to be heard, please limit your comments to three (3) minutes per person and not more than ten (10) minutes per subject. The Brown Act regulations do not allow action to be taken on audience comments.

6. NEW BUSINESS

- 6.a. Ordinance Amendment to Ukiah City Code to update the City's objective design and development standards for new multi-family residential construction

Recommended Action: Provide input and recommendation to the Planning Commission on a proposed amendment to the City's Municipal Code.

Attachments:

1. Ordinance Amendment - Redline
2. Ordinance Amendment - Clean
3. Handout - Objective Design & Development Standards

7. MATTERS FROM THE COMMISSION

8. MATTERS FROM STAFF

9. ADJOURNMENT

Please be advised that the City needs to be notified 72 hours in advance of a meeting if any specific accommodations or interpreter services are needed in order for you to attend. The City complies with ADA requirements and will attempt to reasonably accommodate individuals with disabilities upon request.

I hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda was posted on the bulletin board at the main entrance of the City of Ukiah Annex, located at 300 Seminary Avenue, Ukiah, California, not less than 72 hours prior to the meeting set forth on this agenda.

300 Seminary Avenue
Ukiah, CA 95482

NAME: Lorena Akin
First Last

STREET ADDRESS: [REDACTED]

CITY: Ukiah STATE: CA ZIP CODE: 95482

PHONE: Home n/a Work/Cell [REDACTED] Email: [REDACTED]

As an architectural designer with a Master's degree, I bring a deep understanding of design principles and sustainability. Experience in diverse projects, enables me to assess designs for functionality, visual appeal, and community impact. My cultural background fosters an inclusive perspective that enhances community identity. I believe my expertise will contribute to maintaining visual quality and promoting architectural integrity for a cityscape reflecting community values.

5. Can you commit to preparing for and attending at least one meeting of the Design Review Board per month?
Note: for most monthly agendas, the average time needed for preparation and attendance is 2-3 hours?

Yes, I can wholeheartedly commit to preparing for and attending at least one meeting of the Design Review Board per month. I understand that, on average, the preparation and attendance time for monthly agendas is approximately 2-3 hours. I assure you that I have the ability and availability to meet this requirement and fulfill my responsibilities as a dedicated member of the Design Review Board.

6. Please describe your experience in architecture/design, community, city, urban or environmental planning, construction, engineering or surveying, and/or historical or cultural preservation?

I have over 15 years of experience in the construction and architectural field, with a strong background in architecture and design. I have contributed to various projects, including the development of the urban design for Ship Creek, Anchorage. My involvement has allowed me to review engineering drawings, ensure compliance with design standards, and promote sustainability. I possess a comprehensive understanding of construction processes, engineering, and the significance of historical preservation.

7. Are you interested in serving on any other Boards or Commissions of the City? If so, which one(s)?

In addition to the Ukiah's Design Review Board, I am interested in serving on the Diversity and Equity Committee. As someone with a background in architecture, I believe I can contribute valuable insights to the review and development process of the city's design projects.

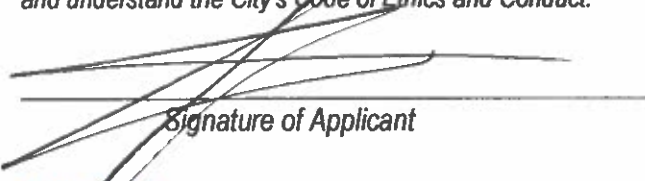
8. Diversity, Equity, and Inclusion are priorities for the City of Ukiah. Tell us about your experience working with diverse groups and how you would work to create an environment that is welcoming, inclusive, and increasingly diverse?

I have extensive experience working with diverse groups and understand the importance of creating a welcoming, inclusive, and increasingly diverse environment. Strategies would include open dialogue, education, representation, collaboration with community organizations, and regular evaluations to foster a community that celebrates diversity, embraces inclusivity, and provides equitable opportunities for all.

9. Is there anything you would like to add?

As a highly qualified and passionate candidate, I believe that my strong background in architecture, experience in working with diverse groups, and commitment to promoting inclusivity and sustainable design make me an ideal candidate for the Design Review Board. My expertise in design principles, community engagement, and understanding of cultural preservation will enable me to contribute effectively to maintaining the city's visual quality and architectural integrity.

I declare under penalty of perjury under the laws of the State of California that I am a resident of the City of Ukiah, California, registered to vote in the City of Ukiah, and that all information stated in this application and all attached pages are true, correct and complete. I also acknowledge that if appointed, I will be subject to filing a Form 700 Statement of Economic Interest, and I have read and understand the City's Code of Ethics and Conduct.*


Signature of Applicant

05/25/2023

Date

**Form 700 – Every elected official and public employee who makes or influences governmental decisions is required by State Law to submit a Statement of Economic Interest, also known as the Form 700. The Form 700 provides transparency and ensures accountability in two ways:*

- 1. It provides necessary information to the public about an official's personal financial interests to ensure that officials are making decisions in the best interest of the public and not enhancing their personal finances.*
- 2. It serves as a reminder to the public official of potential conflicts of interest so the official can abstain from making or participating in governmental decisions that are deemed conflicts of interest.*



Ukiah CA 95482

Lorena Paz Akin

I am writing to express my strong interest in joining the board as an Architectural Designer. With a Master's degree in Architecture, diverse professional experience, and a passion for sustainable design, I believe I can make a valuable contribution to the community.

My educational background and professional experience has equipped me with a solid foundation in architectural theory, construction principles, and design methodologies. I have worked on various projects, gaining expertise in residential, commercial, and institutional buildings. I am experienced in all phases of the design process and have collaborated effectively with interdisciplinary teams.

Joining the Ukiah Design Review Board would allow me to contribute to the city's architectural landscape and uphold its design guidelines. My knowledge, construction experience, and passion for sustainable design make me an asset to the board's decision-making process.

Thank you for considering my application. I am eager to discuss how my skills align with the goals of the Ukiah Design Review Board. Please find my enclosed resume for additional details. I look forward to contributing to Ukiah's architectural vision.

Sincerely,



Lorena Paz Akin

Education

2010 – 2013

Master of Architecture

North Carolina State University,
Raleigh, NC

2001 – 2006

Bachelor of Architecture

Universidad Autonoma de Chipapas
Tuxtla Gutierrez, Chiapas, MX

Special Recognition

LUXE INTERIOR + DESIGN MAGAZINE COVER PAGE

May 2020

Residential Remodel in Carmel for which I was the lead designer. This project also received an honorable mention through the local AIA chapter on December 2019.

EMERITUS FACULTY OF THE DEPARTMENT AWARD, NORTH CAROLINA STATE UNIVERSITY

Recipient of the Architecture Faculty
Award for Design Achievement.

GERALD D. HINES URBAN DESIGN COMPETITION

Urban Competition Winner

NOMINEE FOR AIA TRIANGLE SCHOLARSHIP

Experience

AKIN/PAZ ARCHITECTURE

Founding Principal, Architectural Designer/Job Captain/Construction Admin./Bim Lead (Revit)
Principal, Lead designer.

STUDIO SCHICKETANZ

Architectural Designer/Job Captain/Construction Admin./Bim Lead (Revit)
Lead designer on staff; Project manager & Construction administration.
Revit instructor for new hires and conversion of firm from 2d CAD to Bim

AKIN-OTTO DESIGN-BUILD

Lead Architectural Designer/Construction Admin
Bim (Revit) design and implementation through construction

KLING STUBBINS ARCHITECTURE / JACOBS ENGINEERING

Architectural designer on key projects in downtown Raleigh ("L-Building" Multifamily project), Urban designer for several public and private master planning projects (Ship Creek downtown redevelopment in Anchorage; Chapell Hill's greenway system and downtown connectivity; Morrisville's building center; Blue-Cross Blue Shield campus; Fidelity's new NC campus; North Carolina State University Plant Sciences building)

R-GREENWAY

Founder & User interface design
R-Greenway, an application providing users with interactive mapping of the previously underutilized urban greenway system in Raleigh, NC., has since expanded to Cary and Durham.

TONIC DESIGN

Architectural internship
Bim (Revit); Design and 3D modeling of residential projects in Raleigh and Durham, N.C.

KIRWAN, HH ARCHITECTURE, FRANK HARMON ARCHITECT

Contract 3D renderings
Visualization for assorted residential projects by prominent architects local to Raleigh and Durham, N.C.

NORTH CAROLINA STATE UNIVERSITY

Research assistant for Dr. Patricia Morgado's Architectural research and production of Illustrations for published articles.
Teaching Assistant for Drawing class for M.Arch Students.



Ukiah CA 95482

Lorena Paz Akin

Special Recognition

R-GREENWAY

Award winner of "City Camp" Raleigh for the design of an interactive Guide for Raleigh's Greenway system.

CONSEJO DE LOS MEXICANOS EN LAS CAROLINAS (MEX. COUNCIL IN THE CAROLINAS)

Designer of winning logo in the competition for the local council

Experience continued

SPANGLISH UNLIMITED, INC.

Contract translator for training & legal documents, promotional material, NCCDD magazines, etc.; interpreter aid for Assistive Technology Devices.

LEVENTHAL/SCHLOSSER/NEWBERGER ARCHITECTS

Architectural Internship.
CAD and BIM producer on multiple residential projects.

BIOARQ

Residential Design in collaboration w/ Architect Carlos Gordillo

IIUSA GENERAL CONTRACTOR

Construction Supervisor & Drafter

POINT LINE GRAPHIC DESIGN OFFICE

Graphic & UX Designer
Remodel of Veterinary School Facilities

Annual Mexican Telethon: Fundraiser efforts for non-profit organization for the construction of the required facilities for handicapped children's physical therapy.

Biological Research Assistant for Field Studies at the Entomology Department at the ZOOMAT, Chiapas

References

+ FRANK HARMON, FAIA

PRINCIPAL AT FRANK HARMON ARCHITECT, PA

+ MELISSA KENDRICK

EXECUTIVE DIRECTOR AT FOOD BANK FOR MONTEREY COUNTY

+ STEFANIE MCKAY

INTERIOR DESIGNER //

+ ALEM DERMICEK

ASSOCIATE PROJECT ARCHITECT AT INTERNATIONAL DESIGN GROUP

CITY OF UKIAH
DESIGN REVIEW BOARD REGULAR MEETING MINUTES
Held in person and via Zoom teleconference
May 25, 2023
3:00 p.m.

1. CALL TO ORDER

The meeting was held in person and virtually via Zoom teleconference at the following link: <https://us06web.zoom.us/j/81613350865>. Chair Tom Liden called the Design Review Board meeting to order at approximately 3:00 p.m.

Chair Tom Liden presiding.

2. ROLL CALL

Members Present: Meaux, Gordon and Chair Liden. **Absent:** Hawkes

Staff Present: Craig Schlatter, Community Development Director; Jesse Davis, Chief Planning Manager; Neil Davis, Community Services Director.

3. CORRESPONDENCE

Staff noted that one (1) letter of correspondence was received on May 23, 2023, and subsequently forwarded to members for review, as well as posted to the City-website.

4. APPROVAL OF MINUTES

The DRB reviewed and approved minutes of the March 23, 2023 DRB Regular Meeting, as well as reviewed and approved minutes of the May 4, 2023 DRB Special Meeting.

5. COMMENTS FROM AUDIENCE ON NON-AGENDA ITEMS

No public comments on non-agenda items

6. NEW BUSINESS

6a. Request for review and recommendation to the Planning Commission regarding the demolition of an existing car wash facility and construction of a new automated car wash facility featuring an 85-foot-long car wash tunnel, nine (9) vacuum stations, landscaping, and commercial signage at 162 Talmage Road, Ukiah, CA; APNs 003-140-49; 003-140-05; File No. 22-7956.

Planner J. Davis presented the item.

CHAIR LIDEN OPENED THE ITEM FOR PUBLIC COMMENT AT 3:14 P.M.

Speaker(s): Johnathan Ramos (Applicant)

CHAIR LIDEN CLOSED THE PUBLIC COMMENT AT 3:51 P.M.

Motion/Second: Gordon/Meaux made a motion to recommend approval of the project to the Planning Commission, with the following recommendations:

- Utilize monument signage option #2, and reduce the height from 30 feet to 22 feet;
- At the 'Car Wash Entry' substitute the painted corrugated metal panels featuring LUV pink with gray or silver corrugated metal;

- Consider simplification of the roof-line;
- Consider desaturation of the LUV pink color selection.

Motion carried by the following roll call votes: AYES: Meaux, Gordon, Liden. NOES: None
ABSENT: Hawkes. ABSTAIN: None.

- 6b.** Request for review and recommendation to the Planning Commission regarding an offer of public artwork located in Todd Grove Park (APN 001-090-02)

Planner J. Davis presented the item. Director N. Davis provided background and context for the requested project.

CHAIR LIDEN OPENED THE ITEM FOR PUBLIC COMMENT AT 4:09 P.M.

Speakers: Redwood Community Services (Applicants)

CHAIR LIDEN CLOSED THE PUBLIC COMMENT AT 4:37 P.M.

