



Planning Commission

Regular Meeting **AGENDA**

(to be held both at the physical and virtual locations below)

Civic Center Council Chamber ♦ 300 Seminary Avenue ♦ Ukiah, CA 95482

To participate virtually, go to the following link: <https://us06web.zoom.us/j/91264543193>

To view the meeting (without participating) go to: <http://www.cityofukiah.com/meetings/>

Or you can call in using your telephone only:

- Toll-free 1-669-444-9171
- Enter the Access Code: 912 6454 3193
- Raise hand: after being recognized, Enter *9
- To Speak after being recognized: enter *6 to unmute yourself

September 13, 2023 - 6:00 PM

1. **CALL TO ORDER**

2. **ROLL CALL**

3. **PLEDGE OF ALLEGIANCE**

4. **APPROVAL OF MINUTES**

4.a. Approval of the Minutes of August 9, 2023, a Regular Meeting

Recommended Action: Approve the Minutes of August 9, 2023, a Regular Meeting

Attachments:

1. August 9, 2023, Planning Commission Meeting Minutes

5. **APPEAL PROCESS**

All determinations of the Planning Commission regarding major discretionary planning permits are final unless a written appeal stating the reasons for the appeal is filed with the City Clerk within ten (10) days of the date the decision was made. An interested party may appeal only if he or she appears and states his or her position during the hearing on the decision from which the appeal is taken. For items on this agenda, the appeal must be received by September 25, 2023.

6. **COMMENTS FROM AUDIENCE ON NON-AGENDA ITEMS**

The Planning Commission welcomes input from the audience that is within the subject matter jurisdiction of the Planning Commission. In order for everyone to be heard, please limit your comments to three (3) minutes per person and not more than ten (10) minutes per subject. The Brown Act regulations do not allow action to be taken on audience comments.

7. **SITE VISIT VERIFICATION**

8. **VERIFICATION OF NOTICE**

9. **PLANNING COMMISSIONERS REPORT**

10. **DIRECTOR'S REPORT**

10.a. Receive Community Development Director's Report.

Recommended Action: Receive Community Development Director's Report.

Attachments:

1. Planning Division Projects Report - 9-1-23

11. **CONSENT CALENDAR**

12. **UNFINISHED BUSINESS**

12.a. Receive Bi-Annual Status Update and Report Regarding Community Center and Winter Homeless Shelter at 1045 South State Street.

Recommended Action: Receive status update and report regarding the Building Bridges Community Center and Winter Homeless Shelter at 1045 S State St and discuss with Staff.

Attachments:

1. CFS 1045 S STATE ST

13. **NEW BUSINESS**

13.a. Ordinance Amendment to Ukiah City Code to Update the City's Objective Design and Development Standards for New Multi-family Residential Construction.

Recommended Action: Adopt a resolution making the Planning Commission's report and recommendation to the City Council on a proposed amendment to Ukiah City Code regarding previously adopted objective design and development standards.

Attachments:

1. Ordinance Amendment - Redline
2. Ordinance Amendment - Clean
3. Planning Commission - Draft Resolution
4. Design Review Board – Draft Minutes (July 27, 2023)
5. Handout - Objective Design & Development Standards (Existing Regulations)

14. **ADJOURNMENT**

Please be advised that the City needs to be notified 72 hours in advance of a meeting if any specific accommodations or interpreter services are needed in order for you to attend. The City complies with ADA requirements and will attempt to accommodate individuals with disabilities upon a reasonable request. Materials related to an item on this Agenda submitted to the Planning Commission after distribution of the agenda packet are available at the Civic Center 300 Seminary Ave. Ukiah, CA 95482; and online at www.cityofukiah/meetings/ at the end of the next business day.

I hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda was posted on the bulletin board at the main entrance of the City of Ukiah City Hall, located at 300 Seminary Avenue, Ukiah, California, not less than 72 hours before the meeting set forth on this agenda.

Dated: September 6, 2023
Stephanie Abba, Planning Commission Secretary

**CITY OF UKIAH
PLANNING COMMISSION MINUTES
REGULAR MEETING**
Civic Center Council Chamber ♦ 300 Seminary Avenue ♦ Ukiah, CA
95482 Virtual Meeting Link: <https://zoom.us/j/91264543193>

**August 9, 2023
6:00 p.m.**

1. CALL TO ORDER

The City of Ukiah Planning Commission held a Regular Meeting on August 9, 2023. The meeting was legally noticed on August 1, 2023. The meeting was held in person and at the following virtual link: <https://zoom.us/j/91264543193>. Chair Mark Hilliker called the meeting to Order at 6:00 p.m.

CHAIR M. HILLIKER PRESIDING.

2. ROLL CALL

Roll was taken with the following **Commissioners Present:** Alex deGrassi, Rick Johnson, and Chair Mark Hilliker. **Commissioners Absent:** Thao Phi **Staff Present:** Craig Schlatter, Community Development Director; and Stephanie Abba, Planning Commission Secretary.

3. PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was recited.

4. APPROVAL OF MINUTES

a. Approval of the Minutes of July 26, 2023, a Regular Meeting.

Motion/Second: R. Johnson/M. Hilliker to approve the Minutes of July 26, 2023, a Regular Meeting as submitted. Roll call votes: AYES: R. Johnson, and Chair M. Hilliker. NOES: None ABSENT: T. Phi ABSTAIN: A. de Grassi. **Motion** fails due to Lack of Quorum.

5. APPEAL PROCESS

Chair Hilliker stated that the appeals deadline date is August 21, 2023. No appeals were received.

6. COMMENTS FROM THE AUDIENCE ON NON-AGENDA ITEMS

No Comments from Audience

7. SITE VISIT VERIFICATION

Site Verified

8. VERIFICATION OF NOTICE

Verified by Staff

9. PLANNING COMMISSIONERS REPORTS

Commissioner A. deGrassi asked about Code Enforcement – Cookies Dispensary has not planted the trees yet. Are the Conditions of the building permit approval enforced? C. Schlatter responded.

Commissioner M. Hilliker asked about the construction on Gobbi St. – Code Enforcement – is there an Inspector onsite? C. Schlatter responded.

10. **DIRECTOR'S REPORT**

Presenter: Craig Schlatter, Community Development Director.

Report received

11. **CONSENT CALENDAR**

No items on the Consent Calendar

12. **UNFINISHED BUSINESS**

a. Receive Training and Discuss Brown Act Updates for 2023

Presenter: Darcy Vaughn, City Assistant Attorney

The Commissioners received training regarding the Brown Act Updates for 2023 and Rules for Remote Participation for Meetings.

13. **NEW BUSINESS**

No New Business was agendized.

14. **ADJOURNMENT**

There being no further business, the meeting adjourned at 6:43 p.m.

Stephanie Abba, Planning Commission Secretary



AGENDA SUMMARY REPORT

SUBJECT: Receive Community Development Director's Report.

DEPARTMENT: Community
Development

PREPARED BY: Craig Schlatter, Community Development Director

PRESENTER: Craig Schlatter, Community Development
Director

ATTACHMENTS:

1. Planning Division Projects Report - 9-1-23

Summary: Planning Commission will receive the Community Development Director's report.

Background: Director's Reports are bi-monthly oral reports given by the Community Development Director on the status of projects of the Planning Division of the Community Development Department. Updates may include, but are not limited to, application status of major and minor discretionary permits, the implementation status of advanced planning and related 2040 General Plan programs and projects, and updates related to the activities of other divisions of the Department.

Discussion: This report is expected to provide updates in the following areas:

- September 2023 Planning Division Projects report (Attachment 1). The September 2023 report and previous monthly reports are also located on the Planning Services Division webpage, under "Current Planning Reports": <https://cityofukiah.com/community-development/planning-services>
- Status of in-progress advanced planning activities
- Update on the Department's new Business Licenses Division

Recommended Action: Receive Community Development Director's Report.



**City of Ukiah
Submitted Planning Applications**

As of 9/1/2023

Permit #	Site Address	Date of Submittal/ Resubmittal	Summary of Project	Status	Assigned Planner
23-8481	1076 Cunningham Rd.	7/31/2023	Major Use Permit to include outdoor consumption lounge at the existing Heritage Mendocino cannabis dispensary	Submitted: 7/31/23. Referred out on 8/30/23. Agency responses due by 9/12/23.	Jesse Davis
22-7956	162 Talmage Rd.	6/28/23	Major Site Development Permit for the Splash Express Car Wash #5 (dBA LUV Car Wash) facility. Includes demolition of the existing structures and redevelopment of a new 2,433 sf car wash facility, located within the Heavy Commercial (C2) zoning district.	Airport Land Use Commission Referral: 3/23/23 (ALUC Staff - Deemed Consistent) Design Review Board Hearing: 5/25/23 Item Approved by PC on 6/28/23; PC Decision Appealed by Eric Crane on 7/5/23; City Council Appeal Hearing: 9/20/23	Jesse Davis
n/a	600 Live Oak Ave.	2/27/23; 7/21/23	Todd Grove Public Art Mural Permit within the Public Facilities (PF).	Design Review Board Meeting: 5/25/23 (DRB recommended to PC with modifications); Planning Commission Hearing: Postponed to date uncertain	Jesse Davis
23-8069	218 Mason St.	1/20/23; 5/18/23	Minor Use Permit for conversion of use from commercial to mixed-use within the Community Commercial (C1) zoning district.	Scheduled for Zoning Administrator on 9/13/23	Michelle Irace

22-7977	101 S. Main St.	12/12/22; 2/13/23; 2/21/23; 4/16/23; 6/13/23; 7/5/23	Major Site Development Permit for construction of a new 4,715 sf Redwood Credit Union bank facility, located within the Urban Center (UC) zoning district.	Design Review Board Meeting: 3/23/23 Planning Commission Hearing: 5/10/23. Item Denied on 6/14/23 by PC; PC Decision Appealed by Applicant 6/23/23. City Council Appeal Hearing: 7/19/23; Council recommended project modifications and hearing continued to a time and date uncertain. Awaiting response from Applicant.	Michelle Irace
17-3069	1294 N. State St.	9/13/17; 9/14/21; 9/28/22; 5/12/23; 7/11/23	Resubmitted Major Use Permit and Site Development Permit to allow for construction of two retail suites (including one drive-through), located in the C-1 (Community Commercial) zoning district.	Incomplete 6/2/22; 9/29/22; 5/27/23; Design Review Board Meeting: Awaiting response from Applicant.	Michelle Irace
22-7483	734 S. State St.	8/15/22	Xpress Gas Station Major Use Permit-request to resume operation of the gas station within the Community Commercial (C1) Zoning District.	Applicant Withdrew Application on 8/20/23	Jesse Davis
23-8774	1104 S. State St.	8/24/2023	Green Advt 101/Cookies Cannabis Use Permit Annual Renewal	Submitted: 8/24/23. Referred out on 8/29/23. Agency responses due by 9/12/23.	Michelle Irace
23-8753	104 Echo Way	8/4/2023	104 Echo Way Minor Variance Setback Reduction	Submitted: 8/4/23; Referred out on 8/15/23; Scheduled for ZA on 9/13/23	Michelle Irace



City of Ukiah
Recently (Within Previous 90 Days) Approved Projects

As of 9/1/2023

Permit #	Site Address	Approval Date	Summary of Project	Comments	Assigned Planner
23-8376	441 N State St.	6/1/23	Renewal of a Cannabis Retail Facility. Per UCC Section 9174.2(D), cannabis-related business will be subject to review after the first year of operation by the Zoning Administrator.	Submitted: 04/24/23 Zoning Administrator Hearing: Approved on 6/1/23	Michelle Irace
23-8331	300 Seminary Ave.	6/1/23	Minor Site Development Permit for installation of a 39' training tower by the UVFA for roof operations, interior firefighting, confined space rescues, search and rescue operations, door breaching/forcible entry, high-angle descent and rescue.	Submitted: 04/18/23 Zoning Administrator Hearing: Approved on 6/1/23, but subsequently appealed and withdrawn by the UVFA on 06/14/23.	Jesse Davis
23-8466	960 N. State St.	6/27/23	Minor Use Permit for operation of Medstar Ambulance within existing structures, located within the Community Commercial (C1) Zoning District.	Submitted: 5/18/23 Zoning Administrator Hearing: Approved on 06/27/23	Michelle Irace
23-8552	1361 West Clay Street & 624 Mary Lane	6/28/2023	Lot Line Adjustment #23-8552; 624 Mary Lane (APN: 001-242-17); Parcel 2: 1361 West Clay Street (APN: 001-242-35)	Approved by City Engineer on 06/28/23	Jesse Davis

**City of Ukiah
Advanced Planning Projects**

As of 8/1/2023

Permit #	Site Address	Approved Date	Summary of Project	Comments	Assigned Planner
n/a	Citywide	n/a	Ordinance Amendment for modifications to Objective Design and Development Standards for New Residential Construction (UCC 9055)	Proposed amendments reviewed by Design Review Board 7/27/23. Planning Commission Hearing: 9/13/23	Jesse Davis
n/a	Citywide	n/a	Ordinance Amendment for modifications to UCC 3016 for Demolition Permit procedures	Working with Rincon Consultants, Inc. to update/streamline Demolition Permit procedures. Funded by Local Early Action Planning (LEAP) Grant. Anticipate bringing proposed amendments forward Fall, 2023.	Michelle Irace
n/a	Citywide	n/a	2040 General Plan Implementation Programs	2040 General Plan adopted by City Council 12/7/22. Implementation efforts began January, 2023	Michelle Irace, Jesse Davis
n/a	Unincorporated Western Hills	n/a	Western Hills Open Land Acquisition and Limited Development Agreement Project - Annexation Application.	Annexation application submitted to LAFCo: 6/8/22. Incomplete letter from LAFCo received 6/29/22. Prezoning and application modifications to PC/CC anticipated Fall, 2023	Michelle Irace, Jesse Davis

n/a	Citywide	n/a	Annexation of City-owned parcels.	Submitted Annexation Application to LAFCo 2/23/22. Incomplete letter received 3/25/22. Updated application submitted in June 2022. Rezoning and application modifications to Planning Commission 3/22/23 City Council on 4/5/23. Application update submitted to LAFCo on 04/20/23. Application scheduled for LAFCo review on 09/11/2023.	Jesse Davis
n/a	Citywide	n/a	Ordinance Amendment for modifications to Lot Line Adjustment Requirements.	Proposed amendments to CC in October, 2023	Jesse Davis



DATE: September 6, 2023
TO: Planning Commission
FROM: Craig Schlatter, Director of Community Development
SUBJECT: **12a. Unfinished Business – Bi-Annual Status Update and Report Regarding Community Center and Winter Homeless Shelter at 1045 South State Street**

Background:

On July 26, 2017, the City of Ukiah Planning Commission adopted findings that conditionally approved a Major Use Permit and Site Development Permit to allow for the establishment and operation of a Community Center and Winter Homeless Shelter, the Building Bridges – Homeless Resource Center (“B2”) at 1045 South State Street. As part of the Conditions of Approval, Community Development Department Condition #15 required the following:

15. The Director of Community Development and Planning shall report to the Planning Commission once every six months during the first two years of the shelter operation. The Director’s report shall include a record of any complaints received from the public or shelter occupants and an assessment on the most effective ways to modify the [Program] plan to address valid complaints.