Motion/Second: Meaux/ Gordon made a motion to recommend the following to the City of Ukiah Planning Commission:

- That the proposed slogan “No human is illegal on stolen land” be relocated to a less prominent location, or an alternative slogan be identified.

Motion carried by the following roll call votes: AYES: Meaux, Gordon, Liden. NOES: None
ABSENT: Hawkes. ABSTAIN: None.

- 6c.** Discussion and Possible Nomination and Appointment of a Chair and Vice Chair of the Design Review Board

The Design Review Board discussed the process and consideration for identification and appointment of a new Chair and Vice Chair.

No action was taken.

7. MATTERS FROM THE BOARD
None

8. MATTERS FROM STAFF
Planner J. Davis discussed potential items that would be forthcoming to the DRB, including ordinance amendments related to the City’s objective design and development standards for multi-family housing, as well as potential current planning projects.

Director C. Schlatter conveyed that the Design Review Board should consider meeting as needed to review pertinent applications, rather than the a date and time certain each month.

9. ADJOURNMENT
There being no further business, the meeting adjourned at approximately 4:50 p.m.



SUMMARY

DATE: July 20, 2023

REQUEST: Ordinance Amendment to Ukiah City Code to update the City's objective design and development standards for new multi-family residential construction.

LOCATION: Within the incorporated areas of the City of Ukiah

ENVIRONMENTAL DETERMINATION: Categorical Exemption pursuant to Section 15061 (b)(3)

RECOMMENDATION: Provide Input and Direction Regarding the Proposed Ordinance Amendment

STAFF: Jesse Davis, Chief Planning Manager

INTRODUCTION

Community Development staff present a request to amend existing provisions of Ukiah City Code that regulate a ministerial approval process for new multi-family residential construction within City limits.

If approved, minor modifications would be made to Ukiah City Code Chapter 2, Article 5.2, Sections 9055 and 9055.1 to incorporate general plan objectives, clarify existing regulations such as parking standards, and allow for development flexibility, as necessitated by site or building constraints.

These modifications would further the City's efforts to reduce development costs and streamline the entitlement process to encourage infill development with multi-family and mixed-use development.

These efforts are undertaken in coordination with the objectives of the City's Local Action Planning Grants (LEAP) funds, which were awarded by the State Department of Housing and Community Development (HCD) to implement regulations that facilitate new infill housing.

BACKGROUND

In 2019, SB 2 Planning Grant Program funds were awarded by HCD to the City of Ukiah through Standard Agreement #19-PGP13298. These funds were intended to facilitate and streamline the production of housing. As described in the grant application, the City's Project "Priority Policy Area (PPA) 1" is to establish,

"Zoning revisions to streamline multi-family housing production, by-right housing; development of objective design and development standards; and development of zoning recommendations for additional housing incentives."

One of the resulting updates to Ukiah City Code was the creation of objective development and design standards. The City's Objective Standards for multi-family housing allow for flexibility while holding a development project to appropriate standards to produce housing that fits and complements the City's residential character.

The current objective standards were adopted by the Design Review Board on June 25, 2020, further reviewed and amended by the Planning Commission on August 12, 2020, and adopted by the City Council on March 17, 2021.

In 2022, the City received an application for mixed-use development (Acorn Valley Plaza) at the intersection of East Gobbi Street and Village Circle that utilized these design and development standards. City Staff worked closely with the Applicant to ensure that design proposals aligned with the adopted multi-family development standards and approved the request in coordination with the Building Inspection Division in December, 2022. Upon completion, the approved project, will add seventy-two (72) units of housing with a small mixed-use component along Gobbi Street on a historically underutilized parcel near numerous amenities, such as grocery stores and pharmacies.

PROPOSED ORDINANCE AMENDMENT & HISTORY

As described below, Staff proposes the following amendments to incorporate general plan objectives, clarify existing regulations such as parking standards, and allow for development flexibility, as necessitated by site or building constraints:

§9055 Purpose and Intent: *Duplexes*: Clarify that 'Duplexes' are not subject to Article 5.2 by inserting an explicit exclusion, like the one already provided for single-family homes. While SB 9 would allow for the application of "objective design review standards" on this type of residential unit, it is suggested that this form of housing be further streamlined within Ukiah City Code to address 'Missing Middle' considerations and further housing stock diversity. It is understood that numerous neighborhoods within Ukiah already feature 'Duplexes interspersed among single-family residences. At a later date, to ensure this update is applied consistently, Staff will need to update individual articles of Chapter 2 (Zoning) to ensure that 'Duplex' is separated from Article 5.2 and identified as a stand-alone use regulated as an 'Allowed' or 'Permitted' Use depending on the identified zoning district.

§9055.1 (H): *HVAC Systems*: Clarify that HVAC Units can *also* be placed on the ground, but subject to setback and screening requirements that are subsequently conveyed in Article 5.2. This clarification is to ensure that smaller ground-mount HVAC systems, such as 'Ductless Mini-Splits' are allowed by-right, and removes confusion that HVAC systems can *only* be roof-mounted.

§9055.1 (I): *Mail and Package Delivery Location*: The existing regulation can create design limitations for multi-structure developments, as well as operational challenges for mail delivery, and limit community interactions created by more centralized mail delivery locations.

§9055.1 (K): *Open-Space*: Increase the allowances for community gardening opportunities by allowing for community gardens to constitute a percentage of the required 15% public open space. Also, as identified in the 2040 General Plan (AG Element Action Item – F) allow for 'Foodscaping', which is the integration of edible plants into ornamental landscapes as an allowed and suggested component for design landscaping and open-space design considerations.

§9055.1 (O)(2)(a): *Required Parking*: Remove the 'Guest Parking' requirement, as the assigned

ratio becomes onerous for larger in-fill development proposals and works against the parking exemptions or reductions identified in other sections of Ukiah City Code, such as UCC 9198(A)(7-9). These additional parking spaces increase the total cost of the development, and cumulatively take up more surface area than the building(s) themselves and compete against more desirable on-site land-uses, such as landscaping, additional residential units, or recreational space.

§9055.1 (O)(2)(a): *Parking Code*: Article 17 is more onerous than the zoning standards of the C1 or C2 zoning districts. UCC Section 9198(A)(3) requires One parking space for one-bedroom units; two (2) parking spaces for two (2) or more bedrooms per unit.

Within the C-1 and C-2 zoning districts, however, multi-family units only require: One (1) on-site parking space per unit.

§9055.1 (O)(2)(b): *Mixed-Use Parking*: The current iteration of the objective design and development standards do not clarify what parking standards should be applied for mixed-use development projects. It is suggested that this clarification be inserted.

§9055.2(C)(4-5) *Fences and Walls*: This amendment adds an exception that certain recreation and garden improvements be allowed to use otherwise prohibited fence types.

§9055.2(K)(4)(a): *Heavy Timber*: Concerns have been conveyed from the architectural community that the existing language could be construed as to prevent designs similar to the Sun-House, or use of materials like Cross Laminated Timber. The amendment removes “heavy-timber” considerations, but leaves “exposed-logs” as prohibited.

§9055.2(L): *Exception*: As needed or required, due to site or building constraints, the applicant can request deviation from any of the identified standards conveyed in UCC §9055.1 (K-S) or UCC §9055.2 (J-K) by 25% upon review by the Community Development Director. The sites remaining for infill development are often irregular and present unusual boundaries or situations that need to be accommodated. This exception would allow for limited deviation for certain standards to help encourage the development of underutilized or irregular parcels.

Attachment 1 provides a redlined version of the proposed ordinance amendment, while **Attachment 2** provides a clean version of the proposed changes. **Attachment 3** includes a list of the application checklist typically provided to developers interested in utilizing the objective design standards.

RECOMMENDATION

Provide input and recommendation to the Planning Commission on a proposed amendment to the City’s Municipal Code.

ATTACHMENTS

1. Ordinance Amendment - Redline
2. Ordinance Amendment – Clean
3. Handout - Objective Design & Development Standards

CHAPTER 2 ZONING

ARTICLE 5.2. OBJECTIVE DESIGN AND DEVELOPMENT STANDARDS FOR NEW RESIDENTIAL CONSTRUCTION

SECTION:

§9055 Purpose And Intent

§9055.1 Development Standards

§9055 PURPOSE AND INTENT

The purpose of this article is to create a by-right, ministerial approval process for all new residential construction, excluding single-family homes and duplexes. To do so, this article sets forth objective design and development standards that remove barriers to and reduce costs for new residential construction for multi-family housing, ~~excluding single-family homes~~, while still protecting the residential character of the City's neighborhoods. (Ord. 1212, §7, adopted 2021)

§9055.1 DEVELOPMENT STANDARDS

A. Setbacks:

1. Front: The front setback shall comply with the base zone front setback requirements.
2. Setback Landscaping: Areas between the required setback and street improvements shall be landscaped per the landscaping requirements in subsection L of this section.
3. Side (Interior):
 - a. Minimum Side Setbacks: There is no minimum interior side setback; provided, that structures comply with the building and fire code standards for structure separation.
 - b. Zero Setback: If zero setbacks are proposed, the side setback opposite the zero setback shall be a minimum of five feet (5').
4. Rear: The rear setback shall comply with the base zone rear setback requirements.

B. Property Access: There shall be vehicular access from a dedicated and improved street, easement, or alley to off-street parking areas.

- C. Street Frontage: Every primary residential structure shall have frontage on a public street or an accessway which has been approved for residential access by the City.
- D. Structure Orientation: Structures shall incorporate site design that reduces heating and cooling needs by orienting structures (both common facilities and dwelling units) on the parcel to reduce heat loss and gain, depending on the time of day and season of the year.
- E. Structure Height: Structure height shall comply with the base zone maximum allowable height.
- F. Alternative Energy Applications: All structures shall be designed to allow for the installation of alternative energy technologies including but not limited to active solar, wind, or other emerging technologies, and shall comply with the following standards:
1. Installation of solar technology on structures such as rooftop photovoltaic cell arrays shall be installed in accordance with the State Fire Marshal safety regulations and guidelines.
 2. Roof-mounted equipment shall be located in such a manner so as to not preclude the installation of solar panels, as shown in Figure 1-1.

Figure 1-1: Application of Roof-Mounted Equipment



- G. Utility Lines: All utility lines from the service drop to the structure shall be placed underground.
- H. HVAC Systems: All HVAC systems shall be located on the roof of the structure to minimize noise impacts to adjacent properties, or shall be placed on the ground, meet the required setback and be obscured by fencing or landscaping as described in §9055.2(H) - Screening.
- I. Mail and Package Delivery Location: For multifamily development projects greater than four (4) dwelling units, mailboxes and package delivery areas shall be in locations that are-is easily visible by residents at the interior of a structure entrance, elevator lobby, or stairwell.

J. Primary Entrances:

1. Entry Lighting: All primary structure entrances shall include dusk-to-dawn lighting for safety and security per subsection P of this section.

2. Interior-Facing Structures:

a. The primary entrance of each interior-facing structure shall be oriented toward paseos, courtyards, pathways, and active landscape areas.

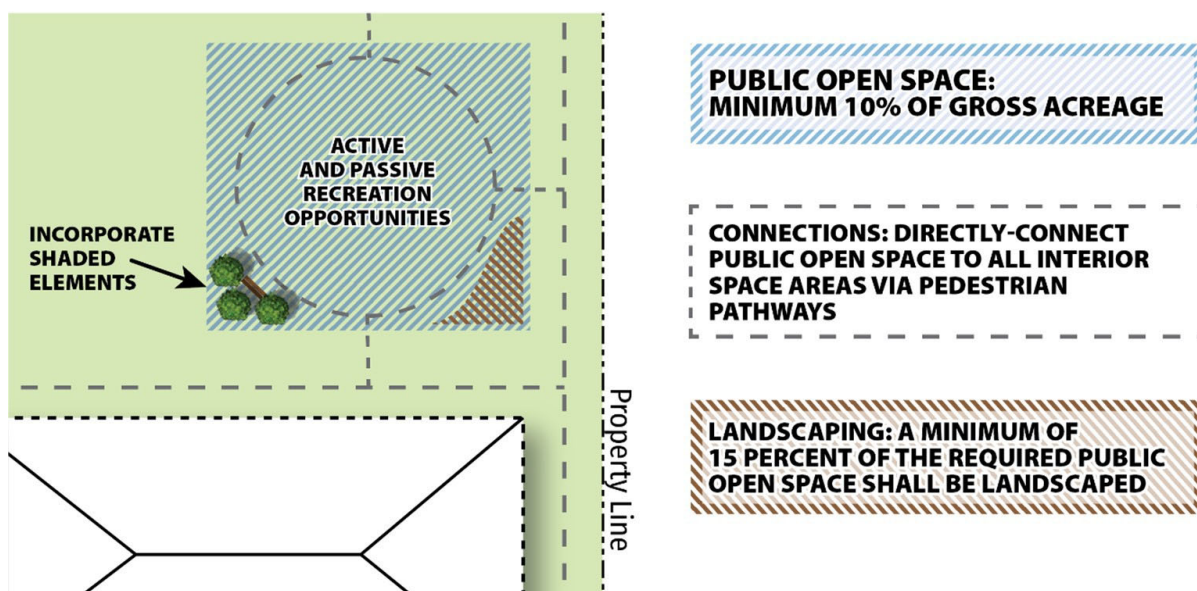
b. For safety, units not facing the street shall be oriented to provide visual access to entryways, pedestrian pathways, recreation areas, and common facilities from dwelling units.