Over the course of the last three years, the Community Development Director has presented seven bi-annual reports to the Planning Commission in accordance with condition #15:

- Report #1 - February 26, 2020;
- Report #2 - October 14, 2020;
- Report #3 - April 14, 2021;
- Report #4 - September 22, 2021;
- Report #5 - March 9, 2022;
- Report #6 - September 28, 2022; and
- Report #7 - April 12, 2023.

All seven of the previous reports and presentations can be found online on the City’s website at www.cityofukiah.com/meetings.

As of September 22, 2021, the reporting requirements per condition of approval #15 were satisfied. Additionally, with the passage of AB 101 and the City Council’s adoption of related amendments into the City’s zoning code on September 1, 2021, low-barrier navigation centers such as RCS’s B2 facility are no longer subject to use permit requirements. However, given the history between City and RCS staff in addressing community impacts, the City requested and RCS agreed to continue reports for the foreseeable future. Reports have continued.

Discussion:

In preparing this February 6, 2023 – August 6, 2023 report (#8), the Community Development Director collected, reviewed, and analyzed information from the following sources:

- Complaints received from the public by the Department and City Manager's Office;
- Virtual meeting between RCS, the Ukiah Police Department (UPD), Ukiah Valley Fire Authority (UVFA), and Community Development Department on Friday, August 18, 2023;
- Number and types of police calls received from February 6, 2023 – August 6, 2023 (Attachment 1); and
- Number of calls for service for UVFA at the B2 location.

Details and analysis are below.

1. Complaints received from Public

Zero (0) complaints were received from the public during the reporting period. However, during the week of August 28, 2023, complaints were reported to the City's Code Enforcement Division and Community Development Director from members of the public and the City Manager's Office. Complaints cited a "large encampment" being illegally established on the RCS property directly outside of the B2 facility.

Community Development Director Schlatter reported the complaints to Integrated Health Director/B2 Facility Manager Sage Wolf shortly after receiving the complaints. Within approximately 96 hours, and through a joint effort of the UPD and RCS, the encampment had been removed.

2. Report of Police Activity

104 calls for police service at 1045 S State St were made during the period 2/6/23 – 8/6/23. This compares to 104 in report #7, 85 in report #6, 60 in report #5, 69 in report #4, 135 in report #3, 189 in report #2, and 131 in report #1. UPD reported that like the previous reporting period, the types of calls were not of great concern.

RCS staff also commented- and UPD confirmed- that the more serious offenses within the report (see call number 230601993, for example) occurred elsewhere but were reported by individuals once they arrived at the B2 facility. These offenses did not occur on-site.

3. Report of Fire/Emergency Medical Services Calls

The UVFA Chief reported 36 calls for Fire/EMS services at 1045 S State St during the 2/6/23 – 8/6/23 period. This compares to 41 calls in the previous report. Similar to UPD, the UVFA Chief had no major concerns about activity at the B2 address.

4. Virtual City-RCS Meeting: City Assessment and RCS Responses

City staff from the Community Development Department, Ukiah Police Department, and Ukiah Valley Fire Authority met virtually with RCS's Building Bridges Homelessness & Housing Support Manager on August 18, 2023. There was productive discussion related to 1-3 above. No concerns were noted that would require changes to RCS's operations. Additionally, there have been no changes to the Program Manual since January 2022 (report #5).

5. Conclusion

No complaints were received from the public or City Manager's Office during the period. Although there were complaints related to an illegal homeless encampment being established, through the joint efforts of UPD and RCS staff, it was quickly cleared.

As reported in previous reports, both RCS staff and public safety staff commented on their improved working relationship and partnership over the last three years and this appears to be overall addressing impacts as they arise. As a result, CDD staff do not see cause for revisions to the B2 operations manual.

6. Staff Recommendations

Staff recommends Planning Commission receive this status update and report and discuss any questions related to its content and provided statistics.

Ukiah Police Calls for Service**1045 S State Street****2/6/2023 - 8/6/2023****Total Calls 104**

Complaint	Date/Time	Call Number	Location	City
DIST	08/06/2023 13:23:08	230800607	1045 S STATE ST	UKIAH
DIST	08/05/2023 09:20:39	230800495	1045 S STATE ST	UKIAH
813	08/05/2023 08:21:37	230800489	1045 S STATE ST	UKIAH
SUSP CIRC	08/05/2023 07:52:09	230800487	1045 S STATE ST	UKIAH
245	08/04/2023 19:55:39	230800444	1045 S STATE ST	UKIAH
INFO	08/04/2023 05:15:45	230800365	1045 S STATE ST	UKIAH
THEFT	08/01/2023 10:29:47	230800044	1045 S STATE ST	UKIAH
AGENCY ASSIS	07/31/2023 02:50:50	230703259	1045 S STATE ST	UKIAH
INFO	07/31/2023 02:29:53	230703257	1045 S STATE ST	UKIAH
242	07/30/2023 07:01:07	230703185	1045 S STATE ST	UKIAH
5150	07/27/2023 12:00:50	230702880	1045 S STATE ST	UKIAH
DIST	07/26/2023 14:47:28	230702776	1045 S STATE ST	UKIAH
DIST	07/23/2023 17:59:01	230702468	1045 S STATE ST	UKIAH
DIST	07/23/2023 11:39:53	230702443	1045 S STATE ST	UKIAH
INFO	07/22/2023 01:18:06	230702306	1045 S STATE ST	UKIAH
DIST	07/21/2023 14:39:54	230702234	1045 S STATE ST	UKIAH
CIVIL	07/19/2023 16:00:30	230701992	1045 S STATE ST	UKIAH
820	07/17/2023 15:45:19	230701767	1045 S STATE ST	UKIAH
TRESPASS	07/15/2023 01:10:36	230701492	1045 S STATE ST	UKIAH
DIST	07/14/2023 11:22:38	230701436	1045 S STATE ST	UKIAH
TRESPASS	07/12/2023 16:47:31	230701252	1045 S STATE ST	UKIAH
F/P	07/12/2023 09:20:36	230701197	1045 S STATE ST	UKIAH
INFO	07/12/2023 01:07:57	230701166	1045 S STATE ST	UKIAH
820	07/11/2023 10:52:45	230701091	1045 S STATE ST	UKIAH
829	07/07/2023 04:24:48	230700673	1045 S STATE ST	UKIAH
INFO	07/06/2023 18:46:52	230700631	1045 S STATE ST	UKIAH
THEFT	07/06/2023 06:17:21	230700572	1045 S STATE ST	UKIAH
INFO	07/05/2023 22:17:48	230700550	1045 S STATE ST	UKIAH
820	07/05/2023 10:21:20	230700467	1045 S STATE ST	UKIAH
INFO	07/03/2023 19:12:10	230700319	1045 S STATE ST	UKIAH
TRESPASS	07/01/2023 02:41:56	230700016	1045 S STATE ST	UKIAH
SUSP PERSON	06/29/2023 20:53:13	230603032	1045 S STATE ST	UKIAH
THEFT	06/29/2023 14:22:07	230602991	1045 S STATE ST	UKIAH
911 Hangup	06/29/2023 12:33:25	230602977	1045 S STATE ST	UKIAH
UCC	06/28/2023 20:11:58	230602899	1045 S STATE ST	UKIAH
820	06/27/2023 11:08:18	230602754	1045 S STATE ST	UKIAH
TRESPASS	06/25/2023 00:26:07	230602510	1045 S STATE ST	UKIAH
HAZARD	06/24/2023 15:56:20	230602469	1045 S STATE ST	UKIAH
DIST	06/22/2023 11:58:46	230602251	1045 S STATE ST	UKIAH

820	06/22/2023 10:23:35	230602240	1045 S STATE ST	UKIAH
INFO	06/20/2023 15:21:35	230602066	1045 S STATE ST	UKIAH
RAPE	06/19/2023 18:36:54	230601993	1045 S STATE ST	UKIAH
245	06/12/2023 00:30:59	230601216	1045 S STATE ST	UKIAH
INFO	06/11/2023 14:58:53	230601169	1045 S STATE ST	UKIAH
INFO	06/09/2023 22:36:55	230601009	1045 S STATE ST	UKIAH
DIST	06/09/2023 00:04:07	230600922	1045 S STATE ST	UKIAH
829	06/08/2023 09:26:28	230600826	1045 S STATE ST	UKIAH
647F	06/07/2023 21:25:20	230600777	1045 S STATE ST	UKIAH
INFO	06/07/2023 20:52:42	230600774	1045 S STATE ST	UKIAH
TRAFFIC STOP	06/04/2023 21:24:31	230600434	1045 S STATE ST	UKIAH
CIT ASSIST	06/03/2023 14:59:15	230600302	1045 S STATE ST	UKIAH
INFO	06/03/2023 07:16:21	230600247	1045 S STATE ST	UKIAH
INFO	06/02/2023 13:27:50	230600179	1045 S STATE ST	UKIAH
INFO	06/01/2023 12:57:59	230600061	1045 S STATE ST	UKIAH
DIST	05/31/2023 01:05:30	230503150	1045 S STATE ST	UKIAH
THEFT	05/25/2023 14:37:17	230502573	1045 S STATE ST	UKIAH
SUSP CIRC	05/24/2023 13:05:18	230502454	1045 S STATE ST	UKIAH
INFO	05/24/2023 00:32:39	230502410	1045 S STATE ST	UKIAH
415	05/22/2023 12:14:04	230502247	1045 S STATE ST	UKIAH
INFO	05/20/2023 10:53:38	230502061	1045 S STATE ST	UKIAH
SUSP CIRC	05/18/2023 14:59:05	230501851	1045 S STATE ST	UKIAH
5150	05/17/2023 20:39:26	230501776	1045 S STATE ST	UKIAH
415V	05/17/2023 11:14:37	230501719	1045 S STATE ST	UKIAH
INFO	05/10/2023 21:29:48	230501099	1045 S STATE ST	UKIAH
DIST	05/10/2023 11:46:32	230501044	1045 S STATE ST	UKIAH
829	05/07/2023 22:57:01	230500796	1045 S STATE ST	UKIAH
INFO	05/04/2023 11:51:00	230500352	1045 S STATE ST	UKIAH
DISPUTE	05/02/2023 08:39:46	230500106	1045 S STATE ST	UKIAH
5150	04/29/2023 16:00:45	230402757	1045 S STATE ST	UKIAH
DIST	04/27/2023 04:24:57	230402469	1045 S STATE ST	UKIAH
820	04/24/2023 08:41:33	230402172	1045 S STATE ST	UKIAH
417	04/24/2023 06:47:11	230402164	1045 S STATE ST	UKIAH
Animal	04/19/2023 17:11:09	230401743	1045 S STATE ST	UKIAH
SUSP CIRC	04/17/2023 12:47:08	230401522	1045 S STATE ST	UKIAH
Animal	04/16/2023 15:15:54	230401462	1045 S STATE ST	UKIAH
SUSP CIRC	04/14/2023 15:04:02	230401284	1045 S STATE ST	UKIAH
DIST	04/13/2023 00:47:30	230401122	1045 S STATE ST	UKIAH
INFO	04/11/2023 22:25:05	230401038	1045 S STATE ST	UKIAH
TRESPASS	04/11/2023 11:05:05	230400998	1045 S STATE ST	UKIAH
SUSP CIRC	04/10/2023 17:25:42	230400960	1045 S STATE ST	UKIAH
5150	04/10/2023 01:14:51	230400882	1045 S STATE ST	UKIAH
INFO	04/10/2023 01:11:03	230400881	1045 S STATE ST	UKIAH
INFO	04/10/2023 00:50:01	230400878	1045 S STATE ST	UKIAH
AGENCY ASSIS	04/09/2023 08:52:39	230400821	1045 S STATE ST	UKIAH
SUSP CIRC	04/09/2023 06:26:22	230400817	1045 S STATE ST	UKIAH
INFO	04/01/2023 18:21:19	230400065	1045 S STATE ST	UKIAH

INFO	04/01/2023 15:22:48	230400057	1045 S STATE ST	UKIAH
DIST	03/31/2023 17:46:58	230302819	1045 S STATE ST	UKIAH
INFO	03/31/2023 05:30:48	230302778	1045 S STATE ST	UKIAH
INFO	03/29/2023 12:51:05	230302609	1045 S STATE ST	UKIAH
R242	03/27/2023 15:52:05	230302461	1045 S STATE ST	UKIAH
AGENCY ASSIS	03/23/2023 18:30:40	230302118	1045 S STATE ST	UKIAH
829	03/22/2023 14:26:51	230301984	1045 S STATE ST	UKIAH
911 Hangup	03/21/2023 15:04:23	230301899	1045 S STATE ST	UKIAH
INFO	03/21/2023 04:21:09	230301866	1045 S STATE ST	UKIAH
THEFT	03/11/2023 03:08:52	230300926	1045 S STATE ST	UKIAH
Animal	03/02/2023 09:07:37	230300125	1045 S STATE ST	UKIAH
THEFT	03/02/2023 09:06:59	230300124	1045 S STATE ST	UKIAH
SUSP CIRC	02/26/2023 10:41:25	230202539	1045 S STATE ST	UKIAH
TRAFFIC STOP	02/25/2023 09:34:37	230202435	1045 S STATE ST	UKIAH
TRAFFIC STOP	02/17/2023 13:57:27	230201603	1045 S STATE ST	UKIAH
THEFT	02/13/2023 16:02:44	230201239	1045 S STATE ST	UKIAH
TRAFFIC STOP	02/11/2023 19:46:44	230201078	1045 S STATE ST	UKIAH
THEFT	02/07/2023 03:33:15	230200584	1045 S STATE ST	UKIAH
TOTAL CALLS 104				



SUMMARY

DATE: September 13, 2023

REQUEST: Ordinance Amendment to Ukiah City Code to update the City's existing objective design and development standards for new multi-family residential construction.

LOCATION: Within the incorporated areas of the City of Ukiah

ENVIRONMENTAL DETERMINATION: Categorical Exemption pursuant to Section 15061 (b)(3)

RECOMMENDATION: Adopt a resolution making the Planning Commission's report and recommendation to the City Council on a proposed amendment to Ukiah City Code regarding objective design and development standards.

STAFF Jesse Davis, Chief Planning Manager

INTRODUCTION

Community Development staff present a request to amend existing provisions of Ukiah City Code that regulate a ministerial approval process for new multi-family residential construction within City limits. Objective design standards are defined under State law as "standards that involve no personal or subjective judgement by a public official and are uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant or proponent and the public official prior to submittal" (California Government Code, Section 65913.4).

Objective design standards are a powerful tool that allow communities to respond to State housing laws that are reducing local control of development. They provide an opportunity to ensure that the appearance of new development, specifically multi-family housing, is compatible with the City's vision and approach to new construction.

If approved, this ordinance amendment would make minor modifications to Ukiah City Code Chapter 2, Article 5.2, Sections 9055 - 9055.2 to incorporate general plan objectives, clarify existing regulations such as parking standards, and allow for development flexibility, as necessitated by site or building constraints. As understood, many of the infill development opportunities that presently exist within City limits are on parcels that feature unique considerations or layout.

These modifications would further the City's efforts to reduce development costs and streamline the entitlement process to encourage infill development for multi-family and mixed-use projects that align with the City's vision for new construction.

These efforts are undertaken in coordination with the objectives of the City's Local Action Planning Grants (LEAP) funds, which were awarded by the State Department of Housing and Community Development (HCD) to implement regulations that facilitate new infill housing.

BACKGROUND

In 2019, SB 2 Planning Grant Program funds were awarded by HCD to the City of Ukiah through Standard Agreement #19-PGP13298. These funds were intended to facilitate and streamline the production of housing. As described in the grant application, the City's Project "Priority Policy Area (PPA) 1" is to establish,

"Zoning revisions to streamline multi-family housing production, by-right housing; development of objective design and development standards; and development of zoning recommendations for additional housing incentives."

One of the resulting updates to Ukiah City Code was the creation of objective development and design standards. The City's Objective Standards for multi-family housing allow for flexibility while holding a development project to appropriate standards to produce housing that fits and complements the City's residential character.

The current objective standards were adopted by the Design Review Board on June 25, 2020, further reviewed and amended by the Planning Commission on August 12, 2020, and adopted by the City Council on March 17, 2021.

In 2022, the City received an application for mixed-use development (Acorn Valley Plaza) at the intersection of East Gobbi Street and Village Circle that utilized these design and development standards. City Staff worked closely with the Applicant to ensure that their multi-building proposal aligned with the adopted standards and subsequently approved the request in coordination with the Building Inspection Division on December 12, 2022.

Upon completion, this approved project, will add seventy-two (72) units of housing with a small mixed-use component along Gobbi Street on a historically underutilized parcel near numerous amenities, such as grocery stores, pharmacies and the Great Redwood Trail.

PROPOSED ORDINANCE AMENDMENT & HISTORY

The purpose of updating the City's previously adopted objective standards is to:

- Further comply with recent State housing legislation and utilize awarded LEAP funds;
- Update the City's streamlined and ministerial review processes for qualified housing and mixed-use projects.
- Ensure that these qualifying projects align with the City's expectations and vision, but incorporate lessons learned from Acorn Valley Plaza, as well as input from local architects and the Design Review Board;
- Provide a set of clear criteria to guide future development within City-limits and serve as a model for other jurisdictions within Mendocino County; and

As described below, Staff proposes the following amendments to incorporate general plan objectives, clarify existing regulations such as parking standards, and allow for development flexibility, as necessitated by site or building constraints:

§9055 Purpose and Intent: *Duplexes:* Clarify that 'Duplexes' are not subject to Article 5.2 by inserting an explicit exclusion, like the one already provided for single-family homes. While SB 9 would allow for the application of "objective design review standards" on this type of residential unit, it is suggested that this form of housing be further streamlined within Ukiah City Code to address 'Missing Middle' considerations and further housing stock diversity. It is understood that

numerous neighborhoods within Ukiah already feature 'Duplexes' interspersed among single-family residences.

At a later date, to ensure this update is applied consistently, Staff will need to update individual articles of Chapter 2 (Zoning) to ensure that 'Duplex' is separated from Article 5.2 and identified as a stand-alone use regulated as an 'Allowed' or 'Permitted' Use depending on the identified zoning district.

§9055.1 (H): HVAC Systems: Clarify that HVAC Units can *also* be placed on the ground, but subject to setback and screening requirements that are subsequently conveyed in Article 5.2. This clarification is to ensure that smaller ground-mount HVAC systems, such as 'Ductless Mini-Splits' are allowed by-right and removes confusion that HVAC systems can *only* be roof-mounted. The DRB requested that this provision be further modified to ensure that the HVAC system is not visible from the public right of way, meet the required setback and be obscured by fencing or landscaping as described in UCC Section 9055.2(H) Screening.

§9055.1 (I): Mail and Package Delivery Location: The existing regulation can create design limitations for multi-structure developments, as well as operational challenges for mail delivery, and limit community interactions created by more centralized mail delivery locations.

§9055.1 (K): Open-Space: Increase the allowances for community gardening opportunities by allowing for community gardens to constitute a percentage of the required 15% public open space. Also, as identified in the 2040 General Plan (AG Element Action Item – F) allow for 'Foodscaping', which is the integration of edible plants into ornamental landscapes as an allowed and suggested component for design landscaping and open-space design considerations. The DRB approved this consideration, but included aspects to ensure that Community Gardens are regularly maintained and feature a management plan in conformance with Ukiah City Code Section 9173.2.

§9055.1 (N): Bicycle Parking: Adds additional language to prioritize the need for bicycle parking and provides acceptable guidelines to inform best practices.

§9055.1 (O)(1)(b)(1-4): Parking Lot Landscaping: Eliminates the distinction between parking areas and parking lots. Clarifies how spaces should be counted between every four (4) parking stalls to accommodate aspects like ADA parking aisles, EV Charging, etc. Proposed changes also specify the situations that create constraints that would make fulfilling §9055.1 (O)(1)(b)(1) infeasible, particularly mature trees and similar topographical constraints.

§9055.1 (O)(2)(a): Required Parking: Remove the 'Guest Parking' requirement, as the assigned ratio becomes onerous for larger in-fill development proposals and works against the parking exemptions or reductions identified in other sections of Ukiah City Code, such as UCC 9198(A)(7-9). These additional parking spaces increase the total cost of the development, and cumulatively take up more surface area than the building(s) themselves and compete against more desirable on-site land-uses, such as landscaping, additional residential units, or recreational space.

The DRB was unable to reach consensus on this item and deferred to the Planning Commission for their recommendation to the City Council. At the DRB hearing on July 27, 2023, a reduction, rather than elimination of this modification was considered, but a decision was ultimately deferred to the Planning Commission. Staff recommends that the 'Guest Parking' be eliminated and that the developer determine the need for additional parking as required for the proposal.

§9055.1 (O)(2)(a): *Parking Code*: Article 17 is more onerous than the zoning standards of the C1 or C2 zoning districts. UCC Section 9198(A)(3) requires One parking space for one-bedroom units; two (2) parking spaces for two (2) or more bedrooms per unit.

Within the C-1 and C-2 zoning districts, however, multi-family units only require: One (1) on-site parking space per unit. This update ensures the consistency and clarity regarding parking standards.

§9055.1(O)(2)(b): *Mixed-Use Parking*: The current iteration of the objective design and development standards do not clarify what parking standards should be applied for mixed-use development projects. It is suggested that this clarification be inserted.

§9055.1(P)(6): *Outdoor Lighting*: At the request of the DRB, this requirement was modified to provide a specific reference to Dark Sky Standards of the International Dark Sky Association in conjunction with reducing glare and light pollution.

§9055.2(C)(4-5) *Fences and Walls*: This amendment adds an exception that certain recreation and garden improvements be allowed to use otherwise prohibited fence types.

§9055.2(K)(4)(a): *Heavy Timber*: Concerns were conveyed from the architectural community that the existing language could be construed as to prevent designs similar to the Sun-House, or use of materials like Cross Laminated Timber. The amendment removes “heavy-timber” considerations, but leaves “exposed-logs” as prohibited.

§9055.2(L): *Exception*: As needed or required, due to site or building constraints, the applicant can request deviation from any of the identified standards conveyed in UCC §9055.1 (K-S) or UCC §9055.2 (J-K) by 25% upon review by the Community Development Director. The sites remaining for infill development are often irregular and present unusual boundaries or situations that need to be accommodated. This exception would allow for limited deviation for certain standards to help encourage the development of underutilized or irregular parcels.

Attachment 1 provides a redlined version of the proposed ordinance amendment, while **Attachment 2** provides a clean version of the proposed changes. **Attachment 3** includes a list of the application checklist typically provided to developers interested in utilizing the objective design standards.

GENERAL PLAN CONSISTENCY

Besides integrating aspects directly from the General Plan, such as AG Element Action Item – F) allow for ‘Foodscaping’, the update of these objective design and development standards align with numerous aspects of the City’s recently adopted 2040 General Plan, including the following:

- **Agriculture Element** Action Item (F): The City shall revise the City’s objective development and design standards for multi-family housing projects to include the definition of and provisions for ‘Foodscaping’.
- **Housing Element** Goal H-3: Remove governmental constraints to infill housing development.

Housing Element Policy H-3.1: Improve building and planning permit processing for residential construction.

- **Housing Element** Goal H-4: Promote well-planned and designed housing opportunities and projects for all persons, regardless of race, gender, age, sexual orientation, marital status, or national origin.
- **Housing Element** Implementation Program 1e: Develop standards and design guidelines for residential development in the Medium Density Residential (R-2) and High Density Residential (R-3), Community Commercial (C-1) and Heavy Commercial (C-2) zoning districts.
- **Mobility Element** Policy-1.10: Bicycle Parking Standards -The City shall maintain efficient and updated parking standards for bicycle parking to ensure development provides adequate bicycle parking, while reducing reliance on automobiles.

RECOMMENDATION

Adopt a resolution making the Planning Commission's report and recommendation to the City Council on a proposed amendment to Ukiah City Code regarding objective design and development standards.

ATTACHMENTS

1. Ordinance Amendment - Redline
2. Ordinance Amendment – Clean
3. Planning Commission – Draft Resolution
4. Design Review Board – Draft Minutes (July 27, 2023)
5. Handout - Objective Design & Development Standards (Existing Regulations)

CHAPTER 2 ZONING

ARTICLE 5.2. OBJECTIVE DESIGN AND DEVELOPMENT STANDARDS FOR NEW RESIDENTIAL CONSTRUCTION

SECTION:

§ 9055 Purpose And Intent

§ 9055.1 Development Standards

§ 9055 PURPOSE AND INTENT

The purpose of this article is to create a by-right, ministerial approval process for all new residential construction, excluding single-family homes and duplexes. To do so, this article sets forth objective design and development standards that remove barriers to and reduce costs for new residential construction for multi-family housing, excluding single-family homes, while still protecting the residential character of the City's neighborhoods. (Ord. 1212, §7, adopted 2021)

A. Setbacks:

§9055.1 DEVELOPMENT STANDARDS

1. Front: The front setback shall comply with the base zone front setback requirements.
2. Setback Landscaping: Areas between the required setback and street improvements shall be landscaped per the landscaping requirements in subsection L of this section.
3. Side (Interior):
 - a. Minimum Side Setbacks: There is no minimum interior side setback; provided, that structures comply with the building and fire code standards for structure separation.
 - b. Zero Setback: If zero setbacks are proposed, the side setback opposite the zero setback shall be a minimum of five feet (5').
4. Rear: The rear setback shall comply with the base zone rear setback requirements.

B. Property Access: There shall be vehicular access from a dedicated and improved street, easement, or alley to off-street parking areas.

- C. Street Frontage: Every primary residential structure shall have frontage on a public street or an accessway which has been approved for residential access by the City.
- D. Structure Orientation: Structures shall incorporate site design that reduces heating and cooling needs by orienting structures (both common facilities and dwelling units) on the parcel to reduce heat loss and gain, depending on the time of day and season of the year.
- E. Structure Height: Structure height shall comply with the base zone maximum allowable height.
- F. Alternative Energy Applications: All structures shall be designed to allow for the installation of alternative energy technologies including but not limited to active solar, wind, or other emerging technologies, and shall comply with the following standards:
1. Installation of solar technology on structures such as rooftop photovoltaic cell arrays shall be installed in accordance with the State Fire Marshal safety regulations and guidelines.
 2. Roof-mounted equipment shall be located in such a manner so as to not preclude the installation of solar panels, as shown in Figure 1-1.

Figure 1-1: Application of Roof-Mounted Equipment

- G. Utility Lines: All utility lines from the service drop to the structure shall be placed underground.
- H. HVAC Systems: All HVAC systems shall be located on the roof of the structure to minimize noise impacts to adjacent properties, or shall be placed on the ground, not visible from the public right of way, meet the required setback and be obscured by fencing or landscaping as described in §9055.2(H) - Screening.
- I. Mail and Package Delivery Location: For multifamily development projects greater than four (4) dwelling units, mailboxes and package delivery areas shall be in locations that are easily visible by residents, ~~at the interior of a structure entrance, elevator lobby, or stairwell.~~
- J. Primary Entrances:
1. Entry Lighting: All primary structure entrances shall include dusk-to-dawn lighting for safety and security per subsection P of this section.
 2. Interior-Facing Structures:
 - a. The primary entrance of each interior-facing structure shall be oriented toward paseos, courtyards, pathways, and active landscape areas.

b. For safety, units not facing the street shall be oriented to provide visual access to entryways, pedestrian pathways, recreation areas, and common facilities from dwelling units.

K. Open Space: The following development standards apply to multifamily developments greater than four (4) dwelling units:

1. Public Open Space:

a. Public Open Space: Not less than ten percent (10%) of the gross acreage of the total project shall be set aside as public open space to allow for active and passive recreation opportunities and that includes shading elements to benefit all residents of the project, as shown in Figure 1-2. Open space ownership and maintenance shall be the responsibility of the property owner(s).

Figure 1-2: Configuration of Public Open Space

b. Connections: Public open space areas shall be directly connected to all interior space areas (i.e., community room, recreation room, exercise center), trash and recycling enclosures, laundry facilities (if applicable), structure entrances, parking areas, and mail delivery areas by pedestrian-oriented pathways.

c. Landscaping and Gardening: A minimum of fifteen percent (15%) of the required public open space shall be landscaped with materials and plantings consistent with the standards in subsection L of this section (Landscaping and Gardening) and the subject parcel's underlying base zone landscaping requirements.

d. Lighting: In addition to the exterior lighting standards in subsection P of this section, public open space areas shall incorporate accent lighting. Accent lighting may include string lighting in trees or crisscrossed over pedestrian areas via courtyards, or plazas; lighting in fountains; or lighting of significant structures or architectural design features.

e. Public Gathering Space: Public open space areas shall include a minimum of two (2) of the following public gathering spaces:

(1) Patio seating area for a minimum of eight (8) people. Patio seating can be fixed chairs and tables, table/bench combination, or landscape materials (i.e., slabs of stone or rock);

(2) Community Garden ~~space~~;

(3) Water feature in the form of a fountain, bubblers, or water play areapad;

(4) Picnic/BBQ area no smaller than two hundred (200) square feet with a minimum of three

(3) Picnic/BBQs and tables; or

(5) Pedestrian plaza no smaller than two hundred (200) square feet with a minimum of four (4) benches.

f. Recreation Facilities: A maximum of twenty-five percent (25%) of the required public open space area may be paved for recreation facilities including but not limited to basketball courts, tennis courts, common playground, or swimming pools.