K. Open Space: The following development standards apply to multifamily developments greater than four (4) dwelling units:

1. Public Open Space:

a. Public Open Space: Not less than ten percent (10%) of the gross acreage of the total project shall be set aside as public open space to allow for active and passive recreation opportunities and that includes shading elements to benefit all residents of the project, as shown in Figure 1-2. Open space ownership and maintenance shall be the responsibility of the property owner(s).

Figure 1-2: Configuration of Public Open Space



b. Connections: Public open space areas shall be directly connected to all interior space areas (i.e., community room, recreation room, exercise center), trash and recycling enclosures, laundry facilities (if applicable), structure entrances, parking areas, and mail delivery areas by pedestrian-oriented pathways.

c. Landscaping and Gardening: A minimum of fifteen percent (15%) of the required public open space shall be landscaped with materials and plantings consistent with the standards in subsection L of this section (Landscaping and Gardening) and the subject parcel's underlying base zone landscaping requirements.

d. Lighting: In addition to the exterior lighting standards in subsection P of this section, public open space areas shall incorporate accent lighting. Accent lighting may include string lighting in trees or crisscrossed over pedestrian areas via courtyards, or plazas; lighting in fountains; or lighting of significant structures or architectural design features.

e. Public Gathering Space: Public open space areas shall include a minimum of two (2) of the following public gathering spaces:

(1) Patio seating area for a minimum of eight (8) people. Patio seating can be fixed chairs and tables, table/bench combination, or landscape materials (i.e., slabs of stone or rock);

(2) Community Garden-~~space~~;

(3) Water feature in the form of a fountain, bubblers, or water play ~~pad~~area;

(4) Picnic/BBQ area no smaller than two hundred (200) square feet with a minimum of three

(3) Picnic/BBQs and tables; or

(5) Pedestrian plaza no smaller than two hundred (200) square feet with a minimum of four (4) benches.

f. Recreation Facilities: A maximum of twenty-five percent (25%) of the required public open space area may be paved for recreation facilities including but not limited to basketball courts, tennis courts, common playground, or swimming pools.

2. Private Open Space:

a. Ground Floor Units: Each ground floor dwelling unit shall include a minimum of forty (40) square feet of private open space in the form of a covered or uncovered patio to allow for light, air, and privacy.

b. Above-Ground-Floor Units: Each above-ground-floor dwelling unit shall include a minimum of forty (40) square feet of private open space in the form of a terrace, balcony, or rooftop patio to allow for light, air, and privacy.

L. Landscaping (see Figure 1-3):

1. Landscaping Plans: Existing features, such as trees, creeks, and riparian habitats shall be incorporated into landscaping plans.

2. Site Landscaping:

a. All street trees shall be planted consistent with the standard planting detail on file with the City Engineer.

b. Vegetation (i.e., bushes, shrubs, flowers) shall be maintained at a height of no more than three feet (3') when located adjacent to pedestrian pathways and building facades and placed in such a manner that does not obstruct lighting.

c. Foodscaping: The integration of edible plants into ornamental landscapes.

b-d. Community Garden: A public garden tended and maintained by members of the local community, allowed per §9173.2 (Community Gardens).

3. Irrigation: Site landscaping shall include an automated irrigation system with a minimum of seventy-five percent (75%) of system being drip irrigation to reduce water consumption.

4. Maintenance: All trees and on-site landscaping shall be maintained by the property owner.

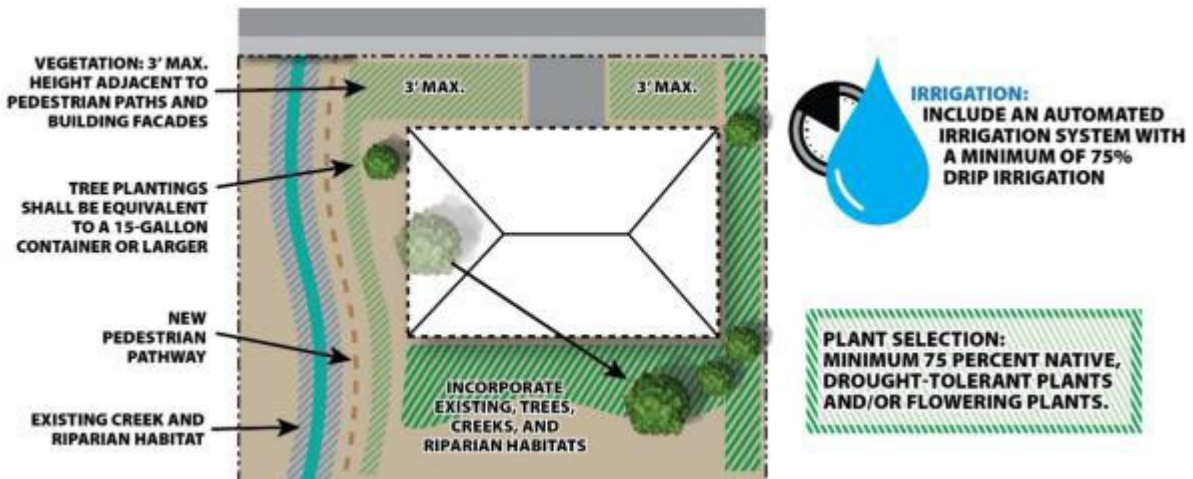
5. Landscaping Plant Selection:

a. Landscape planting shall consist of at least seventy-five percent (75%) native, drought-tolerant plants and/or flowering plants, including plants identified for 'Foodscaping'.

b. All tree plantings shall be equivalent to a fifteen (15) gallon container or larger.

c. Street trees shall be selected from the approved species on the Ukiah Master Tree List – Required Street Tree List.

Figure 1-3: Landscaping



M. Personal Outdoor Storage Spaces: A minimum of ten (10) square feet (eighty (80) cubic feet) of personal outdoor storage space shall be provided for each dwelling unit. Personal outdoor storage areas shall be covered and able to be locked.

N. Bicycle Parking is an essential element of any bikeway network. Site planning for short-term and long-term bicycle storage considerations should be based on the Association of Pedestrian and Bicycle Professional's (APBP) "Bicycle Parking Guidelines" and best practices. See below for bicycle parking standards:(see Figure 1-4):

1. Class I Bicycle Parking: One Class I bicycle parking space (i.e., bicycle locker) is required for every fifteen (15) dwelling units. The Class I bicycle space shall be located within or directly adjacent to the required public open space area.

2. Class II Bicycle Parking: For multifamily development projects greater than four (4) dwelling units, one Class II bicycle parking space (i.e., inverted U-rack, ribbon rack, wave rack) is required for every three (3) dwelling units. The Class II bicycle space shall be located within or directly adjacent to the required public open space area.

Figure 1-4: Bicycle Parking



O. Parking and Circulation:

1. Parkin Areas:

a. Parking Lot Design and Location:

- (1) Parking is prohibited within required sight distance areas.
- (2) Multifamily development projects greater than fifteen (15) dwelling units shall not site more than fifty percent (50%) of the total parking stalls in a single parking area.
- (3) Multifamily development projects greater than four (4) dwelling units shall not provide parking areas between the building(s) and the primary street frontage.
- (4) Parking areas within a site shall be internally connected and use shared driveways.

b. Parking Lot Landscaping: The following development standards apply to multi-family developments greater than four (4) dwelling units:

- (1) Parking areas with twelve (12) or more parking stalls shall have a tree placed between every four (4) parking stalls with a continuous linear planting strip, rather than individual planting wells, unless infeasible.
- (2) Parking areas shall provide shade trees in landscaped areas and along pedestrian pathways. Parking areas shall be designed to provide a tree canopy coverage of fifty percent (50%) over all paved areas within ten (10) years of planting.
- (3) Parking areas shall provide a minimum ten-foot (10') buffer between the parking and structures. This buffer can include walkways and/or landscaping.
- (4) Parking areas shall use concrete curbing or raised planting areas to protect landscaped areas from encroaching vehicles.
- (5) At least seventy-five percent (75%) of parking lot trees shall be deciduous species.

c. Parking Lot Lighting: The following development standards apply to multifamily development projects greater four (4) dwelling units.

- (1) Parking lots shall include pole-mounted lighting that shall be no more than sixteen feet (16') in height.
- (2) Parking lot lighting shall be directed downward to minimize glare.

d. Carports: Carports shall be reserved for vehicles and shall not be used as storage space.

e. Individual Garage Parking: For multifamily development projects greater than four (4) dwelling units, indoor vehicle parking in the form of garages is encouraged, but not required.

2. Required Parking:

~~a. Guest Parking: A minimum of three (3) guest parking spaces shall be provided for every six (6) dwelling units.~~

~~a. Parking Standards: Multifamily dwelling parking standards shall be consistent with the parking regulations in Chapter 2, Article 17 of this division, with the exception of a minimum of one parking space per dwelling unit of their zoning designation.~~

~~b. Parking Standards: Mixed-use parking standards shall be consistent with Ukiah City Code Section 91798(A)(9).~~

P. Exterior Lighting (see Figure 1-5):

1. Pedestrian-oriented lighting shall be provided in active pedestrian areas (i.e., paseos, interior sidewalks, pathways, etc.) for safety and security.

2. Pedestrian pathway (excluding street-fronting sidewalks) lighting features shall not exceed ten feet (10') in height.

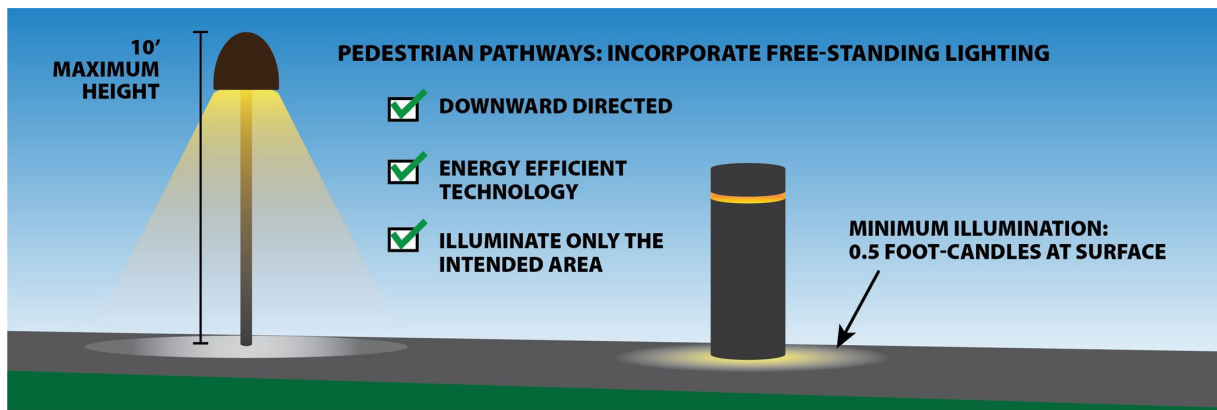
3. Active pedestrian areas shall incorporate free-standing lighting separate from structures.

4. Pedestrian pathways, elevator lobbies, parking areas, stairwells, and other common areas shall have minimum illumination levels of one-half (0.5) foot-candle at the pathway surface to clearly show walking conditions.

5. Overhead sports court lighting shall illuminate only the intended area. Light trespass onto neighboring parcels is prohibited.

6. Outdoor lighting shall use energy efficient lighting technology and shall be shielded downward to reduce glare and light pollution.

Figure 1-5: Exterior Lighting



Q. Privacy: Any balcony, window, or door shall use at least one of the following development approaches to lessen the privacy impacts onto adjacent properties. These techniques include: use of obscured glazing, landscaped/privacy buffer in the required setback with a minimum of five feet (5'), window placement above eye level, or locating balconies, windows, and doors facing toward the street and backyard. Trees and landscaping used as a landscaped/privacy buffer shall be planted and maintained by the property owner to preserve the privacy of adjacent property owners.

R. Trash and Recycling Enclosures: The following trash and recycling enclosure development standards apply to multifamily development projects greater than four (4) dwelling units:

1. Walls either made of masonry, metal, or wood with finished metal doors.
2. Vehicle and pedestrian access gates.
3. Downward lighting for safety and security.

S. Structure Identification: Structure identification numbers shall be placed along pedestrian pathways and roads and shall be readable from a distance of at least sixty feet (60').