2. Private Open Space:

a. Ground Floor Units: Each ground floor dwelling unit shall include a minimum of forty (40) square feet of private open space in the form of a covered or uncovered patio to allow for light, air, and privacy.

b. Above-Ground-Floor Units: Each above-ground-floor dwelling unit shall include a minimum of forty (40) square feet of private open space in the form of a terrace, balcony, or rooftop patio to allow for light, air, and privacy.

L. Landscaping (see Figure 1-3):

1. Landscaping Plans: Existing features, such as trees, creeks, and riparian habitats shall be incorporated into landscaping plans.

2. Site Landscaping:

a. All street trees shall be planted consistent with the standard planting detail on file with the City Engineer.

b. Vegetation (i.e., bushes, shrubs, flowers) shall be maintained at a height of no more than three feet (3') when located adjacent to pedestrian pathways and building facades and placed in such a manner that does not obstruct lighting.

c. Foodscaping: The integration of edible plants into ornamental landscapes.

e.d. Community Garden: A public garden tended and maintained by members of the local community, allowed per §9173.2 (Community Gardens). Community Gardens shall be regularly

maintained, and feature a management plan

3. Irrigation: Site landscaping shall include an automated irrigation system with a minimum of seventy-five percent (75%) of system being drip irrigation to reduce water consumption.

4. Maintenance: All trees and on-site landscaping shall be maintained by the property owner.

5. Landscaping Plant Selection:

a. Landscape planting shall consist of at least seventy-five percent (75%) native, drought-tolerant plants and/or flowering plants, including plants identified for 'Foodscaping'.

b. All tree plantings shall be equivalent to a fifteen (15) gallon container or larger.

c. Street trees shall be selected from the approved species on the Ukiah Master Tree List – Required Street Tree List.

Figure 1-3: Landscaping

M. Personal Outdoor Storage Spaces: A minimum of ten (10) square feet (eighty (80) cubic feet) of personal outdoor storage space shall be provided for each dwelling unit. Personal outdoor storage areas shall be covered and able to be locked.

N. Bicycle Parking is an essential element of any bikeway network. Site planning for short-term and long-term bicycle storage considerations should be based on the Association of Pedestrian and Bicycle Professional's (APBP) "Bicycle Parking Guidelines" and best practices. See below for bicycle parking standards (see Figure 1-4):

1. Class I Bicycle Parking: One Class I bicycle parking space (i.e., bicycle locker) is required for every fifteen (15) dwelling units. The Class I bicycle space shall be located within or directly adjacent to the required public open space area.

2. Class II Bicycle Parking: For multifamily development projects greater than four (4) dwelling units, one Class II bicycle parking space (i.e., inverted U-rack, ribbon rack, wave rack) is required for every three (3) dwelling units. The Class II bicycle space shall be located within or directly adjacent to the required public open space area.

Figure 1-4: Bicycle Parking

O. Parking and Circulation:

1. Parking Areas:

a. Parking Lot Design and Location:

- (1) Parking is prohibited within required sight distance areas.
- (2) Multifamily development projects greater than fifteen (15) dwelling units shall not site more than fifty percent (50%) of the total parking stalls in a single ~~parking-area~~ of the parking lot.
- (3) Multifamily development projects greater than four (4) dwelling units shall not provide parking ~~areas~~ between the building(s) and the primary street frontage.
- (4) Parking ~~areas-lots~~ within a site shall be internally connected and use shared driveways.

b. Parking Lot Landscaping: The following development standards apply to multi-family developments greater than four (4) dwelling units:

- (1) Parking ~~areas-lots~~ with twelve (12) or more parking stalls shall have a tree placed between every four (4) parking stalls (with exceptions for access aisles and other features required for accessibility or EV Charging), unless infeasible, due to existing mature trees or similar site-constraint. Parking lots shall also feature- ~~with~~ a continuous linear planting strip, rather than individual planting wells, ~~unless infeasible~~.
- (2) Parking ~~areas-lots~~ shall provide shade trees in landscaped areas and along pedestrian pathways. Parking areas shall be designed to provide a tree canopy coverage of fifty percent (50%) over all paved areas within ten (10) years of planting.
- (3) Parking ~~areas-lots~~ shall provide a minimum ten-foot (10') buffer between the parking and structures. This buffer can include walkways and/or landscaping.
- (4) Parking ~~areas-lots~~ shall use concrete curbing or raised planting areas to protect landscaped areas from encroaching vehicles.
- (5) At least seventy-five percent (75%) of parking lot trees shall be deciduous species.

c. Parking Lot Lighting: The following development standards apply to multifamily development projects greater four (4) dwelling units.

- (1) Parking lots shall include pole-mounted lighting that shall be no more than sixteen feet (16') in height.
- (2) Parking lot lighting shall be directed downward to minimize glare.

- d. Carports: Carports shall be reserved for vehicles and shall not be used as storage space.
- e. Individual Garage Parking: For multifamily development projects greater than four (4) dwelling units, indoor vehicle parking in the form of garages is encouraged, but not required.

2. Required Parking:

~~a. Guest Parking: A minimum of three (3) guest parking spaces shall be provided for every six (6) dwelling units.~~

~~a. Parking Standards: Multifamily dwelling parking standards shall be consistent with the parking regulations in Chapter 2, Article 17 of this division, with the exception of a minimum of one parking space per dwelling unit of their zoning designation.~~

- b. Parking Standards: Mixed-use parking standards shall be consistent with Ukiah City Code Section 91798(A)(9).

P. Exterior Lighting (see Figure 1-5):

1. Pedestrian-oriented lighting shall be provided in active pedestrian areas (i.e., paseos, interior sidewalks, pathways, etc.) for safety and security.
2. Pedestrian pathway (excluding street-fronting sidewalks) lighting features shall not exceed ten feet (10') in height.
3. Active pedestrian areas shall incorporate free-standing lighting separate from structures.
4. Pedestrian pathways, elevator lobbies, parking areas, stairwells, and other common areas shall have minimum illumination levels of one-half (0.5) foot-candle at the pathway surface to clearly show walking conditions.
5. Overhead sports court lighting shall illuminate only the intended area. Light trespass onto neighboring parcels is prohibited.
6. Outdoor lighting shall use energy efficient lighting technology and shall be shielded downward to reduce glare and light pollution in conformance with Dark Sky Standards of the International Dark Sky Association.

Figure 1-5: Exterior Lighting

Q. Privacy: Any balcony, window, or door shall use at least one of the following development

approaches to lessen the privacy impacts onto adjacent properties. These techniques include: use of obscured glazing, landscaped/privacy buffer in the required setback with a minimum of five feet (5'), window placement above eye level, or locating balconies, windows, and doors facing toward the street and backyard. Trees and landscaping used as a landscaped/privacy buffer shall be planted and maintained by the property owner to preserve the privacy of adjacent property owners.

R. Trash and Recycling Enclosures: The following trash and recycling enclosure development standards apply to multifamily development projects greater than four (4) dwelling units:

1. Walls either made of masonry, metal, or wood with finished metal doors.
2. Vehicle and pedestrian access gates.
3. Downward lighting for safety and security.

S. Structure Identification: Structure identification numbers shall be placed along pedestrian pathways and roads and shall be readable from a distance of at least sixty feet (60').

T. Signage and Information: Developments shall comply with the sign standards in Division 3, Chapter 7 of this code (Signs). In addition, all directional signage and informational kiosks (i.e., development maps) shall be located at the entrances of individual buildings and at convergences of main pedestrian pathways. (Ord. 1212, §7, adopted 2021)

§9055.2 DESIGN STANDARDS

A. Carports:

1. For multifamily development projects greater than four (4) dwelling units, carports shall not be visible from the street.
2. Carports shall include the approved color palette, materials, and design elements of the structure.

B. Color Palettes (see Figure 1-6):

1. All structures shall include at least one primary color and a maximum of two (2) accent colors, in addition to the color of the roofing material.
2. Each structure elevation shall include two (2) colors in the selected color palette.
3. Projects that include more than ten (10) dwelling units shall include at least two (2) color palettes, where no single-color palette shall be used on more than fifty percent (50%) of the dwelling units.

Figure 1-6: Color Palettes

- C. Fences and Walls: The following materials are prohibited for all fences and walls:
1. Electrified;
 2. Barbed wire/razor wire;
 3. Sharp objects such as spires and glass;
 4. Cyclone or chain link (Exception for on-site gardening or recreation improvements (e.g., basketball court, community gardens, etc.); and
 5. Vinyl (Exception for on-site gardening or recreation improvements (e.g., basketball court, community gardens, etc.).
- D. Glazing: Structures shall incorporate the use of energy efficient glazing to reduce heat loss and gain.
- E. Common Mailboxes: Common mailboxes shall be painted using the approved color palette for the overall development.
- F. Trash and Recycling Enclosures: Trash and recycling enclosure walls and metal doors shall be painted in accordance with the approved color palette for the overall project.
- G. Roof Design and Materials (see Figure 1-7):
1. Horizontal eaves longer than twenty feet (20') in length shall be broken up by gables, building projections, or other forms of articulation.
 2. Roof overhangs shall be a minimum of twelve inches (12").

Figure 1-7: Roof Design

3. The following are allowable roofing materials:
 - a. Nonreflective standing seam metal roofs in shades of tan, brown, black, light blue, red, and green;
 - b. Cool foam roofs (white);
 - c. Clay tile; and

d. Architectural composition shingles.

H. Screening: All screening of ground-mounted, wall-mounted, and roof-mounted equipment shall be painted in accordance with the approved color palette for the project. Visual screening shall be installed if ground-mounted or wall-mounted equipment faces the street.

I. Stairways/Stairwells: Exterior stairways/stairwells that are not enclosed shall not be visible from the public right-of-way.

J. Structure Massing: Structures that have a length longer than thirty feet (30') shall include facades with varying modulation with a minimum depth of two feet (2') at intervals of no more than ten feet (10'), as shown in Figure 1-8.

Figure 1-8: Structure Massing

K. Structure Materials and Elements:

1. Drainpipes, parapets, and ledges shall not be located near windows, corridors, and balconies. If such placement is not feasible, they shall face parking lots, public spaces, and roads.

2. All structures shall include a minimum of two (2) primary materials (i.e., stone, wood, masonry, or metal) on each structure elevation. Each material shall comprise at least twenty percent (20%) of the elevations excluding windows and railings.

3. All structures that use exterior veneers shall ensure the edge of the veneer is not obvious by prohibiting the use of vertical joints at exterior corners.

4. The following primary structure materials are prohibited:

a. ~~Heavy timber, e~~Exposed logs in their natural state;

b. Stucco textured foam, synthetic stucco, vinyl or vinyl clad materials; and

c. Unfinished galvanized metals.

L. Exception: As needed or required, due to site or building constraints, the applicant can request deviation from the identified standards conveyed in UCC §9055.1 (K-S) or UCC §9055.2 (J-K) by 25% upon review by the Community Development Director.

CHAPTER 2 ZONING

ARTICLE 5.2. OBJECTIVE DESIGN AND DEVELOPMENT STANDARDS FOR NEW RESIDENTIAL CONSTRUCTION

SECTION:

§9055 Purpose And Intent

§9055.1 Development Standards

§9055 PURPOSE AND INTENT

The purpose of this article is to create a by-right, ministerial approval process for all new residential construction, excluding single-family homes and duplexes. To do so, this article sets forth objective design and development standards that remove barriers to and reduce costs for new residential construction for multi-family housing, while still protecting the residential character of the City's neighborhoods. (Ord. 1212, §7, adopted 2021)

§9055.1 DEVELOPMENT STANDARDS

A. Setbacks:

1. Front: The front setback shall comply with the base zone front setback requirements.
2. Setback Landscaping: Areas between the required setback and street improvements shall be landscaped per the landscaping requirements in subsection L of this section.
3. Side (Interior):
 - a. Minimum Side Setbacks: There is no minimum interior side setback; provided, that structures comply with the building and fire code standards for structure separation.
 - b. Zero Setback: If zero setbacks are proposed, the side setback opposite the zero setback shall be a minimum of five feet (5').
4. Rear: The rear setback shall comply with the base zone rear setback requirements.

B. Property Access: There shall be vehicular access from a dedicated and improved street, easement, or alley to off-street parking areas.

- C. **Street Frontage:** Every primary residential structure shall have frontage on a public street or an accessway which has been approved for residential access by the City.
- D. **Structure Orientation:** Structures shall incorporate site design that reduces heating and cooling needs by orienting structures (both common facilities and dwelling units) on the parcel to reduce heat loss and gain, depending on the time of day and season of the year.
- E. **Structure Height:** Structure height shall comply with the base zone maximum allowable height.
- F. **Alternative Energy Applications:** All structures shall be designed to allow for the installation of alternative energy technologies including but not limited to active solar, wind, or other emerging technologies, and shall comply with the following standards:
1. Installation of solar technology on structures such as rooftop photovoltaic cell arrays shall be installed in accordance with the State Fire Marshal safety regulations and guidelines.
 2. Roof-mounted equipment shall be located in such a manner so as to not preclude the installation of solar panels, as shown in Figure 1-1.

Figure 1-1: Application of Roof-Mounted Equipment

- G. **Utility Lines:** All utility lines from the service drop to the structure shall be placed underground.
- H. **HVAC Systems:** All HVAC systems shall be located on the roof of the structure to minimize noise impacts to adjacent properties, or shall be placed on the ground, not visible from the public right of way, meet the required setback and be obscured by fencing or landscaping as described in §9055.2(H) - Screening.
- I. **Mail and Package Delivery Location:** For multifamily development projects greater than four (4) dwelling units, mailboxes and package delivery areas shall be in locations easily visible by residents.
- J. **Primary Entrances:**
1. **Entry Lighting:** All primary structure entrances shall include dusk-to-dawn lighting for safety and security per subsection P of this section.
 2. **Interior-Facing Structures:**
 - a. The primary entrance of each interior-facing structure shall be oriented toward paseos, courtyards, pathways, and active landscape areas.
 - b. For safety, units not facing the street shall be oriented to provide visual access to

entryways, pedestrian pathways, recreation areas, and common facilities from dwelling units.

K. Open Space: The following development standards apply to multifamily developments greater than four (4) dwelling units:

1. Public Open Space:

a. Public Open Space: Not less than ten percent (10%) of the gross acreage of the total project shall be set aside as public open space to allow for active and passive recreation opportunities and that includes shading elements to benefit all residents of the project, as shown in Figure 1-2. Open space ownership and maintenance shall be the responsibility of the property owner(s).