T. Signage and Information: Developments shall comply with the sign standards in Division 3, Chapter 7 of this code (Signs). In addition, all directional signage and informational kiosks (i.e., development maps) shall be located at the entrances of individual buildings and at convergences of main pedestrian pathways. (Ord. 1212, §7, adopted 2021)

§9055.2 DESIGN STANDARDS

A. Carports:

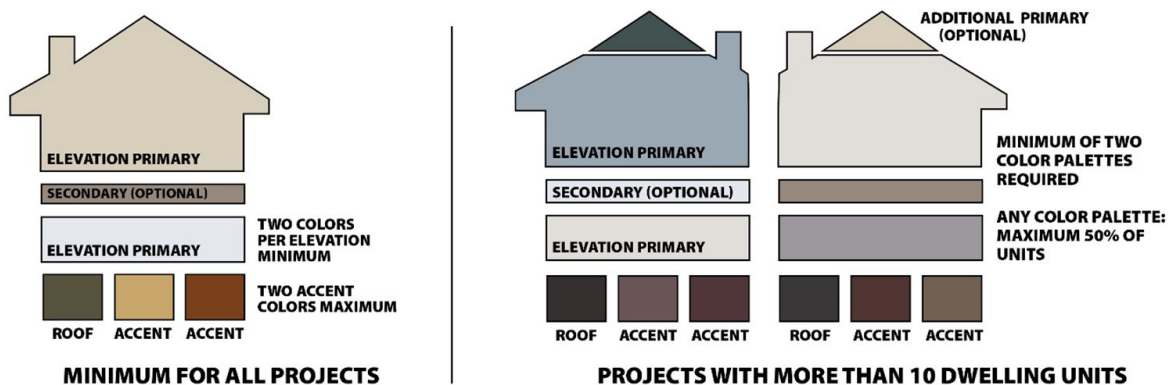
1. For multifamily development projects greater than four (4) dwelling units, carports shall not be visible from the street.

2. Carports shall include the approved color palette, materials, and design elements of the structure.

B. Color Palettes (see Figure 1-6):

1. All structures shall include at least one primary color and a maximum of two (2) accent colors, in addition to the color of the roofing material.
2. Each structure elevation shall include two (2) colors in the selected color palette.
3. Projects that include more than ten (10) dwelling units shall include at least two (2) color palettes, where no single-color palette shall be used on more than fifty percent (50%) of the dwelling units.

Figure 1-6: Color Palettes



C. Fences and Walls: The following materials are prohibited for all fences and walls:

1. Electrified;
2. Barbed wire/razor wire;
3. Sharp objects such as spires and glass;
4. Cyclone or chain link (Exception for on-site gardening or recreation improvements (e.g., basketball court).); and
5. Vinyl (Exception for on-site gardening or recreation improvements (e.g., basketball court).)

D. Glazing: Structures shall incorporate the use of energy efficient glazing to reduce heat loss and gain.

E. Common Mailboxes: Common mailboxes shall be painted using the approved color palette for the overall development.

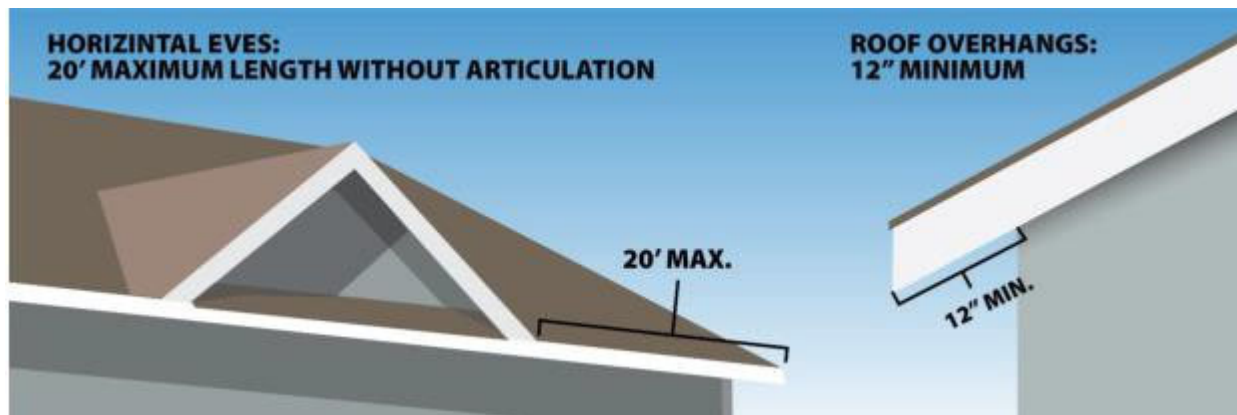
F. Trash and Recycling Enclosures: Trash and recycling enclosure walls and metal doors shall be painted in accordance with the approved color palette for the overall project.

G. Roof Design and Materials (see Figure 1-7):

1. Horizontal eaves longer than twenty feet (20') in length shall be broken up by gables, building projections, or other forms of articulation.

2. Roof overhangs shall be a minimum of twelve inches (12").

Figure 1-7: Roof Design



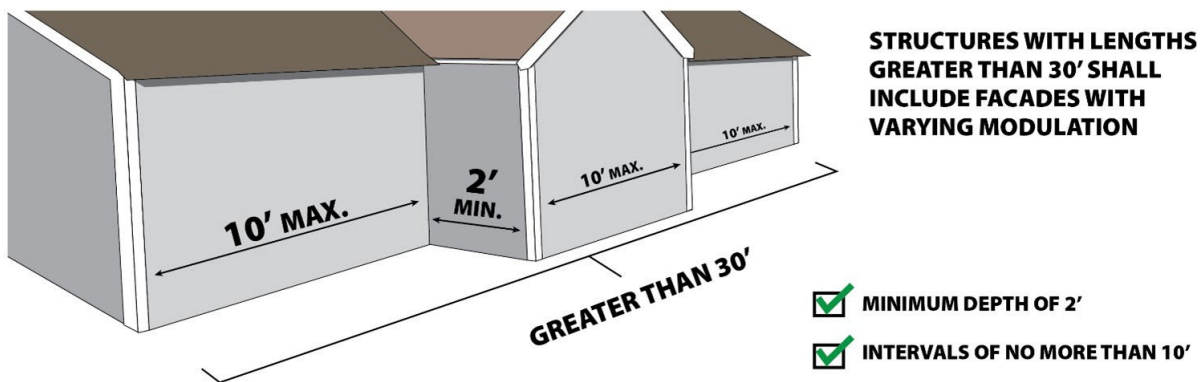
3. The following are allowable roofing materials:

- a. Nonreflective standing seam metal roofs in shades of tan, brown, black, light blue, red, and green;
- b. Cool foam roofs (white);
- c. Clay tile; and
- d. Architectural composition shingles.

H. Screening: All screening of ground-mounted, wall-mounted, and roof-mounted equipment shall be painted in accordance with the approved color palette for the project. Visual screening shall be installed if ground-mounted or wall-mounted equipment faces the street.

- I. Stairways/Stairwells: Exterior stairways/stairwells that are not enclosed shall not be visible from the public right-of-way.
- J. Structure Massing: Structures that have a length longer than thirty feet (30') shall include facades with varying modulation with a minimum depth of two feet (2') at intervals of no more than ten feet (10'), as shown in Figure 1-8.

Figure 1-8: Structure Massing



K. Structure Materials and Elements:

1. Drainpipes, parapets, and ledges shall not be located near windows, corridors, and balconies. If such placement is not feasible, they shall face parking lots, public spaces, and roads.
2. All structures shall include a minimum of two (2) primary materials (i.e., stone, wood, masonry, or metal) on each structure elevation. Each material shall comprise at least twenty percent (20%) of the elevations excluding windows and railings.
3. All structures that use exterior veneers shall ensure the edge of the veneer is not obvious by prohibiting the use of vertical joints at exterior corners.
4. The following primary structure materials are prohibited:
 - a. ~~Heavy timber, or~~ Exposed logs in their natural state;
 - b. Stucco textured foam, synthetic stucco, vinyl or vinyl clad materials; and
 - c. Unfinished galvanized metals. (Ord. 1212, §7, adopted 2021)

L. Exception: As needed or required, due to site or building constraints, the applicant can request deviation from any of the identified standards conveyed in UCC §9055.1 (K-S) or UCC §9055.2 (J-K) by 25% upon review by the Community Development Director.

CHAPTER 2 ZONING

ARTICLE 5.2. OBJECTIVE DESIGN AND DEVELOPMENT STANDARDS FOR NEW RESIDENTIAL CONSTRUCTION

SECTION:

§9055 Purpose And Intent

§9055.1 Development Standards

§9055 PURPOSE AND INTENT

The purpose of this article is to create a by-right, ministerial approval process for all new residential construction, excluding single-family homes. To do so, this article sets forth objective design and development standards that remove barriers to and reduce costs for new residential construction, excluding single-family homes, while still protecting the residential character of the City's neighborhoods. (Ord. 1212, §7, adopted 2021)

§9055.1 DEVELOPMENT STANDARDS

A. Setbacks:

1. Front: The front setback shall comply with the base zone front setback requirements.
2. Setback Landscaping: Areas between the required setback and street improvements shall be landscaped per the landscaping requirements in subsection L of this section.
3. Side (Interior):
 - a. Minimum Side Setbacks: There is no minimum interior side setback; provided, that structures comply with the building and fire code standards for structure separation.
 - b. Zero Setback: If zero setbacks are proposed, the side setback opposite the zero setback shall be a minimum of five feet (5').
4. Rear: The rear setback shall comply with the base zone rear setback requirements.

B. Property Access: There shall be vehicular access from a dedicated and improved street, easement, or alley to off-street parking areas.

- C. **Street Frontage:** Every primary residential structure shall have frontage on a public street or an accessway which has been approved for residential access by the City.
- D. **Structure Orientation:** Structures shall incorporate site design that reduces heating and cooling needs by orienting structures (both common facilities and dwelling units) on the parcel to reduce heat loss and gain, depending on the time of day and season of the year.
- E. **Structure Height:** Structure height shall comply with the base zone maximum allowable height.
- F. **Alternative Energy Applications:** All structures shall be designed to allow for the installation of alternative energy technologies including but not limited to active solar, wind, or other emerging technologies, and shall comply with the following standards:
1. Installation of solar technology on structures such as rooftop photovoltaic cell arrays shall be installed in accordance with the State Fire Marshal safety regulations and guidelines.
 2. Roof-mounted equipment shall be located in such a manner so as to not preclude the installation of solar panels, as shown in Figure 1-1.

Figure 1-1: Application of Roof-Mounted Equipment



- G. **Utility Lines:** All utility lines from the service drop to the structure shall be placed underground.
- H. **HVAC Systems:** All HVAC systems shall be located on the roof of the structure to minimize noise impacts to adjacent properties.
- I. **Mail and Package Delivery Location:** For multifamily development projects greater than four (4) dwelling units, mailboxes and package delivery areas shall be in locations that are visible by residents at the interior of a structure entrance, elevator lobby, or stairwell.

J. Primary Entrances:

1. Entry Lighting: All primary structure entrances shall include dusk-to-dawn lighting for safety and security per subsection P of this section.

2. Interior-Facing Structures:

a. The primary entrance of each interior-facing structure shall be oriented toward paseos, courtyards, pathways, and active landscape areas.

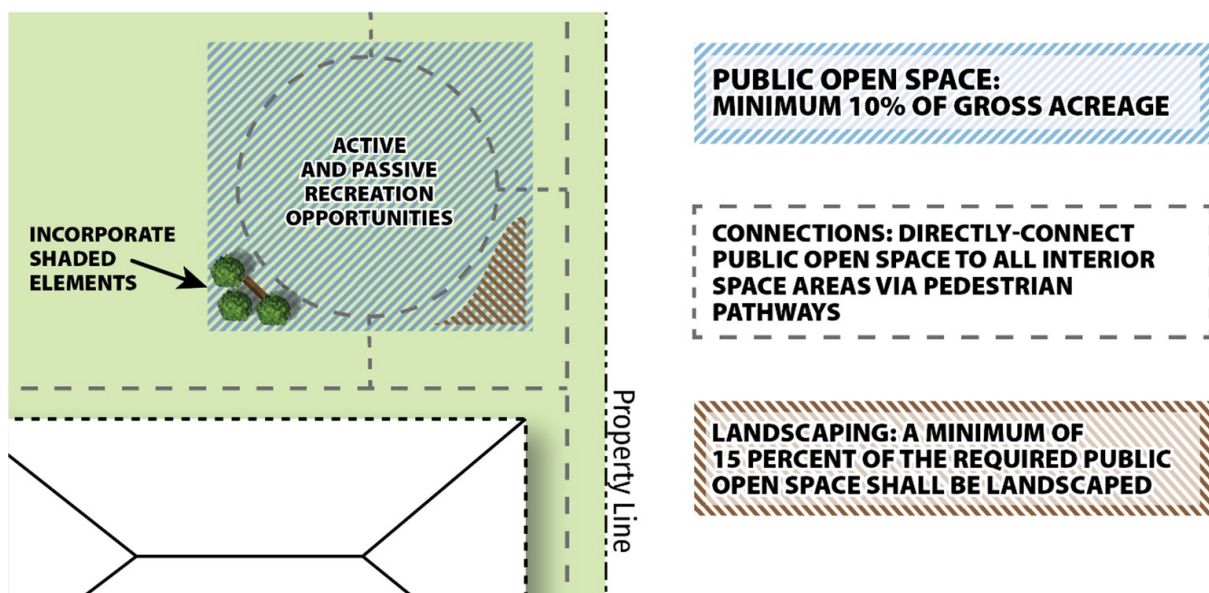
b. For safety, units not facing the street shall be oriented to provide visual access to entryways, pedestrian pathways, recreation areas, and common facilities from dwelling units.

K. Open Space: The following development standards apply to multifamily developments greater than four (4) dwelling units:

1. Public Open Space:

a. Public Open Space: Not less than ten percent (10%) of the gross acreage of the total project shall be set aside as public open space to allow for active and passive recreation opportunities and that includes shading elements to benefit all residents of the project, as shown in Figure 1-2. Open space ownership and maintenance shall be the responsibility of the property owner(s).

Figure 1-2: Configuration of Public Open Space



b. Connections: Public open space areas shall be directly connected to all interior space areas (i.e., community room, recreation room, exercise center), trash and recycling enclosures, laundry facilities (if applicable), structure entrances, parking areas, and mail delivery areas by pedestrian-oriented pathways.

c. Landscaping: A minimum of fifteen percent (15%) of the required public open space shall be landscaped with materials and plantings consistent with the standards in subsection L of this section (Landscaping) and the subject parcel's underlying base zone landscaping requirements.

d. Lighting: In addition to the exterior lighting standards in subsection P of this section, public open space areas shall incorporate accent lighting. Accent lighting may include string lighting in trees or crisscrossed over pedestrian areas via courtyards, or plazas; lighting in fountains; or lighting of significant structures or architectural design features.

e. Public Gathering Space: Public open space areas shall include a minimum of two (2) of the following public gathering spaces:

(1) Patio seating area for a minimum of eight (8) people. Patio seating can be fixed chairs and tables, table/bench combination, or landscape materials (i.e., slabs of stone or rock);

(2) Garden space;

(3) Water feature in the form of a fountain, bubblers, or water play pad;

(4) BBQ area no smaller than two hundred (200) square feet with a minimum of three (3) BBQs and tables; or

(5) Pedestrian plaza no smaller than two hundred (200) square feet with a minimum of four (4) benches.

f. Recreation Facilities: A maximum of twenty-five percent (25%) of the required public open space area may be paved for recreation facilities including but not limited to basketball courts, tennis courts, common playground, or swimming pools.

2. Private Open Space:

- a. Ground Floor Units: Each ground floor dwelling unit shall include a minimum of forty (40) square feet of private open space in the form of a covered or uncovered patio to allow for light, air, and privacy.
- b. Above-Ground-Floor Units: Each above-ground-floor dwelling unit shall include a minimum of forty (40) square feet of private open space in the form of a terrace, balcony, or rooftop patio to allow for light, air, and privacy.

L. Landscaping (see Figure 1-3):

1. Landscaping Plans: Existing features, such as trees, creeks, and riparian habitats shall be incorporated into landscaping plans.

2. Site Landscaping:

a. All street trees shall be planted consistent with the standard planting detail on file with the City Engineer.

b. Vegetation (i.e., bushes, shrubs, flowers) shall be maintained at a height of no more than three feet (3') when located adjacent to pedestrian pathways and building facades and placed in such a manner that does not obstruct lighting.

3. Irrigation: Site landscaping shall include an automated irrigation system with a minimum of seventy-five percent (75%) of system being drip irrigation to reduce water consumption.

4. Maintenance: All trees and on-site landscaping shall be maintained by the property owner.

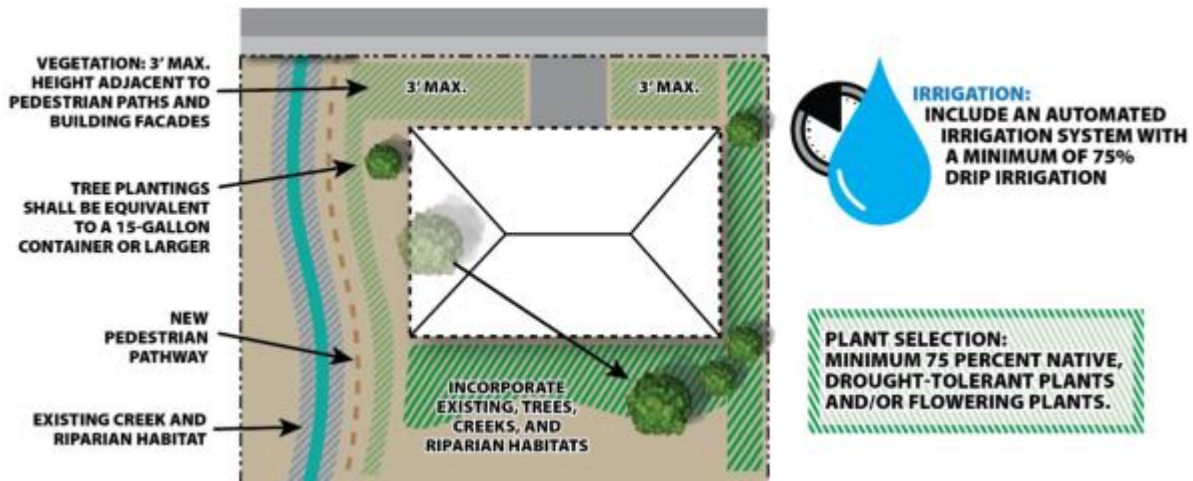
5. Landscaping Plant Selection:

a. Landscape planting shall consist of at least seventy-five percent (75%) native, drought-tolerant plants and/or flowering plants.

b. All tree plantings shall be equivalent to a fifteen (15) gallon container or larger.

c. Street trees shall be selected from the approved species on the Ukiah Master Tree List – Required Street Tree List.

Figure 1-3: Landscaping

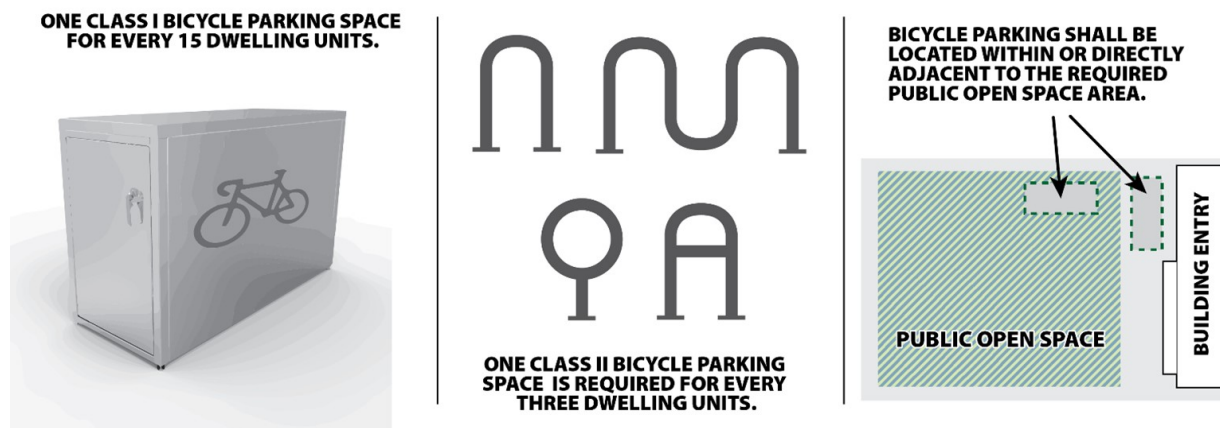


M. Personal Outdoor Storage Spaces: A minimum of ten (10) square feet (eighty (80) cubic feet) of personal outdoor storage space shall be provided for each dwelling unit. Personal outdoor storage areas shall be covered and able to be locked.

N. Bicycle Parking (see Figure 1-4):

1. Class I Bicycle Parking: One Class I bicycle parking space (i.e., bicycle locker) is required for every fifteen (15) dwelling units. The Class I bicycle space shall be located within or directly adjacent to the required public open space area.
2. Class II Bicycle Parking: For multifamily development projects greater than four (4) dwelling units, one Class II bicycle parking space (i.e., inverted U-rack, ribbon rack, wave rack) is required for every three (3) dwelling units. The Class II bicycle space shall be located within or directly adjacent to the required public open space area.

Figure 1-4: Bicycle Parking



O. Parking and Circulation:

1. Parking Areas:

a. Parking Lot Design and Location:

- (1) Parking is prohibited within required sight distance areas.
- (2) Multifamily development projects greater than fifteen (15) dwelling units shall not site more than fifty percent (50%) of the total parking stalls in a single parking area.
- (3) Multifamily development projects greater than four (4) dwelling units shall not provide parking areas between the building(s) and the primary street frontage.
- (4) Parking areas within a site shall be internally connected and use shared driveways.

b. Parking Lot Landscaping: The following development standards apply to multi-family developments greater than four (4) dwelling units:

- (1) Parking areas with twelve (12) or more parking stalls shall have a tree placed between every four (4) parking stalls with a continuous linear planting strip, rather than individual planting wells, unless infeasible.
- (2) Parking areas shall provide shade trees in landscaped areas and along pedestrian pathways. Parking areas shall be designed to provide a tree canopy coverage of fifty percent (50%) over all paved areas within ten (10) years of planting.
- (3) Parking areas shall provide a minimum ten-foot (10') buffer between the parking and structures. This buffer can include walkways and/or landscaping.
- (4) Parking areas shall use concrete curbing or raised planting areas to protect landscaped areas from encroaching vehicles.
- (5) At least seventy-five percent (75%) of parking lot trees shall be deciduous species.

c. Parking Lot Lighting: The following development standards apply to multifamily development projects greater than four (4) dwelling units.

- (1) Parking lots shall include pole-mounted lighting that shall be no more than sixteen feet (16') in height.
- (2) Parking lot lighting shall be directed downward to minimize glare.

d. Carports: Carports shall be reserved for vehicles and shall not be used as storage space.

e. Individual Garage Parking: For multifamily development projects greater than four (4) dwelling units, indoor vehicle parking in the form of garages is encouraged, but not required.

2. Required Parking:

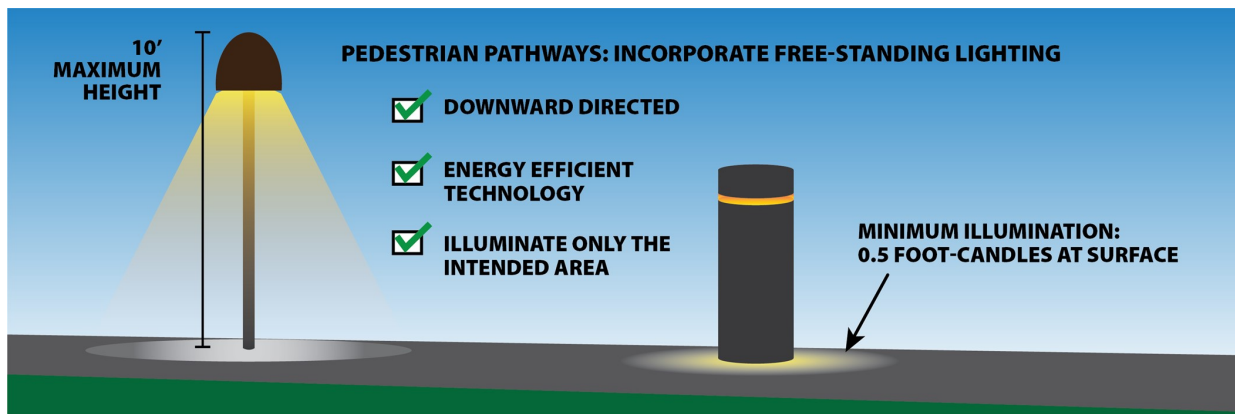
a. Guest Parking: A minimum of three (3) guest parking spaces shall be provided for every six (6) dwelling units.

b. Parking Standards: Multifamily dwelling parking standards shall be consistent with the parking regulations in Chapter 2, Article 17 of this division, with the exception of a minimum of one parking space per dwelling unit.

P. Exterior Lighting (see Figure 1-5):

1. Pedestrian-oriented lighting shall be provided in active pedestrian areas (i.e., paseos, interior sidewalks, pathways, etc.) for safety and security.
2. Pedestrian pathway (excluding street-fronting sidewalks) lighting features shall not exceed ten feet (10') in height.
3. Active pedestrian areas shall incorporate free-standing lighting separate from structures.
4. Pedestrian pathways, elevator lobbies, parking areas, stairwells, and other common areas shall have minimum illumination levels of one-half (0.5) foot-candle at the pathway surface to clearly show walking conditions.
5. Overhead sports court lighting shall illuminate only the intended area. Light trespass onto neighboring parcels is prohibited.
6. Outdoor lighting shall use energy efficient lighting technology and shall be shielded downward to reduce glare and light pollution.