Figure 1-2: Configuration of Public Open Space

b. Connections: Public open space areas shall be directly connected to all interior space areas (i.e., community room, recreation room, exercise center), trash and recycling enclosures, laundry facilities (if applicable), structure entrances, parking areas, and mail delivery areas by pedestrian-oriented pathways.

c. Landscaping and Gardening: A minimum of fifteen percent (15%) of the required public open space shall be landscaped with materials and plantings consistent with the standards in subsection L of this section (Landscaping and Gardening) and the subject parcel's underlying base zone landscaping requirements.

d. Lighting: In addition to the exterior lighting standards in subsection P of this section, public open space areas shall incorporate accent lighting. Accent lighting may include string lighting in trees or crisscrossed over pedestrian areas via courtyards, or plazas; lighting in fountains; or lighting of significant structures or architectural design features.

e. Public Gathering Space: Public open space areas shall include a minimum of two (2) of the following public gathering spaces:

(1) Patio seating area for a minimum of eight (8) people. Patio seating can be fixed chairs and tables, table/bench combination, or landscape materials (i.e., slabs of stone or rock);

(2) Community Garden;

(3) Water feature in the form of a fountain, bubblers, or water play area;

(4) Picnic/BBQ area no smaller than two hundred (200) square feet with a minimum of three

(3) Picnic/BBQs and tables; or

(5) Pedestrian plaza no smaller than two hundred (200) square feet with a minimum of four (4) benches.

f. Recreation Facilities: A maximum of twenty-five percent (25%) of the required public open space area may be paved for recreation facilities including but not limited to basketball courts, tennis courts, common playground, or swimming pools.

2. Private Open Space:

a. Ground Floor Units: Each ground floor dwelling unit shall include a minimum of forty (40) square feet of private open space in the form of a covered or uncovered patio to allow for light, air, and privacy.

b. Above-Ground-Floor Units: Each above-ground-floor dwelling unit shall include a minimum of forty (40) square feet of private open space in the form of a terrace, balcony, or rooftop patio to allow for light, air, and privacy.

L. Landscaping (see Figure 1-3):

1. Landscaping Plans: Existing features, such as trees, creeks, and riparian habitats shall be incorporated into landscaping plans.

2. Site Landscaping:

a. All street trees shall be planted consistent with the standard planting detail on file with the City Engineer.

b. Vegetation (i.e., bushes, shrubs, flowers) shall be maintained at a height of no more than three feet (3') when located adjacent to pedestrian pathways and building facades and placed in such a manner that does not obstruct lighting.

c. Foodscaping: The integration of edible plants into ornamental landscapes.

d. Community Garden: A public garden tended and maintained by members of the local community, allowed per §9173.2 (Community Gardens). Community Gardens shall be regularly maintained, and feature a management plan

3. Irrigation: Site landscaping shall include an automated irrigation system with a minimum of

seventy-five percent (75%) of system being drip irrigation to reduce water consumption.

4. Maintenance: All trees and on-site landscaping shall be maintained by the property owner.

5. Landscaping Plant Selection:

a. Landscape planting shall consist of at least seventy-five percent (75%) native, drought-tolerant plants and/or flowering plants, including plants identified for 'Foodscaping'.

b. All tree plantings shall be equivalent to a fifteen (15) gallon container or larger.

c. Street trees shall be selected from the approved species on the Ukiah Master Tree List – Required Street Tree List.

Figure 1-3: Landscaping

M. Personal Outdoor Storage Spaces: A minimum of ten (10) square feet (eighty (80) cubic feet) of personal outdoor storage space shall be provided for each dwelling unit. Personal outdoor storage areas shall be covered and able to be locked.

N. Bicycle Parking is an essential element of any bikeway network. Site planning for short-term and long-term bicycle storage considerations should be based on the Association of Pedestrian and Bicycle Professional's (APBP) "Bicycle Parking Guidelines" and best practices. See below for bicycle parking standards (see Figure 1-4):

1. Class I Bicycle Parking: One Class I bicycle parking space (i.e., bicycle locker) is required for every fifteen (15) dwelling units. The Class I bicycle space shall be located within or directly adjacent to the required public open space area.

2. Class II Bicycle Parking: For multifamily development projects greater than four (4) dwelling units, one Class II bicycle parking space (i.e., inverted U-rack, ribbon rack, wave rack) is required for every three (3) dwelling units. The Class II bicycle space shall be located within or directly adjacent to the required public open space area.

Figure 1-4: Bicycle Parking

O. Parking and Circulation:

1. Parking Areas:

a. Parking Lot Design and Location:

(1) Parking is prohibited within required sight distance areas.

(2) Multifamily development projects greater than fifteen (15) dwelling units shall not site more than fifty percent (50%) of the total parking stalls in a single area of the parking lot.

(3) Multifamily development projects greater than four (4) dwelling units shall not provide parking between the building(s) and the primary street frontage.

(4) Parking lots within a site shall be internally connected and use shared driveways.

b. Parking Lot Landscaping: The following development standards apply to multi-family developments greater than four (4) dwelling units:

(1) Parking lots with twelve (12) or more parking stalls shall have a tree placed between every four (4) parking stalls (with exceptions for access aisles and other features required for accessibility or EV Charging), unless infeasible, due to existing mature trees or similar site-constraint. Parking lots shall also feature a continuous linear planting strip, rather than individual planting wells.

(2) Parking lots shall provide shade trees in landscaped areas and along pedestrian pathways. Parking areas shall be designed to provide a tree canopy coverage of fifty percent (50%) over all paved areas within ten (10) years of planting.

(3) Parking lots shall provide a minimum ten-foot (10') buffer between the parking and structures. This buffer can include walkways and/or landscaping.

(4) Parking lots shall use concrete curbing or raised planting areas to protect landscaped areas from encroaching vehicles.

(5) At least seventy-five percent (75%) of parking lot trees shall be deciduous species.

c. Parking Lot Lighting: The following development standards apply to multifamily development projects greater than four (4) dwelling units.

(1) Parking lots shall include pole-mounted lighting that shall be no more than sixteen feet (16') in height.

(2) Parking lot lighting shall be directed downward to minimize glare.

d. Carports: Carports shall be reserved for vehicles and shall not be used as storage space.

e. Individual Garage Parking: For multifamily development projects greater than four (4) dwelling units, indoor vehicle parking in the form of garages is encouraged, but not required.

2. Required Parking:

a. Parking Standards: Multifamily dwelling parking standards shall be consistent with the parking regulations of their zoning designation.

b. Parking Standards: Mixed-use parking standards shall be consistent with Ukiah City Code Section 91798(A)(9).

P. Exterior Lighting (see Figure 1-5):

1. Pedestrian-oriented lighting shall be provided in active pedestrian areas (i.e., paseos, interior sidewalks, pathways, etc.) for safety and security.

2. Pedestrian pathway (excluding street-fronting sidewalks) lighting features shall not exceed ten feet (10') in height.

3. Active pedestrian areas shall incorporate free-standing lighting separate from structures.

4. Pedestrian pathways, elevator lobbies, parking areas, stairwells, and other common areas shall have minimum illumination levels of one-half (0.5) foot-candle at the pathway surface to clearly show walking conditions.

5. Overhead sports court lighting shall illuminate only the intended area. Light trespass onto neighboring parcels is prohibited.

6. Outdoor lighting shall use energy efficient lighting technology and shall be shielded downward to reduce glare and light pollution in conformance with Dark Sky Standards of the International Dark Sky Association..

Figure 1-5: Exterior Lighting

Q. Privacy: Any balcony, window, or door shall use at least one of the following development approaches to lessen the privacy impacts onto adjacent properties. These techniques include: use of obscured glazing, landscaped/privacy buffer in the required setback with a minimum of five feet (5'), window placement above eye level, or locating balconies, windows, and doors facing toward the street and backyard. Trees and landscaping used as a landscaped/privacy buffer shall be planted and maintained by the property owner to preserve the privacy of adjacent property owners.

R. Trash and Recycling Enclosures: The following trash and recycling enclosure development

standards apply to multifamily development projects greater than four (4) dwelling units:

1. Walls either made of masonry, metal, or wood with finished metal doors.
2. Vehicle and pedestrian access gates.
3. Downward lighting for safety and security.

S. Structure Identification: Structure identification numbers shall be placed along pedestrian pathways and roads and shall be readable from a distance of at least sixty feet (60').

T. Signage and Information: Developments shall comply with the sign standards in Division 3, Chapter 7 of this code (Signs). In addition, all directional signage and informational kiosks (i.e., development maps) shall be located at the entrances of individual buildings and at convergences of main pedestrian pathways. (Ord. 1212, §7, adopted 2021)

§9055.2 DESIGN STANDARDS

A. Carports:

1. For multifamily development projects greater than four (4) dwelling units, carports shall not be visible from the street.
2. Carports shall include the approved color palette, materials, and design elements of the structure.

B. Color Palettes (see Figure 1-6):

1. All structures shall include at least one primary color and a maximum of two (2) accent colors, in addition to the color of the roofing material.
2. Each structure elevation shall include two (2) colors in the selected color palette.
3. Projects that include more than ten (10) dwelling units shall include at least two (2) color palettes, where no single-color palette shall be used on more than fifty percent (50%) of the dwelling units.

Figure 1-6: Color Palettes

C. Fences and Walls: The following materials are prohibited for all fences and walls:

1. Electrified;
2. Barbed wire/razor wire;

3. Sharp objects such as spires and glass;
 4. Cyclone or chain link (Exception for on-site gardening or recreation improvements (e.g., basketball court, community gardens, etc.); and
 5. Vinyl (Exception for on-site gardening or recreation improvements (e.g., basketball court, community gardens, etc.)..
- D. Glazing: Structures shall incorporate the use of energy efficient glazing to reduce heat loss and gain.
- E. Common Mailboxes: Common mailboxes shall be painted using the approved color palette for the overall development.
- F. Trash and Recycling Enclosures: Trash and recycling enclosure walls and metal doors shall be painted in accordance with the approved color palette for the overall project.
- G. Roof Design and Materials (see Figure 1-7):
1. Horizontal eaves longer than twenty feet (20') in length shall be broken up by gables, building projections, or other forms of articulation.
 2. Roof overhangs shall be a minimum of twelve inches (12").

Figure 1-7: Roof Design

3. The following are allowable roofing materials:
 - a. Nonreflective standing seam metal roofs in shades of tan, brown, black, light blue, red, and green;
 - b. Cool foam roofs (white);
 - c. Clay tile; and
 - d. Architectural composition shingles.
- H. Screening: All screening of ground-mounted, wall-mounted, and roof-mounted equipment shall be painted in accordance with the approved color palette for the project. Visual screening shall be installed if ground-mounted or wall-mounted equipment faces the street.

- I. Stairways/Stairwells: Exterior stairways/stairwells that are not enclosed shall not be visible from the public right-of-way.
- J. Structure Massing: Structures that have a length longer than thirty feet (30') shall include facades with varying modulation with a minimum depth of two feet (2') at intervals of no more than ten feet (10'), as shown in Figure 1-8.

Figure 1-8: Structure Massing

K. Structure Materials and Elements:

1. Drainpipes, parapets, and ledges shall not be located near windows, corridors, and balconies. If such placement is not feasible, they shall face parking lots, public spaces, and roads.
 2. All structures shall include a minimum of two (2) primary materials (i.e., stone, wood, masonry, or metal) on each structure elevation. Each material shall comprise at least twenty percent (20%) of the elevations excluding windows and railings.
 3. All structures that use exterior veneers shall ensure the edge of the veneer is not obvious by prohibiting the use of vertical joints at exterior corners.
 4. The following primary structure materials are prohibited:
 - a. Exposed logs in their natural state;
 - b. Stucco textured foam, synthetic stucco, vinyl or vinyl clad materials; and
 - c. Unfinished galvanized metals.
- L. Exception: As needed or required, due to site or building constraints, the applicant can request deviation from the identified standards conveyed in UCC §9055.1 (K-S) or UCC §9055.2 (J-K) by 25% upon review by the Community Development Director.

RESOLUTION NUMBER _____
CITY OF UKIAH _____
SEPTEMBER 13, 2023
ORDINANCE AMENDMENT - OBJECTIVE
DESIGN &
DEVELOPMENT STANDARDS

RESOLUTION OF THE, CITY OF UKIAH PLANNING COMMISSION MAKING
ITS REPORT AND RECOMMENDATION TO THE UKIAH CITY COUNCIL
REGARDING PROPOSED AMENDMENTS TO THE UKIAH CITY CODE
DIVISION 9, CHAPTER 2, ARTICLE 5.2, SECTIONS 9055-9055.2

WHEREAS, on November 4, 2020, the City Council provided direction to Community Development Staff regarding the use of objective design and development standards after receiving input from the City of Ukiah Design Review Board and Planning Commission; and

WHEREAS, on March 17, 2021 the City Council adopted Ordinance Number 1212 that added Article 5.2 to Ukiah City Code allowing for a ministerial approval process for all new residential construction that utilize objective design and development standards; and

WHEREAS, the City of Ukiah approved the development of Acorn Valley Plaza on December 12, 2022, which was the first multifamily housing development to utilize these objective standards thereby informing potential improvements and modifications to Ukiah City Code; and

WHEREAS, on July 27, 2023, an ordinance amendment was presented to the Design Review Board to evaluate and provide recommendations regarding potential modifications to Division 9, Chapter 2, Article 5.2; and

WHEREAS, the general rule exemption set forth in Section 15061(b)(3) of the California Environmental Quality Act Guidelines (Title 14, Cal. Code Regs., section 15000 *et seq.*; "CEQA Guidelines") applies to this action because, for the reasons set forth in the staff report accompanying this Resolution, the Project does not have the potential to cause a significant effect on the environment and is therefore not subject to CEQA, as the Project only seeks to modify minor alterations to existing regulations already improved by the City of Ukiah; and

WHEREAS, in accordance with applicable provisions of law, the Planning Commission held a public hearing on September 13, 2023, at which time the Planning Commission heard and received all relevant testimony and evidence presented orally or in writing regarding the Project. All interested persons were given an opportunity to hear and be heard regarding the Project; and

WHEREAS, the Planning Commission has had an opportunity to review this Resolution and finds that it accurately sets forth the intentions of the Planning Commission regarding the Project.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission, based on the evidence in the record before it and all the findings and determinations provided in the staff report, makes the following report and recommendation to the City of Ukiah City Council regarding modifications to the City's Objective Design and Development Standards thereto:

1. The Planning Commission recommends that the City Council review ordinance amendment to update existing objective design and development standards and find the adoption of the Categorical Exempt from CEQA pursuant to CEQA Guidelines section 15061(b)(3).
2. The Planning Commission recommends that the City Council find that the adoption of this proposed ordinance amendment is consistent with the General Plan, and implements action items, policies and goals conveyed by said plan.

3. The Planning Commission recommends that City Council adopt this proposed Ordinance Amendment, making the changes to code sections as shown in the attached Exhibit A.

BE IT FURTHER RESOLVED that the Planning Commission designates the City Clerk as the custodian of the document and other materials that constitutes the record of proceedings upon which the Planning Commission decision herein is based. These documents may be found at the office of the City of Ukiah Department of Community Development, 300 Seminary Avenue, Ukiah, CA 95482.

BY: _____
Craig Schlatter
Community Development Director

Mark Hilliker, Chair
City of Ukiah Planning Commission

ATTEST:

By: _____
Stephanie Abba, Planning Commission Secretary

Exhibit A Enclosed

CHAPTER 2 ZONING

ARTICLE 5.2. OBJECTIVE DESIGN AND DEVELOPMENT STANDARDS FOR NEW RESIDENTIAL CONSTRUCTION

SECTION:

§9055 Purpose And Intent

§9055.1 Development Standards

§9055 PURPOSE AND INTENT

The purpose of this article is to create a by-right, ministerial approval process for all new residential construction, excluding single-family homes and duplexes. To do so, this article sets forth objective design and development standards that remove barriers to and reduce costs for new residential construction for multi-family housing, while still protecting the residential character of the City's neighborhoods. (Ord. 1212, §7, adopted 2021)

§9055.1 DEVELOPMENT STANDARDS

A. Setbacks:

1. Front: The front setback shall comply with the base zone front setback requirements.
2. Setback Landscaping: Areas between the required setback and street improvements shall be landscaped per the landscaping requirements in subsection L of this section.
3. Side (Interior):
 - a. Minimum Side Setbacks: There is no minimum interior side setback; provided, that structures comply with the building and fire code standards for structure separation.
 - b. Zero Setback: If zero setbacks are proposed, the side setback opposite the zero setback shall be a minimum of five feet (5').
4. Rear: The rear setback shall comply with the base zone rear setback requirements.

B. Property Access: There shall be vehicular access from a dedicated and improved street, easement, or alley to off-street parking areas.

- C. **Street Frontage:** Every primary residential structure shall have frontage on a public street or an accessway which has been approved for residential access by the City.
- D. **Structure Orientation:** Structures shall incorporate site design that reduces heating and cooling needs by orienting structures (both common facilities and dwelling units) on the parcel to reduce heat loss and gain, depending on the time of day and season of the year.
- E. **Structure Height:** Structure height shall comply with the base zone maximum allowable height.
- F. **Alternative Energy Applications:** All structures shall be designed to allow for the installation of alternative energy technologies including but not limited to active solar, wind, or other emerging technologies, and shall comply with the following standards:
1. Installation of solar technology on structures such as rooftop photovoltaic cell arrays shall be installed in accordance with the State Fire Marshal safety regulations and guidelines.
 2. Roof-mounted equipment shall be located in such a manner so as to not preclude the installation of solar panels, as shown in Figure 1-1.

Figure 1-1: Application of Roof-Mounted Equipment

- G. **Utility Lines:** All utility lines from the service drop to the structure shall be placed underground.
- H. **HVAC Systems:** All HVAC systems shall be located on the roof of the structure to minimize noise impacts to adjacent properties, or shall be placed on the ground, not visible from the public right of way, meet the required setback and be obscured by fencing or landscaping as described in §9055.2(H) - Screening.
- I. **Mail and Package Delivery Location:** For multifamily development projects greater than four (4) dwelling units, mailboxes and package delivery areas shall be in locations easily visible by residents.
- J. **Primary Entrances:**
1. **Entry Lighting:** All primary structure entrances shall include dusk-to-dawn lighting for safety and security per subsection P of this section.
 2. **Interior-Facing Structures:**
 - a. The primary entrance of each interior-facing structure shall be oriented toward paseos, courtyards, pathways, and active landscape areas.
 - b. For safety, units not facing the street shall be oriented to provide visual access to

entryways, pedestrian pathways, recreation areas, and common facilities from dwelling units.

K. Open Space: The following development standards apply to multifamily developments greater than four (4) dwelling units:

1. Public Open Space:

a. Public Open Space: Not less than ten percent (10%) of the gross acreage of the total project shall be set aside as public open space to allow for active and passive recreation opportunities and that includes shading elements to benefit all residents of the project, as shown in Figure 1-2. Open space ownership and maintenance shall be the responsibility of the property owner(s).

Figure 1-2: Configuration of Public Open Space

b. Connections: Public open space areas shall be directly connected to all interior space areas (i.e., community room, recreation room, exercise center), trash and recycling enclosures, laundry facilities (if applicable), structure entrances, parking areas, and mail delivery areas by pedestrian-oriented pathways.

c. Landscaping and Gardening: A minimum of fifteen percent (15%) of the required public open space shall be landscaped with materials and plantings consistent with the standards in subsection L of this section (Landscaping and Gardening) and the subject parcel's underlying base zone landscaping requirements.

d. Lighting: In addition to the exterior lighting standards in subsection P of this section, public open space areas shall incorporate accent lighting. Accent lighting may include string lighting in trees or crisscrossed over pedestrian areas via courtyards, or plazas; lighting in fountains; or lighting of significant structures or architectural design features.

e. Public Gathering Space: Public open space areas shall include a minimum of two (2) of the following public gathering spaces:

(1) Patio seating area for a minimum of eight (8) people. Patio seating can be fixed chairs and tables, table/bench combination, or landscape materials (i.e., slabs of stone or rock);

(2) Community Garden;

(3) Water feature in the form of a fountain, bubblers, or water play area;

- (4) Picnic/BBQ area no smaller than two hundred (200) square feet with a minimum of three
- (5) Picnic/BBQs and tables; or
- (6) Pedestrian plaza no smaller than two hundred (200) square feet with a minimum of four (4) benches.

f. Recreation Facilities: A maximum of twenty-five percent (25%) of the required public open space area may be paved for recreation facilities including but not limited to basketball courts, tennis courts, common playground, or swimming pools.

2. Private Open Space:

- a. Ground Floor Units: Each ground floor dwelling unit shall include a minimum of forty (40) square feet of private open space in the form of a covered or uncovered patio to allow for light, air, and privacy.
- b. Above-Ground-Floor Units: Each above-ground-floor dwelling unit shall include a minimum of forty (40) square feet of private open space in the form of a terrace, balcony, or rooftop patio to allow for light, air, and privacy.

L. Landscaping (see Figure 1-3):

1. Landscaping Plans: Existing features, such as trees, creeks, and riparian habitats shall be incorporated into landscaping plans.

2. Site Landscaping:

- a. All street trees shall be planted consistent with the standard planting detail on file with the City Engineer.
- b. Vegetation (i.e., bushes, shrubs, flowers) shall be maintained at a height of no more than three feet (3') when located adjacent to pedestrian pathways and building facades and placed in such a manner that does not obstruct lighting.
- c. Foodscaping: The integration of edible plants into ornamental landscapes.
- d. Community Garden: A public garden tended and maintained by members of the local community, allowed per §9173.2 (Community Gardens). Community Gardens shall be regularly maintained, and feature a management plan

3. Irrigation: Site landscaping shall include an automated irrigation system with a minimum of

seventy-five percent (75%) of system being drip irrigation to reduce water consumption.

4. Maintenance: All trees and on-site landscaping shall be maintained by the property owner.

5. Landscaping Plant Selection:

- a. Landscape planting shall consist of at least seventy-five percent (75%) native, drought-tolerant plants and/or flowering plants, including plants identified for 'Foodscaping'.
- b. All tree plantings shall be equivalent to a fifteen (15) gallon container or larger.
- c. Street trees shall be selected from the approved species on the Ukiah Master Tree List – Required Street Tree List.

Figure 1-3: Landscaping

M. Personal Outdoor Storage Spaces: A minimum of ten (10) square feet (eighty (80) cubic feet) of personal outdoor storage space shall be provided for each dwelling unit. Personal outdoor storage areas shall be covered and able to be locked.

N. Bicycle Parking is an essential element of any bikeway network. Site planning for short-term and long-term bicycle storage considerations should be based on the Association of Pedestrian and Bicycle Professional's (APBP) "Bicycle Parking Guidelines" and best practices. See below for bicycle parking standards (see Figure 1-4):

1. Class I Bicycle Parking: One Class I bicycle parking space (i.e., bicycle locker) is required for every fifteen (15) dwelling units. The Class I bicycle space shall be located within or directly adjacent to the required public open space area.
2. Class II Bicycle Parking: For multifamily development projects greater than four (4) dwelling units, one Class II bicycle parking space (i.e., inverted U-rack, ribbon rack, wave rack) is required for every three (3) dwelling units. The Class II bicycle space shall be located within or directly adjacent to the required public open space area.

Figure 1-4: Bicycle Parking

O. Parking and Circulation:

1. Parking Areas:

a. Parking Lot Design and Location:

- (1) Parking is prohibited within required sight distance areas.

(2) Multifamily development projects greater than fifteen (15) dwelling units shall not site more than fifty percent (50%) of the total parking stalls in a single area of the parking lot.

(3) Multifamily development projects greater than four (4) dwelling units shall not provide parking between the building(s) and the primary street frontage.

(4) Parking lots within a site shall be internally connected and use shared driveways.

b. Parking Lot Landscaping: The following development standards apply to multi-family developments greater than four (4) dwelling units:

(1) Parking lots with twelve (12) or more parking stalls shall have a tree placed between every four (4) parking stalls (with exceptions for access aisles and other features required for accessibility or EV Charging), unless infeasible, due to existing mature trees or similar site-constraint. Parking lots shall also feature a continuous linear planting strip, rather than individual planting wells.

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(3) Parking lots shall provide a minimum ten-foot (10') buffer between the parking and structures. This buffer can include walkways and/or landscaping.

(4) Parking lots shall use concrete curbing or raised planting areas to protect landscaped areas from encroaching vehicles.

(5) At least seventy-five percent (75%) of parking lot trees shall be deciduous species.

c. Parking Lot Lighting: The following development standards apply to multifamily development projects greater four (4) dwelling units.

(1) Parking lots shall include pole-mounted lighting that shall be no more than sixteen feet (16') in height.

(2) Parking lot lighting shall be directed downward to minimize glare.

d. Carports: Carports shall be reserved for vehicles and shall not be used as storage space.

e. Individual Garage Parking: For multifamily development projects greater than four (4) dwelling units, indoor vehicle parking in the form of garages is encouraged, but not required.

2. Required Parking:

a. Parking Standards: Multifamily dwelling parking standards shall be consistent with the parking regulations of their zoning designation.

b. Parking Standards: Mixed-use parking standards shall be consistent with Ukiah City Code Section 91798(A)(9).

P. Exterior Lighting (see Figure 1-5):

1. Pedestrian-oriented lighting shall be provided in active pedestrian areas (i.e., paseos, interior sidewalks, pathways, etc.) for safety and security.

2. Pedestrian pathway (excluding street-fronting sidewalks) lighting features shall not exceed ten feet (10') in height.

3. Active pedestrian areas shall incorporate free-standing lighting separate from structures.

4. Pedestrian pathways, elevator lobbies, parking areas, stairwells, and other common areas shall have minimum illumination levels of one-half (0.5) foot-candle at the pathway surface to clearly show walking conditions.

5. Overhead sports court lighting shall illuminate only the intended area. Light trespass onto neighboring parcels is prohibited.

6. Outdoor lighting shall use energy efficient lighting technology and shall be shielded downward to reduce glare and light pollution in conformance with Dark Sky Standards of the International Dark Sky Association..

Figure 1-5: Exterior Lighting

Q. Privacy: Any balcony, window, or door shall use at least one of the following development approaches to lessen the privacy impacts onto adjacent properties. These techniques include: use of obscured glazing, landscaped/privacy buffer in the required setback with a minimum of five feet (5'), window placement above eye level, or locating balconies, windows, and doors facing toward the street and backyard. Trees and landscaping used as a landscaped/privacy buffer shall be planted and maintained by the property owner to preserve the privacy of adjacent property owners.

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1. Walls either made of masonry, metal, or wood with finished metal doors.
2. Vehicle and pedestrian access gates.
3. Downward lighting for safety and security.

S. Structure Identification: Structure identification numbers shall be placed along pedestrian pathways and roads and shall be readable from a distance of at least sixty feet (60').

T. Signage and Information: Developments shall comply with the sign standards in Division 3, Chapter 7 of this code (Signs). In addition, all directional signage and informational kiosks (i.e., development maps) shall be located at the entrances of individual buildings and at convergences of main pedestrian pathways. (Ord. 1212, §7, adopted 2021)

§9055.2 DESIGN STANDARDS

A. Carports:

1. For multifamily development projects greater than four (4) dwelling units, carports shall not be visible from the street.
2. Carports shall include the approved color palette, materials, and design elements of the structure.

B. Color Palettes (see Figure 1-6):

1. All structures shall include at least one primary color and a maximum of two (2) accent colors, in addition to the color of the roofing material.
2. Each structure elevation shall include two (2) colors in the selected color palette.
3. Projects that include more than ten (10) dwelling units shall include at least two (2) color palettes, where no single-color palette shall be used on more than fifty percent (50%) of the dwelling units.

Figure 1-6: Color Palettes

C. Fences and Walls: The following materials are prohibited for all fences and walls:

1. Electrified;
2. Barbed wire/razor wire;

3. Sharp objects such as spires and glass;
 4. Cyclone or chain link (Exception for on-site gardening or recreation improvements (e.g., basketball court, community gardens, etc.); and
 5. Vinyl (Exception for on-site gardening or recreation improvements (e.g., basketball court, community gardens, etc.)..
- D. Glazing: Structures shall incorporate the use of energy efficient glazing to reduce heat loss and gain.
- E. Common Mailboxes: Common mailboxes shall be painted using the approved color palette for the overall development.
- F. Trash and Recycling Enclosures: Trash and recycling enclosure walls and metal doors shall be painted in accordance with the approved color palette for the overall project.
- G. Roof Design and Materials (see Figure 1-7):
1. Horizontal eaves longer than twenty feet (20') in length shall be broken up by gables, building projections, or other forms of articulation.
 2. Roof overhangs shall be a minimum of twelve inches (12").

Figure 1-7: Roof Design

3. The following are allowable roofing materials:
 - a. Nonreflective standing seam metal roofs in shades of tan, brown, black, light blue, red, and green;
 - b. Cool foam roofs (white);
 - c. Clay tile; and
 - d. Architectural composition shingles.
- H. Screening: All screening of ground-mounted, wall-mounted, and roof-mounted equipment shall be painted in accordance with the approved color palette for the project. Visual screening shall be installed if ground-mounted or wall-mounted equipment faces the street.

- I. Stairways/Stairwells: Exterior stairways/stairwells that are not enclosed shall not be visible from the public right-of-way.
- J. Structure Massing: Structures that have a length longer than thirty feet (30') shall include facades with varying modulation with a minimum depth of two feet (2') at intervals of no more than ten feet (10'), as shown in Figure 1-8.