Figure 1-5: Exterior Lighting



Q. Privacy: Any balcony, window, or door shall use at least one of the following development approaches to lessen the privacy impacts onto adjacent properties. These techniques include: use of obscured glazing, landscaped/privacy buffer in the required setback with a minimum of five feet (5'), window placement above eye level, or locating balconies, windows, and doors facing toward the street and backyard. Trees and landscaping used as a landscaped/privacy buffer shall be planted and maintained by the property owner to preserve the privacy of adjacent property owners.

R. Trash and Recycling Enclosures: The following trash and recycling enclosure development standards apply to multifamily development projects greater than four (4) dwelling units:

1. Walls either made of masonry, metal, or wood with finished metal doors.
2. Vehicle and pedestrian access gates.
3. Downward lighting for safety and security.

S. Structure Identification: Structure identification numbers shall be placed along pedestrian pathways and roads and shall be readable from a distance of at least sixty feet (60').

T. Signage and Information: Developments shall comply with the sign standards in Division 3, Chapter 7 of this code (Signs). In addition, all directional signage and informational kiosks (i.e., development maps) shall be located at the entrances of individual buildings and at convergences of main pedestrian pathways. (Ord. 1212, §7, adopted 2021)

§9055.2 DESIGN STANDARDS

A. Carports:

1. For multifamily development projects greater than four (4) dwelling units, carports shall not be visible from the street.

2. Carports shall include the approved color palette, materials, and design elements of the structure.

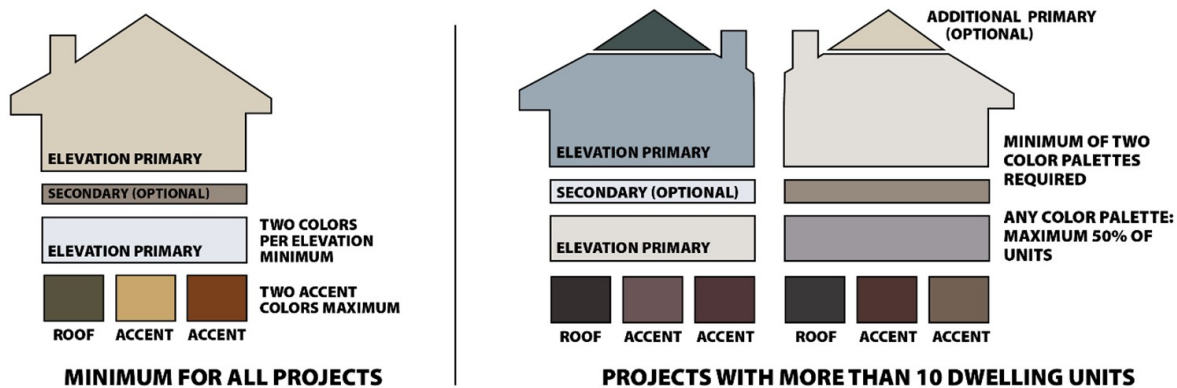
B. Color Palettes (see Figure 1-6):

1. All structures shall include at least one primary color and a maximum of two (2) accent colors, in addition to the color of the roofing material.

2. Each structure elevation shall include two (2) colors in the selected color palette.

3. Projects that include more than ten (10) dwelling units shall include at least two (2) color palettes, where no single-color palette shall be used on more than fifty percent (50%) of the dwelling units.

Figure 1-6: Color Palettes



C. Fences and Walls: The following materials are prohibited for all fences and walls:

1. Electrified;
2. Barbed wire/razor wire;
3. Sharp objects such as spires and glass;
4. Cyclone or chain link; and
5. Vinyl.

D. Glazing: Structures shall incorporate the use of energy efficient glazing to reduce heat loss and gain.

E. Common Mailboxes: Common mailboxes shall be painted using the approved color palette for the overall development.

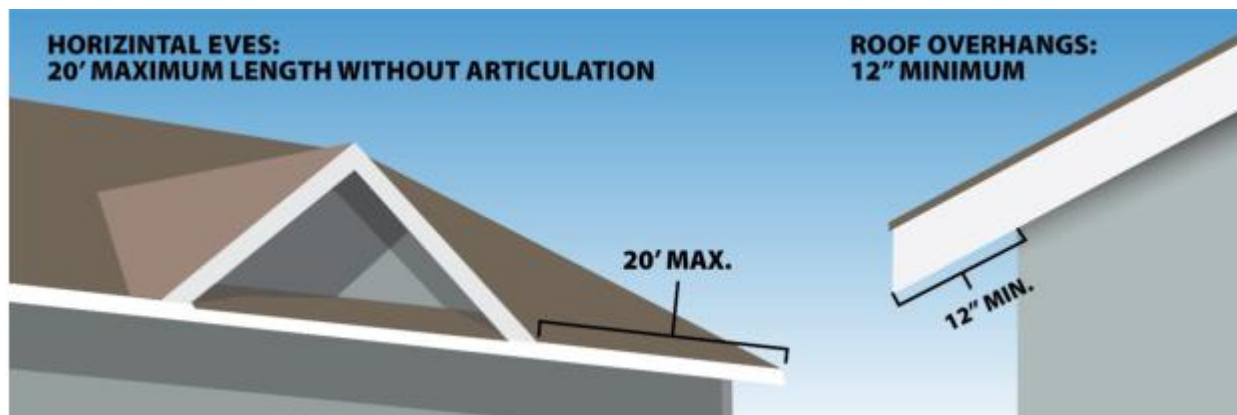
F. Trash and Recycling Enclosures: Trash and recycling enclosure walls and metal doors shall be painted in accordance with the approved color palette for the overall project.

G. Roof Design and Materials (see Figure 1-7):

1. Horizontal eaves longer than twenty feet (20') in length shall be broken up by gables, building projections, or other forms of articulation.

2. Roof overhangs shall be a minimum of twelve inches (12").

Figure 1-7: Roof Design



3. The following are allowable roofing materials:

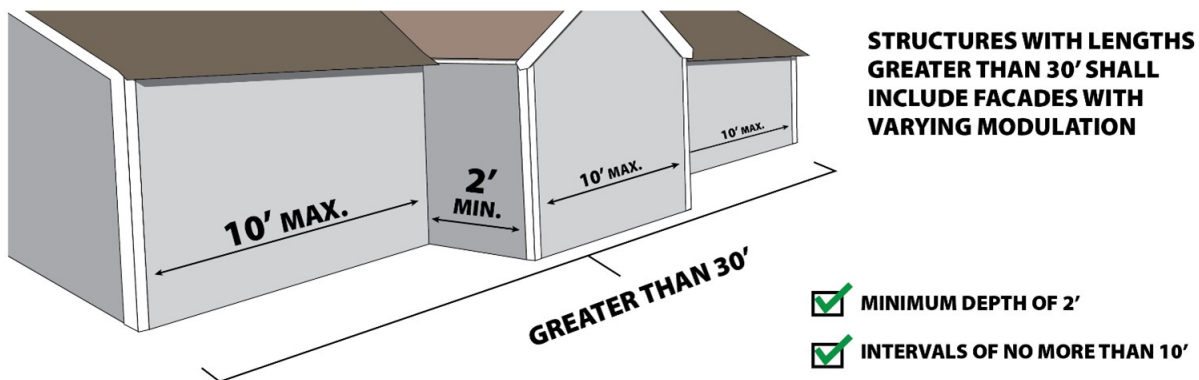
- a. Nonreflective standing seam metal roofs in shades of tan, brown, black, light blue, red, and green;
- b. Cool foam roofs (white);
- c. Clay tile; and
- d. Architectural composition shingles.

H. Screening: All screening of ground-mounted, wall-mounted, and roof-mounted equipment shall be painted in accordance with the approved color palette for the project. Visual screening shall be installed if ground-mounted or wall-mounted equipment faces the street.

I. Stairways/Stairwells: Exterior stairways/stairwells that are not enclosed shall not be visible from the public right-of-way.

J. Structure Massing: Structures that have a length longer than thirty feet (30') shall include facades with varying modulation with a minimum depth of two feet (2') at intervals of no more than ten feet (10'), as shown in Figure 1-8.

Figure 1-8: Structure Massing



K. Structure Materials and Elements:

1. Drainpipes, parapets, and ledges shall not be located near windows, corridors, and balconies. If such placement is not feasible, they shall face parking lots, public spaces, and roads.

2. All structures shall include a minimum of two (2) primary materials (i.e., stone, wood, masonry, or metal) on each structure elevation. Each material shall comprise at least twenty percent (20%) of the elevations excluding windows and railings.

3. All structures that use exterior veneers shall ensure the edge of the veneer is not obvious by prohibiting the use of vertical joints at exterior corners.

4. The following primary structure materials are prohibited:

- a. Heavy timber, exposed logs in their natural state;
- b. Stucco textured foam, synthetic stucco, vinyl or vinyl clad materials; and
- c. Unfinished galvanized metals. (Ord. 1212, §7, adopted 2021)



New Residential Construction Design and Development Standards Checklist

The following standards apply to all new residential construction projects, excluding single-family homes. Standards for the other reviewing departments have been added as a supplement to the packet. This checklist is a helpful tool to use during the design stage of the development to ensure your project qualifies to go straight to building permit submission, skipping the discretionary Planning permit process and saving both time and money. Applicants who choose not to adhere to the adopted Objective Standards may still proceed through the City's existing discretionary review process.



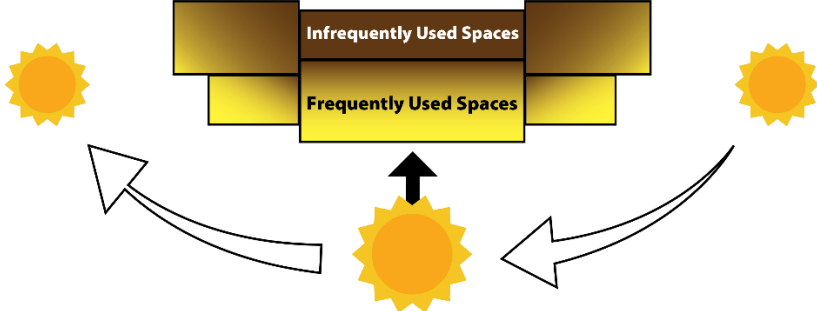
THE PROCESS:

1. Contact Community Development at the number above to schedule a Pre-Development Team Meeting. There is no cost to the developer for this service. The reviewing departments will provide location and project-specific feedback to assist in the development of a complete application.
2. After the Pre-Application Development Team Meeting, submit this completed checklist as part of your Building Permit plan check application.

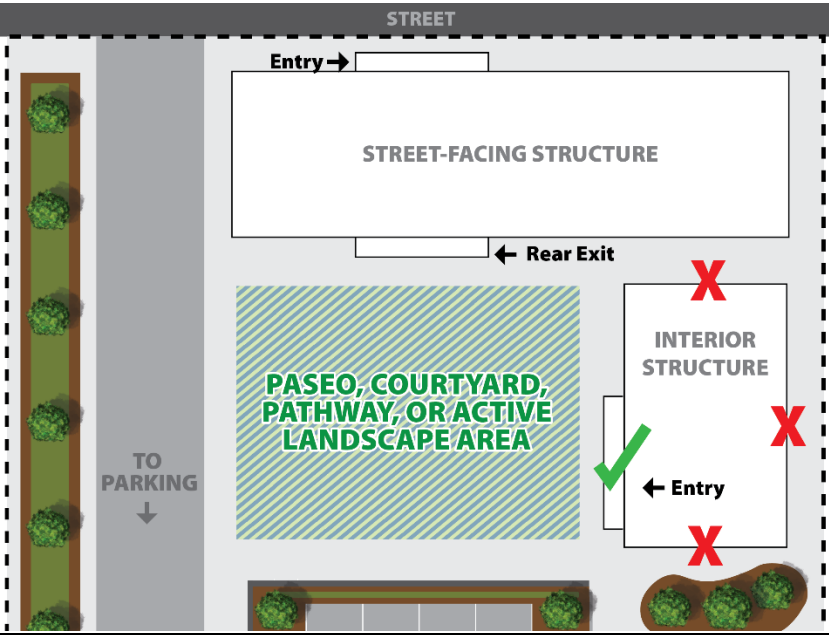


Development Standards

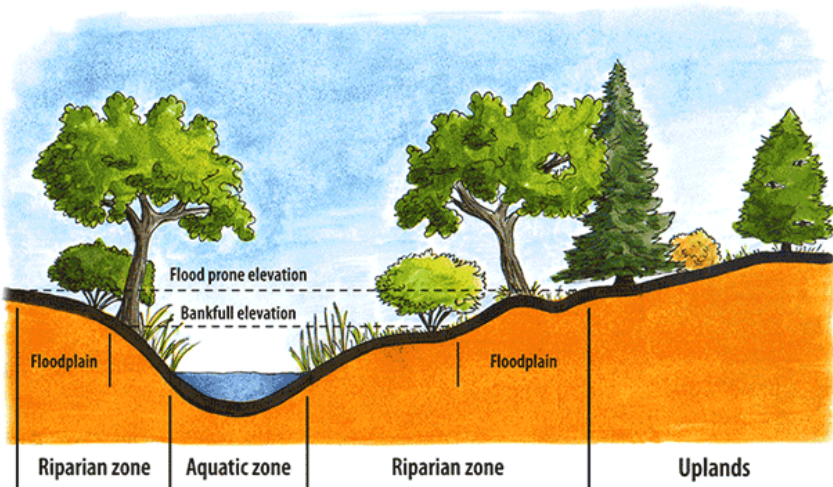
Use this checklist to ensure that your project design satisfies the criteria for ministerial review. Please include all information necessary to verify compliance on the plan set, indicating the sheet number where the information can be found.