Figure 1-8: Structure Massing

K. Structure Materials and Elements:

1. Drainpipes, parapets, and ledges shall not be located near windows, corridors, and balconies. If such placement is not feasible, they shall face parking lots, public spaces, and roads.
 2. All structures shall include a minimum of two (2) primary materials (i.e., stone, wood, masonry, or metal) on each structure elevation. Each material shall comprise at least twenty percent (20%) of the elevations excluding windows and railings.
 3. All structures that use exterior veneers shall ensure the edge of the veneer is not obvious by prohibiting the use of vertical joints at exterior corners.
 4. The following primary structure materials are prohibited:
 - a. Exposed logs in their natural state;
 - b. Stucco textured foam, synthetic stucco, vinyl or vinyl clad materials; and
 - c. Unfinished galvanized metals.
- L. Exception: As needed or required, due to site or building constraints, the applicant can request deviation from the identified standards conveyed in UCC §9055.1 (K-S) or UCC §9055.2 (J-K) by 25% upon review by the Community Development Director.

**CITY OF UKIAH
DESIGN REVIEW BOARD REGULAR
MEETING MINUTES
Held in person and via Zoom teleconference
July 27, 2023
3:00 p.m.**

1. CALL TO ORDER

The meeting was held in person and virtually via Zoom teleconference. Chair Tom Liden called the Design Review Board meeting to order at approximately 3:00 p.m.

Chair Tom Liden presiding.

1a. Introduction of Lorena Akin - Recent Appointment to the Design Review Board by Ukiah City Council

Member Lorena Akin was introduced.

2. ROLL CALL

Members Present: Hawkes, Gordon, Akin and Chair Liden. **Absent** (at roll call): Meaux.

Member Meaux arrived at 3:10 p.m.

Staff Present: Craig Schlatter, Community Development Director; Jesse Davis, Chief Planning Manager; Michelle Irace, Planning Manager

3. CORRESPONDENCE

None received.

4. APPROVAL OF MINUTES

Motion/Second: Gordon/Liden made a motion to approve the minutes of the May 25, 2023 DRB minutes.

Motion carried by the following roll call votes: AYES: Gordon, Liden, Hawkes. NOES: None. ABSENT: Meaux. ABSTAIN: Akin.

5. COMMENTS FROM AUDIENCE ON NON-AGENDA ITEMS

No public comments on non-agenda items.

6. NEW BUSINESS

6a. Ordinance Amendment to Ukiah City Code to update the City's objective design and development standards for new multi-family residential construction.

Chief Planning Manager J. Davis presented the item.

Public comment period was opened and closed at 3:55 p.m., as no members of the public were in attendance in-person, nor online via teleconference.

The DRB unanimously recommended approval of the proposed revisions to the objective design and development standards to the Planning Commission, with the following recommendations:

1. Add the following text to Section 9055.1(h),
“HVAC Systems: All HVAC systems shall be located on the roof of the structure to minimize noise impacts to adjacent properties, or shall be placed on the ground, not visible from the public right of way, meet the required setback and be obscured by fencing or landscaping as described in UCC Section 9055.2(H) Screening.”
2. Add the following text to Section 9055.1(k)(1)(c),
“Landscaping and Gardening: A minimum of fifteen percent (15%) of the required public open space shall be landscaped with materials and plantings consistent with the standards in subsection L of this section (Landscaping and Gardening) and the subject parcel’s underlying base zone landscaping requirements. Community Gardens shall be regularly maintained, and feature a management plan in conformance with Ukiah City Code Section 9173.2.”
3. Consider reduction of guest parking requirements 9055.1(O)(2)a), rather than removal.
4. Add the following text to Section 9055.1 “Outdoor lighting shall use energy efficient lighting technology and shall be shielded downward to reduce glare and light pollution, in conformance with Dark Sky Standards of the International Dark Sky Association.”

7. MATTERS FROM THE BOARD

- a. Chair Liden suggested to defer the election of a new Chair and Vice Chair to September, due to member Hawkes being absent for the August meeting.

8. MATTERS FROM STAFF

- a. DRB members noted that they are interested in discussing the consideration of scheduling meetings as needed to review pertinent applications, rather than a date and time certain each month.
- b. DRB members requested a ‘contact list’ of members phone numbers and email addresses.

9. ADJOURNMENT

There being no further business, the meeting adjourned at approximately 5:15 p.m.



New Residential Construction Design and Development Standards Checklist

The following standards apply to all new residential construction projects, excluding single-family homes. Standards for the other reviewing departments have been added as a supplement to the packet. This checklist is a helpful tool to use during the design stage of the development to ensure your project qualifies to go straight to building permit submission, skipping the discretionary Planning permit process and saving both time and money. Applicants who choose not to adhere to the adopted Objective Standards may still proceed through the City's existing discretionary review process.



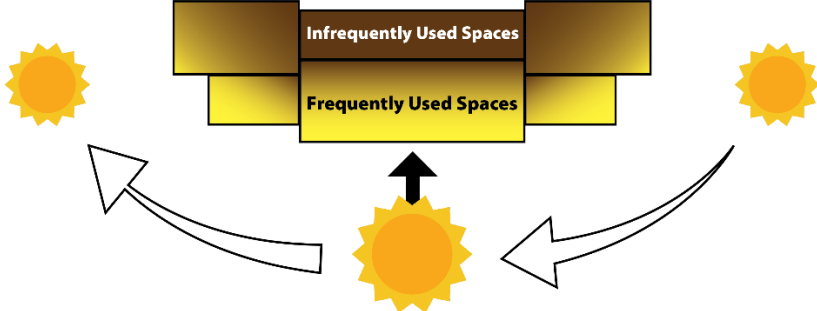
THE PROCESS:

1. Contact Community Development at the number above to schedule a Pre-Development Team Meeting. There is no cost to the developer for this service. The reviewing departments will provide location and project-specific feedback to assist in the development of a complete application.
2. After the Pre-Application Development Team Meeting, submit this completed checklist as part of your Building Permit plan check application.

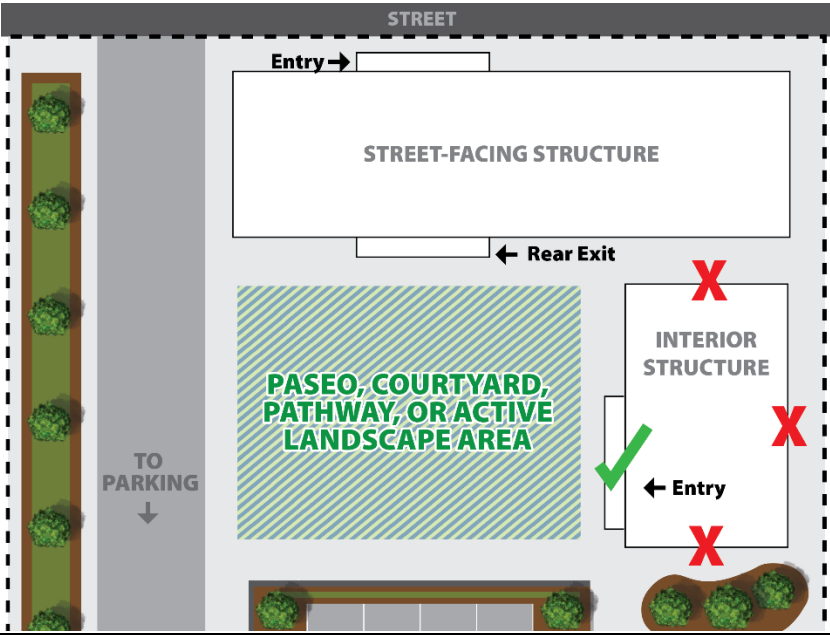


Development Standards

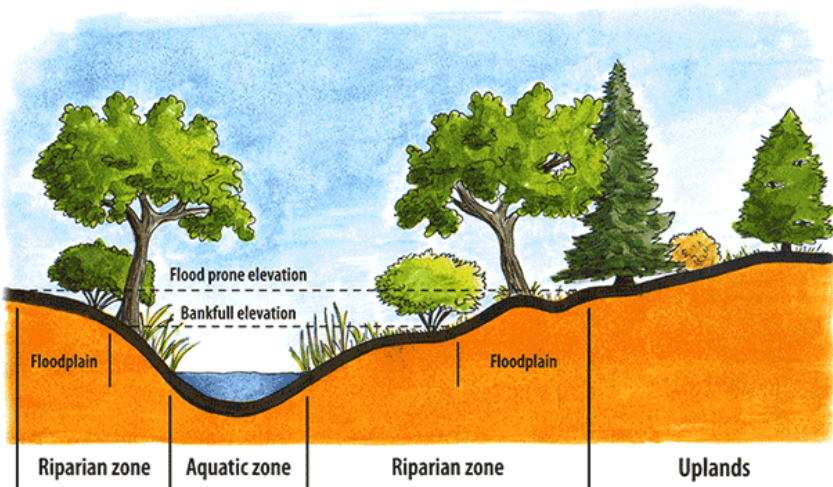
Use this checklist to ensure that your project design satisfies the criteria for ministerial review. Please include all information necessary to verify compliance on the plan set, indicating the sheet number where the information can be found.

Applicant Use:				Staff Use Only:	
Comply	N/A	Standard	Sheet #	Included	Missing
A. Setbacks					
		(1) Front: The front setback shall comply with the Project Site's zoning district front setback requirements.			
		(2) Setback Landscaping: Areas between the required setback and street improvements shall be landscaped per the landscaping requirements in subsection L of this section.			
		(3) Side (Interior):			
		a. Minimum Side Setbacks: There is no minimum interior side setback; provided, that structures comply with the building and fire code standards for structure separation.			
		b. Zero Setback: If zero setbacks are proposed, the side setback opposite the zero setback shall be a minimum of five feet (5').			
		(4) Rear: The rear setback shall comply with the base zone rear setback requirements.			
B. Property Access					
		Property Access. There shall be vehicular access from a dedicated and improved street, easement, or alley to off-street parking areas.			
C. Street Frontage					
		Street Frontage. Every primary residential structure shall have frontage on a public street or an accessway which has been approved for residential access by the City.			
D. Structure Orientation					
		Structure Orientation. Structures shall incorporate site design that reduces heating and cooling needs by orienting structures (both common facilities and dwelling units) on the parcel to reduce heat loss and gain, depending on the time of day and season of the year. Figure 1: Orientation to Reduce Heat Loss and Gain 			

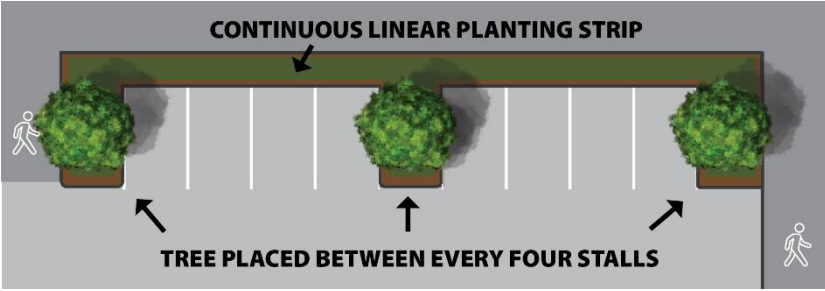
Applicant Use:				Staff Use Only:	
Comply	N/A	Standard	Sheet #	Included	Missing
E. Structure Height					
		Structure Height. Structure height shall comply with the base zone maximum allowable height.			
F. Alternative Energy Applications					
		Alternative Energy Applications. All structures shall be designed to allow for the installation of alternative energy technologies including but not limited to active solar, wind, or other emerging technologies, and shall comply with the following standards:			
		1. Installation of solar technology on structures such as rooftop photovoltaic cell arrays shall be installed in accordance with the State Fire Marshal safety regulations and guidelines.			
		2. Roof-mounted equipment shall be located in such a manner so as to not preclude the installation of solar panels. (see Ukiah City Code (UCC) §9055.1 DEVELOPMENT STANDARDS , Figure 1-1).			
G. Utility Lines					
		Utility Lines. All utility lines from the service drop to the structure shall be placed underground.			
H. HVAC Systems					
		HVAC Systems. All HVAC systems shall be located on the roof of the structure to minimize noise impacts to adjacent properties.			
I. Mail and Package Delivery Location					
		Mail and Package Delivery Location. For multifamily development projects greater than four (4) dwelling units, mailboxes and package delivery areas shall be in locations that are visible by residents at the interior of a structure entrance, elevator lobby, or stairwell.			
J. Primary Entrances					
		(1) Entry Lighting. All primary structure entrances shall include dusk to dawn lighting for safety and security per Section P in this checklist.			
		(2) Interior-Facing Structures.			
		a. The primary entrance of each interior-facing structure shall be oriented toward paseos, courtyards, pathways, and active landscape areas.			

Applicant Use:				Staff Use Only:	
Comply	N/A	Standard	Sheet #	Included	Missing
		Figure 2: Interior-facing Structures (Structures not facing a public street) 			
		b. For safety, units not facing the street shall be oriented to provide visual access to entryways, pedestrian pathways, recreation areas, and common facilities from dwelling units.			
K. Open Space					
		Open Space. The following development standards apply to multifamily developments greater than four (4) dwelling units:			
		1. Public Open Space:			
		a. Public Open Space: Not less than ten percent (10%) of the gross acreage of the total project shall be set aside as public open space to allow for active and passive recreation opportunities and that includes shading elements to benefit all residents of the project (see (UCC) §9055.1 DEVELOPMENT STANDARDS, Figure 1-2). Open space ownership and maintenance shall be the responsibility of the property owner(s).			
		b. Connections: Public open space areas shall be directly connected to all interior space areas (i.e., community room, recreation room, exercise center), trash and recycling enclosures, laundry facilities (if applicable), structure entrances, parking areas, and mail delivery areas by pedestrian-oriented pathways.			
		c. Landscaping: A minimum of fifteen percent (15%) of the required public open space shall be landscaped with materials and plantings consistent with the standards in subsection L of this section (Landscaping) and the subject parcel's underlying base zone landscaping requirements.			

Applicant Use:				Staff Use Only:	
Comply	N/A	Standard	Sheet #	Included	Missing
		d. Lighting: In addition to the exterior lighting standards in subsection P of this section, public open space areas shall incorporate accent lighting. Accent lighting may include string lighting in trees or crisscrossed over pedestrian areas, courtyards, or plazas; lighting in fountains; or lighting of significant structures or architectural design features.			
		e. Public Gathering Space: Public open space areas shall include a minimum of two (2) of the following public gathering spaces:			
		(1) Patio seating area for a minimum of eight (8) people. Patio seating can be fixed chairs and tables, table/bench combination, or landscape materials (i.e., slabs of stone or rock);			
		(2) Garden space;			
		(3) Water feature in the form of a fountain, bubblers, or water play pad;			
		(4) BBQ area no smaller than two hundred (200) square feet with a minimum of three (3) BBQs and tables; or			
		(5) Pedestrian plaza no smaller than two hundred (200) square feet with a minimum of four (4) benches.			
		f. Recreation Facilities: A maximum of twenty-five percent (25%) of the required public open space area may be paved for recreation facilities including but not limited to basketball courts, tennis courts, common playground, or swimming pools.			
		(2) Private Open Space:			
		a. Ground Floor Units: Each ground floor dwelling unit shall include a minimum of forty (40) square feet of private open space in the form of a covered or uncovered patio to allow for light, air, and privacy.			
		b. Above-Ground-Floor Units: Each above-ground-floor dwelling unit shall include a minimum of forty (40) square feet of private open space in the form of a terrace, balcony, or rooftop patio to allow for light, air, and privacy.			
L. Landscaping					
		(1) Landscaping Plans. Existing features, such as trees, creeks, and riparian habitats shall be incorporated into landscaping plans. The riparian area is the interface between land and a river or stream.			