Applicant Use:				Staff Use Only:	
Comply	N/A	Standard	Sheet #	Included	Missing
A. Setbacks					
		(1) Front: The front setback shall comply with the Project Site's zoning district front setback requirements.			
		(2) Setback Landscaping: Areas between the required setback and street improvements shall be landscaped per the landscaping requirements in subsection L of this section.			
		(3) Side (Interior):			
		a. Minimum Side Setbacks: There is no minimum interior side setback; provided, that structures comply with the building and fire code standards for structure separation.			
		b. Zero Setback: If zero setbacks are proposed, the side setback opposite the zero setback shall be a minimum of five feet (5').			
		(4) Rear: The rear setback shall comply with the base zone rear setback requirements.			
B. Property Access					
		Property Access. There shall be vehicular access from a dedicated and improved street, easement, or alley to off-street parking areas.			
C. Street Frontage					
		Street Frontage. Every primary residential structure shall have frontage on a public street or an accessway which has been approved for residential access by the City.			
D. Structure Orientation					
		Structure Orientation. Structures shall incorporate site design that reduces heating and cooling needs by orienting structures (both common facilities and dwelling units) on the parcel to reduce heat loss and gain, depending on the time of day and season of the year. Figure 1: Orientation to Reduce Heat Loss and Gain 			

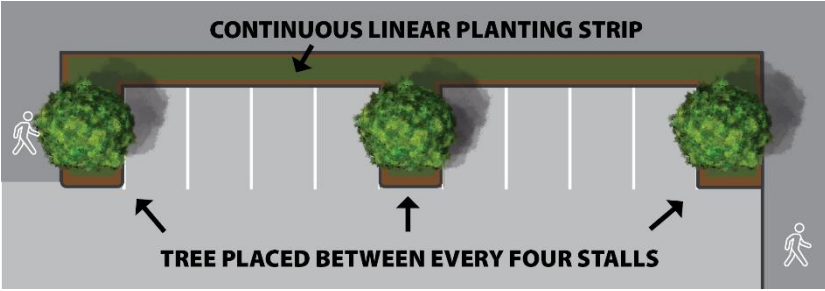
Applicant Use:				Staff Use Only:	
Comply	N/A	Standard	Sheet #	Included	Missing
E. Structure Height					
		Structure Height. Structure height shall comply with the base zone maximum allowable height.			
F. Alternative Energy Applications					
		Alternative Energy Applications. All structures shall be designed to allow for the installation of alternative energy technologies including but not limited to active solar, wind, or other emerging technologies, and shall comply with the following standards:			
		1. Installation of solar technology on structures such as rooftop photovoltaic cell arrays shall be installed in accordance with the State Fire Marshal safety regulations and guidelines.			
		2. Roof-mounted equipment shall be located in such a manner so as to not preclude the installation of solar panels. (see Ukiah City Code (UCC) §9055.1 DEVELOPMENT STANDARDS , Figure 1-1).			
G. Utility Lines					
		Utility Lines. All utility lines from the service drop to the structure shall be placed underground.			
H. HVAC Systems					
		HVAC Systems. All HVAC systems shall be located on the roof of the structure to minimize noise impacts to adjacent properties.			
I. Mail and Package Delivery Location					
		Mail and Package Delivery Location. For multifamily development projects greater than four (4) dwelling units, mailboxes and package delivery areas shall be in locations that are visible by residents at the interior of a structure entrance, elevator lobby, or stairwell.			
J. Primary Entrances					
		(1) Entry Lighting. All primary structure entrances shall include dusk to dawn lighting for safety and security per Section P in this checklist.			
		(2) Interior-Facing Structures.			
		a. The primary entrance of each interior-facing structure shall be oriented toward paseos, courtyards, pathways, and active landscape areas.			

Applicant Use:				Staff Use Only:	
Comply	N/A	Standard	Sheet #	Included	Missing
		Figure 2: Interior-facing Structures (Structures not facing a public street) 			
		b. For safety, units not facing the street shall be oriented to provide visual access to entryways, pedestrian pathways, recreation areas, and common facilities from dwelling units.			
K. Open Space					
		Open Space. The following development standards apply to multifamily developments greater than four (4) dwelling units:			
		1. Public Open Space:			
		a. Public Open Space: Not less than ten percent (10%) of the gross acreage of the total project shall be set aside as public open space to allow for active and passive recreation opportunities and that includes shading elements to benefit all residents of the project (see (UCC) §9055.1 DEVELOPMENT STANDARDS, Figure 1-2). Open space ownership and maintenance shall be the responsibility of the property owner(s).			
		b. Connections: Public open space areas shall be directly connected to all interior space areas (i.e., community room, recreation room, exercise center), trash and recycling enclosures, laundry facilities (if applicable), structure entrances, parking areas, and mail delivery areas by pedestrian-oriented pathways.			
		c. Landscaping: A minimum of fifteen percent (15%) of the required public open space shall be landscaped with materials and plantings consistent with the standards in subsection L of this section (Landscaping) and the subject parcel's underlying base zone landscaping requirements.			

Applicant Use:				Staff Use Only:	
Comply	N/A	Standard	Sheet #	Included	Missing
		d. Lighting: In addition to the exterior lighting standards in subsection P of this section, public open space areas shall incorporate accent lighting. Accent lighting may include string lighting in trees or crisscrossed over pedestrian areas, courtyards, or plazas; lighting in fountains; or lighting of significant structures or architectural design features.			
		e. Public Gathering Space: Public open space areas shall include a minimum of two (2) of the following public gathering spaces:			
		(1) Patio seating area for a minimum of eight (8) people. Patio seating can be fixed chairs and tables, table/bench combination, or landscape materials (i.e., slabs of stone or rock);			
		(2) Garden space;			
		(3) Water feature in the form of a fountain, bubblers, or water play pad;			
		(4) BBQ area no smaller than two hundred (200) square feet with a minimum of three (3) BBQs and tables; or			
		(5) Pedestrian plaza no smaller than two hundred (200) square feet with a minimum of four (4) benches.			
		f. Recreation Facilities: A maximum of twenty-five percent (25%) of the required public open space area may be paved for recreation facilities including but not limited to basketball courts, tennis courts, common playground, or swimming pools.			
		(2) Private Open Space:			
		a. Ground Floor Units: Each ground floor dwelling unit shall include a minimum of forty (40) square feet of private open space in the form of a covered or uncovered patio to allow for light, air, and privacy.			
		b. Above-Ground-Floor Units: Each above-ground-floor dwelling unit shall include a minimum of forty (40) square feet of private open space in the form of a terrace, balcony, or rooftop patio to allow for light, air, and privacy.			
L. Landscaping					
		(1) Landscaping Plans. Existing features, such as trees, creeks, and riparian habitats shall be incorporated into landscaping plans. The riparian area is the interface between land and a river or stream.			

Applicant Use:				Staff Use Only:	
Comply	N/A	Standard	Sheet #	Included	Missing
		Figure 4: Riparian Corridor  Source: slco.org			
		(2) Site Landscaping.			
		a. All street trees shall be planted consistent with the standard planting detail on file with the City Engineer. The Ukiah Required Street Tree List is available under “Tree Lists” at www.cityofukiah.com/documents-and-maps/.			
		b. Vegetation (i.e., bushes, shrubs, flowers) shall be maintained at a height of no more than three feet (3') when located adjacent to pedestrian pathways and building facades and placed in such a manner that does not obstruct lighting.			
		(3) Irrigation. Site landscaping shall include an automated irrigation system with a minimum of seventy-five percent (75%) of system being drip irrigation to reduce water consumption.			
		(4) Maintenance. All trees and on-site landscaping shall be maintained by the property owner.			
		(5) Landscaping Plant Selection.			
		a. Landscape planting shall consist of at least seventy-five percent (75%) native, drought-tolerant plants and/or flowering plants.			
		b. All tree plantings shall be equivalent to a fifteen (15) gallon container or larger.			
		c. Street trees shall be selected from the approved species on the Ukiah Master Tree List - Required Street Tree List. This list is available under “Tree Lists” at www.cityofukiah.com/documents-and-maps/.			

Applicant Use:				Staff Use Only:	
Comply	N/A	Standard	Sheet #	Included	Missing
M. Personal Outdoor Storage Spaces					
		Personal Outdoor Storage Spaces. A minimum of ten (10) square feet (eighty (80) cubic feet) of personal outdoor storage space shall be provided for each dwelling unit. Personal outdoor storage areas shall be covered and able to be locked.			
N. Bicycle Parking					
		(1) Class I Bicycle Parking. One Class I bicycle parking space (i.e., bicycle locker) is required for every fifteen (15) dwelling units. The Class I bicycle space shall be located within or directly adjacent to the required public open space area.			
		(2) Class II Bicycle Parking. For multifamily development projects greater than four (4) dwelling units, one Class II bicycle parking space (i.e., inverted U-rack, ribbon rack, wave rack) is required for every three (3) dwelling units. The Class II bicycle space shall be located within or directly adjacent to the required public open space area. Figure 5: Class II Bicycle Parking Examples 			
O. Parking and Circulation					
		(1) Parking Areas.			
		a. Parking Lot Design and Location			
		(1) Parking is prohibited within required sight distance areas. Sight distance area is the area visible to the driver of a vehicle. The site distance area is reviewed and approved by the Public Works Department.			
		(2) Multifamily development projects greater than fifteen (15) dwelling units shall not site more than fifty percent (50%) of the total parking stalls in a single parking area.			
		(3) Multifamily development projects greater than four (4) dwelling units shall not provide parking areas between the building(s) and the primary street frontage.			
		(4) Parking areas within a site shall be internally connected and use shared driveways.			
		b. Parking Lot Landscaping: The following development standards apply to multifamily development projects greater than four (4) dwelling units. The Ukiah Required Parking Lot Tree List is available online under “Tree Lists” at www.cityofukiah.com/documents-and-maps .			

Applicant Use:				Staff Use Only:	
Comply	N/A	Standard	Sheet #	Included	Missing
		(1) Parking areas with twelve (12) or more parking stalls shall have a tree placed between every four (4) parking stalls with a continuous linear planting strip, rather than individual planting wells, unless infeasible. Figure 6: Parking Lot Tree Requirement  CONTINUOUS LINEAR PLANTING STRIP TREE PLACED BETWEEN EVERY FOUR STALLS			
		(2) Parking areas shall provide shade trees in landscaped areas and along pedestrian pathways. Parking areas shall be designed to provide a tree canopy coverage of fifty percent (50%) over all paved areas within ten (10) years of planting.			
		(3) Parking areas shall provide a minimum ten-foot (10') buffer between the parking and structures. This buffer can include walkways and/or landscaping.			
		(4) Parking areas shall use concrete curbing or raised planting areas to protect landscaped areas from encroaching vehicles.			
		(5) At least seventy-five percent (75%) of parking lot trees shall be deciduous species.			
		c. Parking Lot Lighting: The following development standards apply to multifamily development projects greater than four (4) dwelling units.			
		(1) Parking lots shall include pole-mounted lighting that shall be no more than sixteen feet (16') in height.			
		(2) Parking lot lighting shall be directed downward to minimize glare.			
		d. Carports: Carports shall be reserved for vehicles and shall not be used as storage space.			
		e. Individual Garage Parking: For multifamily development projects greater than four (4) dwelling units, indoor vehicle parking in the form of garages is encouraged, but not required.			
		(2) Required Parking:			
		a. Guest Parking: A minimum of three (3) guest parking spaces shall be provided for every six (6) dwelling units.			
		b. Parking Standards: Multifamily dwelling parking standards shall be consistent with the parking regulations in Chapter 2, Article 17 OFF-STREET PARKING AND LOADING, with the exception of a minimum of one parking space per dwelling unit.			

Applicant Use:				Staff Use Only:	
Comply	N/A	Standard	Sheet #	Included	Missing
P. Exterior Lighting					
		(1) Pedestrian-oriented lighting shall be provided in active pedestrian areas (i.e., paseos, interior sidewalks, pathways, etc.) for safety and security.			
		(2) Pedestrian pathway (excluding street-fronting sidewalks) lighting features shall not exceed ten feet (10') in height.			
		(3) Active pedestrian areas shall incorporate free-standing lighting separate from structures.			
		(4) Pedestrian pathways, elevator lobbies, parking areas, stairwells, and other common areas shall have minimum illumination levels of one-half (0.5) foot-candle at the pathway surface to clearly show walking conditions.			
		(5) Overhead sports court lighting shall illuminate only the intended area. Light trespass onto neighboring parcels is prohibited.			
		(6) Outdoor lighting shall use energy efficient lighting technology and shall be shielded downward to reduce glare and light pollution.			
Q. Privacy					
		(1) Privacy. Any balcony, window, or door shall use at least one of the following development approaches to lessen the privacy impacts onto adjacent properties. These techniques include: use of obscured glazing, landscaped/privacy buffer in the required setback with a minimum of five feet (5'), window placement above eye level, or locating balconies, windows, and doors facing toward the street and backyard. Trees and landscaping used as a landscaped/privacy buffer shall be planted and maintained by the property owner to preserve the privacy of adjacent property owners.			
R. Trash and Recycling Enclosures					
		Trash and Recycling Enclosures. The following trash and recycling enclosure development standards apply to multifamily development projects greater than four (4) dwelling units:			
		(1) Walls either made of masonry, metal, or wood with finished metal doors.			
		(2) Vehicle and pedestrian access gates.			
		(3) Downward lighting for safety and security.			
S. Structure Identification					
		Structure Identification. Structure identification numbers shall be placed along pedestrian pathways and roads and shall be readable from a distance of at least sixty feet (60').			

Applicant Use:			
Comply	N/A	Standard	Sheet #
T. Signage and Information			
		Signage and Information. Developments shall comply with the sign standards in Division 3, Chapter 7 of the Ukiah Municipal Code (Signs). In addition, all directional signage and informational kiosks (i.e., development maps) shall be located at the entrances of individual buildings and at convergences of main pedestrian pathways.	

Staff Use Only:	
Included	Missing

Design Standards

These [Objective Design Standards](#) may be applied to duplexes, triplexes, four-plexes, and projects greater than four (4) dwelling units.

Applicant Use:				Staff Use Only:	
Comply	N/A	Standard	Sheet #	Included	Missing
A. Carports					
		(1) For multifamily development projects greater than four (4) dwelling units, carports shall not be visible from the street.			
		(2) Carports shall include the approved color palette, materials, and design elements of the structure.			
B. Color Palettes					
		(1) All structures shall include at least one primary color and a maximum of two (2) accent colors, in addition to the color of the roofing material.			
		(2) Each structure elevation shall include two (2) colors in the selected color palette.			
		(3) Projects that include more than ten (10) dwelling units shall include at least two (2) color palettes, where no single-color palette shall be used on more than fifty percent (50%) of the dwelling units.			
C. Fences and Walls					
		Fences and Walls. The following materials are prohibited for all fences and walls: 1. Electrified; 2. Barbed wire/razor wire; 3. Sharp objects such as spires and glass; 4. Cyclone or chain link; and 5. Vinyl.			
D. Glazing					
		Glazing. Structures shall incorporate the use of energy efficient glazing to reduce heat loss and gain.			
E. Common Mailboxes					
		Common Mailboxes. Common mailboxes shall be painted using the approved color palette for the overall development.			
F. Trash and Recycling Enclosures					
		Trash and Recycling Enclosures. Trash and recycling enclosure walls and metal doors shall be painted in accordance with the approved color palette for the overall project.			

Applicant Use:				Staff Use Only:	
Comply	N/A	Standard	Sheet #	Included	Missing
G. Roof Design and Materials					
		(1) Horizontal eaves longer than twenty feet (20') shall be broken up by gables, building projections, or other forms of articulation. Articulation, in this instance, means the breaking up of large, otherwise featureless spaces or masses. Figure 7: Roofline Articulation			
		(2) Roof overhangs shall be a minimum of twelve inches (12").			
		(3) The following are allowable roofing materials:			
		a. Nonreflective standing seam metal roofs in shades of tan, brown, black, light blue, red, and green;			
		b. Cool foam roofs (white);			
		c. Clay tile; and			
		d. Architectural composition shingles.			
H. Screening					
		Screening. All screening of ground-mounted, wall-mounted, and roof-mounted equipment shall be painted in accordance with the approved color palette for the project. Visual screening shall be installed if ground-mounted or wall-mounted equipment faces the street.			
I. Stairways/Stairwells					
		Stairways/Stairwells. Exterior stairways/stairwells that are not enclosed shall not be visible from the public right-of-way.			

Applicant Use:				Staff Use Only:	
Comply	N/A	Standard	Sheet #	Included	Missing
J. Structure Massing					
		Structure Massing. Structures that have a length longer than thirty feet (30') shall include facades with varying modulation with a minimum depth of two feet (2') at intervals of no more than ten feet (10') (see UCC §9055.2 DESIGN STANDARDS, Figure 1-8). Figure 8: Varying façade modulation 			
K. Structure Materials and Elements					
		(1) Drainpipes, parapets, and ledges shall not be located near windows, corridors, and balconies. If such placement is not feasible, they shall face parking lots, public spaces, and roads.			
		(2) All structures shall include a minimum of two (2) primary materials (i.e., stone, wood, masonry, or metal) on each structure elevation. Each material shall comprise at least twenty percent (20%) of the elevations excluding windows and railings.			
		(3) All structures that use exterior veneers shall ensure the edge of the veneer is not obvious by prohibiting the use of vertical joints at exterior corners.			
		(4) The following primary structure materials are prohibited:			
		a. Heavy timber, exposed logs in their natural state;			
		b. Stucco textured foam, synthetic stucco, vinyl or vinyl clad materials; and			
		c. Unfinished galvanized metals.			



Housing Development Packet Supplemental Information from Reviewing Departments

The City of Ukiah supports an increase in housing opportunities for households with incomes at all levels, and continually seeks ways to streamline the housing development process. This Supplement includes project criteria required by the departments reviewing the building permit application, and is to be used to assist prospective developers prior to submitting an application.

The following standards apply to all new residential construction projects except single-family dwellings.

Community Development Department – Building Division (707) 463-6268; BuildingDivision@CityofUkiah.com

- The design and construction of all site alterations shall comply with the current versions (at the date of submission of the building permit application) of the following: California Building Code, Plumbing Code, Electrical Code, California Mechanical Code, California Fire Code, California Energy Code, Title 24 California Energy Efficiency Standards, California Green Building Standards Code and City of Ukiah Ordinances and Amendments.
- Backflow devices are required on domestic water lines on buildings that are two-stories and higher.

The Building Permit Application form and Checklist for Accepting Residential Permit Applications, as well as other helpful handouts can be found on the Building Division webpage, www.cityofukiah.com/building-services/.

Ukiah Valley Fire Authority (707) 462-2938

- The design and construction of all site alterations shall comply with the current versions of the California Fire Code, Title 19, and all other pertinent codes and standards.

Electric Utility Department (707) 467-5711 (Program Coordinator)

- All utility lines from the structure to the first point of interconnection at the utility are to be placed underground.
- Building permit submittal shall include load calculations. During building permit application review, the specific service requirements, voltage, developer costs, utility easements, and additional requirements will be determined.

Public Works Department (707) 463-6282 (Permits, Easements)

- All work within the public right-of-way shall be performed by a licensed and properly insured contractor. The contractor shall obtain an encroachment permit for work within this area. Encroachment permit fee shall be \$45 plus 3% of estimated construction costs. Any disturbed areas in the public right-of-way will be subject to applicable trench cut fees.

- Any existing curb and gutter in disrepair that is adjacent to the subject property shall be repaired. All work shall be done in conformance with the City of Ukiah Standard Drawings 101 and 102 or as directed by the City Engineer.
- Provide itemized Engineer's Estimates of cost for site improvements (excluding joint trench utilities) and separately, for the public improvements within the street right-of-way.
- Applicant shall upgrade existing sidewalk along subject property frontage to meet ADA requirements, including at the existing driveway approach and/or curb ramp. Public sidewalk improvements outside of the street right-of-way will require a sidewalk easement dedicated to the City.

STREET TREE INFO WITH FRONTAGE INFO

- If the building permit value is equal to or greater than one-third of the value of the existing structure, curb, gutter, sidewalk and street trees shall be provided along the subject property street frontage pursuant to Section 9181 of the Ukiah City Code. This shall include the repair or upgrade of existing curb, gutter, sidewalk, driveway approaches and/or curb ramps to meet current ADA standards, and the planting of street trees as required.
- Standard street tree requirements include street trees spaced approximately every 30 feet along the public street, within tree wells where feasible, otherwise within 5 feet of the back of sidewalk. Street trees shall be installed in accordance with City Standard Drawing No 601. Tree types shall be approved by the City Engineer.

WATER METER

- Capital Improvement fees for water service are based on the water meter size. A fee schedule for water meter sizes is available upon request. Additionally, there is a cost for the City to construct the water main taps for the proposed water services to serve the project.

BACKFLOW DEVICES

- All irrigation and fire services shall have approved backflow devices.

SEWER

- Existing sewer laterals planned to be utilized as part of this project shall be cleaned and tested and replaced if required. If an existing lateral is to be abandoned, it shall be abandoned at the main to the satisfaction of the Public Works Department.
- The proposed structure shall be separately connected to the sewer main, unless this requirement is waived by the City Engineer. Existing sewer laterals shall be cleaned and tested in accordance with City of Ukiah Ordinance No. 1105 and replaced if required.

EROSION CONTROL - DRAINAGE- STORM WATER

- If the project area disturbs greater than one acre, the applicant must obtain a Storm Water Permit from the Regional Water Quality Control Board prior to construction. The Storm Water Pollution Prevention Plan (SWPPP) shall be prepared by a Qualified SWPPP Developer, and implemented by a Qualified SWPPP Practitioner. Also, an Air Quality Permit from the Mendocino County Air Quality Control Board will be required.
- A detailed sediment and erosion control plan shall be included with the project plans, prepared by a Civil Engineer or other licensed erosion control specialist.
- Construction operations shall incorporate best management practices as necessary to prevent sediment from entering the streets and storm drains. Disturbed areas and stockpiles within the property shall be protected and monitored, and silt fence or other measures installed if needed to contain sediment. Streets and sidewalks shall be kept clean and clear of dust and debris at all times.

- Prior to construction of site improvements, a final grading and drainage plan, and an erosion and sediment control plan, prepared by a Civil Engineer, shall be submitted for review and approval by the Department of Public Works. A final drainage report shall be provided to support the design of the proposed drainage system.
- Grading operations shall incorporate best management practices as necessary to minimize erosion and prevent sediment from entering the creek. Disturbed areas within the property shall be protected as soon as possible and monitored during the rainy season, and silt fence or other measures installed if needed to contain sediment until permanent soil stabilization is established.
- Roof drains shall be designed to maximize infiltration into landscaped areas, and not discharge directly into storm drains or into the street.
- The project engineer shall provide direct oversight and inspection during project construction, with special attention to implementation of best management practices for sediment and erosion control, and the proper grading, installation, and landscaping of the bioretention areas. Upon completion of the work, a report shall be submitted by the project engineer to the Department of Public Works stating that the improvements have been completed in accordance with the approved plans and conditions of approval, shall function as intended, and all areas have been permanently stabilized to prevent sediment and erosion

FLOOD PLAIN

- If the property is located within the floodplain and is subject to the floodplain provisions of the California Building Code and National Flood Insurance Program requirements. Based on the estimated value of work being more than 50 percent of the assessed valuation of the structure, the proposed work is considered a “substantial improvement,” for purposes of flood plain management. Therefore, verification will be required that the entire existing structure, including any additions, is constructed at or above the base flood elevation. (Note that the “substantial improvement” determination may be re-evaluated by the City based upon a certified appraisal of the market value of the structure furnished by the applicant.) The following shall be required:
 - o A pre-construction elevation certificate, based on the plans, will be required prior to the issuance of a building permit.
 - o A post construction elevation certificate based on construction will be required prior to final inspection.

PAVING

- All areas of circulation should be paved with a minimum of 2” of AC on 6” of Base or other suitable surface approved by the City Engineer. This includes the proposed driveways and parking areas. If heavy truck traffic is anticipated from the solid waste company, delivery trucks, or other heavy vehicles, the pavement section should be calculated appropriately to ensure that it can withstand the loading.

STORM DRAIN

- Storm drain inlet filters shall be installed and maintained in all on-site storm drain inlets within paved areas.
- The development application should include a conceptual grading and drainage plan, prepared by a Civil Engineer, showing existing and proposed storm drain facilities, existing and proposed grades, and drainage patterns of adjoining areas. Any downstream drainage impacts should be identified and addressed. We recommend the addition of post-construction BMP’s (best management practices) in the design of the development where feasible. Such measures may include vegetated swales and/or pervious pavement to infiltrate and treat roof and pavement run-off.
- Maintenance and inspection of all post-construction best management practices (BMPs) are the responsibility of the property owner. In accordance with the LID Manual, a legally binding, signed maintenance agreement approved by the City of Ukiah is required for the proposed storm water

treatment planters and all post-construction BMPs, and shall be recorded prior to final approval of the building permit.

- Should improvements exceed 10,000 square feet of new or replaced impervious surface, post-construction storm water mitigation measures may be required.