Applicant Use:				Staff Use Only:	
Comply	N/A	Standard	Sheet #	Included	Missing
		Figure 4: Riparian Corridor  Source: slco.org			
		(2) Site Landscaping.			
		a. All street trees shall be planted consistent with the standard planting detail on file with the City Engineer. The Ukiah Required Street Tree List is available under “Tree Lists” at www.cityofukiah.com/documents-and-maps/.			
		b. Vegetation (i.e., bushes, shrubs, flowers) shall be maintained at a height of no more than three feet (3') when located adjacent to pedestrian pathways and building facades and placed in such a manner that does not obstruct lighting.			
		(3) Irrigation. Site landscaping shall include an automated irrigation system with a minimum of seventy-five percent (75%) of system being drip irrigation to reduce water consumption.			
		(4) Maintenance. All trees and on-site landscaping shall be maintained by the property owner.			
		(5) Landscaping Plant Selection.			
		a. Landscape planting shall consist of at least seventy-five percent (75%) native, drought-tolerant plants and/or flowering plants.			
		b. All tree plantings shall be equivalent to a fifteen (15) gallon container or larger.			
		c. Street trees shall be selected from the approved species on the Ukiah Master Tree List - Required Street Tree List. This list is available under “Tree Lists” at www.cityofukiah.com/documents-and-maps/.			

Applicant Use:				Staff Use Only:	
Comply	N/A	Standard	Sheet #	Included	Missing
M. Personal Outdoor Storage Spaces					
		Personal Outdoor Storage Spaces. A minimum of ten (10) square feet (eighty (80) cubic feet) of personal outdoor storage space shall be provided for each dwelling unit. Personal outdoor storage areas shall be covered and able to be locked.			
N. Bicycle Parking					
		(1) Class I Bicycle Parking. One Class I bicycle parking space (i.e., bicycle locker) is required for every fifteen (15) dwelling units. The Class I bicycle space shall be located within or directly adjacent to the required public open space area.			
		(2) Class II Bicycle Parking. For multifamily development projects greater than four (4) dwelling units, one Class II bicycle parking space (i.e., inverted U-rack, ribbon rack, wave rack) is required for every three (3) dwelling units. The Class II bicycle space shall be located within or directly adjacent to the required public open space area. Figure 5: Class II Bicycle Parking Examples 			
O. Parking and Circulation					
		(1) Parking Areas.			
		a. Parking Lot Design and Location			
		(1) Parking is prohibited within required sight distance areas. Sight distance area is the area visible to the driver of a vehicle. The site distance area is reviewed and approved by the Public Works Department.			
		(2) Multifamily development projects greater than fifteen (15) dwelling units shall not site more than fifty percent (50%) of the total parking stalls in a single parking area.			
		(3) Multifamily development projects greater than four (4) dwelling units shall not provide parking areas between the building(s) and the primary street frontage.			
		(4) Parking areas within a site shall be internally connected and use shared driveways.			
		b. Parking Lot Landscaping: The following development standards apply to multifamily development projects greater than four (4) dwelling units. The Ukiah Required Parking Lot Tree List is available online under “Tree Lists” at www.cityofukiah.com/documents-and-maps .			

Applicant Use:				Staff Use Only:	
Comply	N/A	Standard	Sheet #	Included	Missing
		(1) Parking areas with twelve (12) or more parking stalls shall have a tree placed between every four (4) parking stalls with a continuous linear planting strip, rather than individual planting wells, unless infeasible. Figure 6: Parking Lot Tree Requirement  CONTINUOUS LINEAR PLANTING STRIP TREE PLACED BETWEEN EVERY FOUR STALLS			
		(2) Parking areas shall provide shade trees in landscaped areas and along pedestrian pathways. Parking areas shall be designed to provide a tree canopy coverage of fifty percent (50%) over all paved areas within ten (10) years of planting.			
		(3) Parking areas shall provide a minimum ten-foot (10') buffer between the parking and structures. This buffer can include walkways and/or landscaping.			
		(4) Parking areas shall use concrete curbing or raised planting areas to protect landscaped areas from encroaching vehicles.			
		(5) At least seventy-five percent (75%) of parking lot trees shall be deciduous species.			
		c. Parking Lot Lighting: The following development standards apply to multifamily development projects greater than four (4) dwelling units.			
		(1) Parking lots shall include pole-mounted lighting that shall be no more than sixteen feet (16') in height.			
		(2) Parking lot lighting shall be directed downward to minimize glare.			
		d. Carports: Carports shall be reserved for vehicles and shall not be used as storage space.			
		e. Individual Garage Parking: For multifamily development projects greater than four (4) dwelling units, indoor vehicle parking in the form of garages is encouraged, but not required.			
		(2) Required Parking:			
		a. Guest Parking: A minimum of three (3) guest parking spaces shall be provided for every six (6) dwelling units.			
		b. Parking Standards: Multifamily dwelling parking standards shall be consistent with the parking regulations in Chapter 2, Article 17 OFF-STREET PARKING AND LOADING, with the exception of a minimum of one parking space per dwelling unit.			

Applicant Use:				Staff Use Only:	
Comply	N/A	Standard	Sheet #	Included	Missing
P. Exterior Lighting					
		(1) Pedestrian-oriented lighting shall be provided in active pedestrian areas (i.e., paseos, interior sidewalks, pathways, etc.) for safety and security.			
		(2) Pedestrian pathway (excluding street-fronting sidewalks) lighting features shall not exceed ten feet (10') in height.			
		(3) Active pedestrian areas shall incorporate free-standing lighting separate from structures.			
		(4) Pedestrian pathways, elevator lobbies, parking areas, stairwells, and other common areas shall have minimum illumination levels of one-half (0.5) foot-candle at the pathway surface to clearly show walking conditions.			
		(5) Overhead sports court lighting shall illuminate only the intended area. Light trespass onto neighboring parcels is prohibited.			
		(6) Outdoor lighting shall use energy efficient lighting technology and shall be shielded downward to reduce glare and light pollution.			
Q. Privacy					
		(1) Privacy. Any balcony, window, or door shall use at least one of the following development approaches to lessen the privacy impacts onto adjacent properties. These techniques include: use of obscured glazing, landscaped/privacy buffer in the required setback with a minimum of five feet (5'), window placement above eye level, or locating balconies, windows, and doors facing toward the street and backyard. Trees and landscaping used as a landscaped/privacy buffer shall be planted and maintained by the property owner to preserve the privacy of adjacent property owners.			
R. Trash and Recycling Enclosures					
		Trash and Recycling Enclosures. The following trash and recycling enclosure development standards apply to multifamily development projects greater than four (4) dwelling units:			
		(1) Walls either made of masonry, metal, or wood with finished metal doors.			
		(2) Vehicle and pedestrian access gates.			
		(3) Downward lighting for safety and security.			
S. Structure Identification					
		Structure Identification. Structure identification numbers shall be placed along pedestrian pathways and roads and shall be readable from a distance of at least sixty feet (60').			

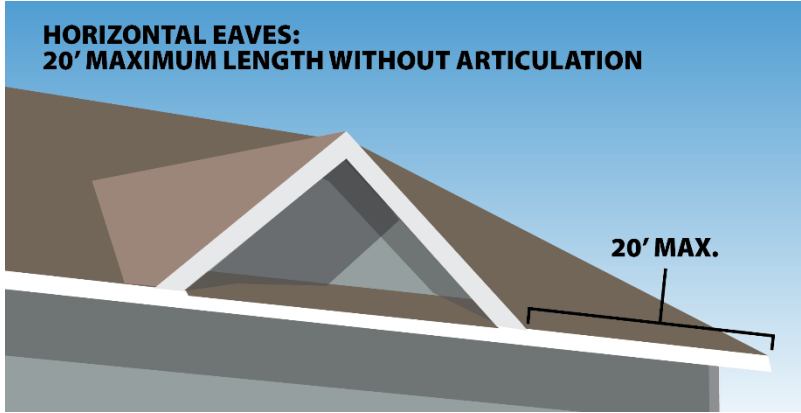
Applicant Use:			
Comply	N/A	Standard	Sheet #
T. Signage and Information			
		Signage and Information. Developments shall comply with the sign standards in Division 3, Chapter 7 of the Ukiah Municipal Code (Signs). In addition, all directional signage and informational kiosks (i.e., development maps) shall be located at the entrances of individual buildings and at convergences of main pedestrian pathways.	

Staff Use Only:	
Included	Missing

Design Standards

These [Objective Design Standards](#) may be applied to duplexes, triplexes, four-plexes, and projects greater than four (4) dwelling units.

Applicant Use:				Staff Use Only:	
Comply	N/A	Standard	Sheet #	Included	Missing
A. Carports					
		(1) For multifamily development projects greater than four (4) dwelling units, carports shall not be visible from the street.			
		(2) Carports shall include the approved color palette, materials, and design elements of the structure.			
B. Color Palettes					
		(1) All structures shall include at least one primary color and a maximum of two (2) accent colors, in addition to the color of the roofing material.			
		(2) Each structure elevation shall include two (2) colors in the selected color palette.			
		(3) Projects that include more than ten (10) dwelling units shall include at least two (2) color palettes, where no single-color palette shall be used on more than fifty percent (50%) of the dwelling units.			
C. Fences and Walls					
		Fences and Walls. The following materials are prohibited for all fences and walls: 1. Electrified; 2. Barbed wire/razor wire; 3. Sharp objects such as spires and glass; 4. Cyclone or chain link; and 5. Vinyl.			
D. Glazing					
		Glazing. Structures shall incorporate the use of energy efficient glazing to reduce heat loss and gain.			
E. Common Mailboxes					
		Common Mailboxes. Common mailboxes shall be painted using the approved color palette for the overall development.			
F. Trash and Recycling Enclosures					
		Trash and Recycling Enclosures. Trash and recycling enclosure walls and metal doors shall be painted in accordance with the approved color palette for the overall project.			

Applicant Use:				Staff Use Only:	
Comply	N/A	Standard	Sheet #	Included	Missing
G. Roof Design and Materials					
		(1) Horizontal eaves longer than twenty feet (20') shall be broken up by gables, building projections, or other forms of articulation. Articulation, in this instance, means the breaking up of large, otherwise featureless spaces or masses. Figure 7: Roofline Articulation 			
		(2) Roof overhangs shall be a minimum of twelve inches (12").			
		(3) The following are allowable roofing materials:			
		a. Nonreflective standing seam metal roofs in shades of tan, brown, black, light blue, red, and green;			
		b. Cool foam roofs (white);			
		c. Clay tile; and			
		d. Architectural composition shingles.			
H. Screening					
		Screening. All screening of ground-mounted, wall-mounted, and roof-mounted equipment shall be painted in accordance with the approved color palette for the project. Visual screening shall be installed if ground-mounted or wall-mounted equipment faces the street.			
I. Stairways/Stairwells					
		Stairways/Stairwells. Exterior stairways/stairwells that are not enclosed shall not be visible from the public right-of-way.			

Applicant Use:				Staff Use Only:	
Comply	N/A	Standard	Sheet #	Included	Missing
J. Structure Massing					
		Structure Massing. Structures that have a length longer than thirty feet (30') shall include facades with varying modulation with a minimum depth of two feet (2') at intervals of no more than ten feet (10') (see UCC §9055.2 DESIGN STANDARDS, Figure 1-8). Figure 8: Varying façade modulation 			
K. Structure Materials and Elements					
		(1) Drainpipes, parapets, and ledges shall not be located near windows, corridors, and balconies. If such placement is not feasible, they shall face parking lots, public spaces, and roads.			
		(2) All structures shall include a minimum of two (2) primary materials (i.e., stone, wood, masonry, or metal) on each structure elevation. Each material shall comprise at least twenty percent (20%) of the elevations excluding windows and railings.			
		(3) All structures that use exterior veneers shall ensure the edge of the veneer is not obvious by prohibiting the use of vertical joints at exterior corners.			
		(4) The following primary structure materials are prohibited:			
		a. Heavy timber, exposed logs in their natural state;			
		b. Stucco textured foam, synthetic stucco, vinyl or vinyl clad materials; and			
		c. Unfinished galvanized metals.			



Housing Development Packet Supplemental Information from Reviewing Departments

The City of Ukiah supports an increase in housing opportunities for households with incomes at all levels, and continually seeks ways to streamline the housing development process. This Supplement includes project criteria required by the departments reviewing the building permit application, and is to be used to assist prospective developers prior to submitting an application.

The following standards apply to all new residential construction projects except single-family dwellings.

Community Development Department – Building Division (707) 463-6268; BuildingDivision@CityofUkiah.com

- The design and construction of all site alterations shall comply with the current versions (at the date of submission of the building permit application) of the following: California Building Code, Plumbing Code, Electrical Code, California Mechanical Code, California Fire Code, California Energy Code, Title 24 California Energy Efficiency Standards, California Green Building Standards Code and City of Ukiah Ordinances and Amendments.
- Backflow devices are required on domestic water lines on buildings that are two-stories and higher.

The Building Permit Application form and Checklist for Accepting Residential Permit Applications, as well as other helpful handouts can be found on the Building Division web-page, www.cityofukiah.com/building-services/.

Building Department (707) 467-5786, Matt Keizer and Waylon Hockemier

- The design and construction of all site alterations shall comply with the current versions of the California Fire Code, Title 19, and all other pertinent codes and standards.

Electric Utility Department (707) 467-5711 (Program Coordinator)

- All utility lines from the structure to the first point of interconnection at the utility are to be placed underground.
- Building permit submittal shall include load calculations. During building permit application review, the specific service requirements, voltage, developer costs, utility easements, and additional requirements will be determined.

Public Works Department (707) 463-6282 (Permits, Easements)

- All work within the public right-of-way shall be performed by a licensed and properly insured contractor. The contractor shall obtain an encroachment permit for work within this area. Encroachment permit fee shall be \$45 plus 3% of estimated construction costs. Any disturbed areas in the public right-of-way will be subject to applicable trench cut fees.

- Any existing curb and gutter in disrepair that is adjacent to the subject property shall be repaired. All work shall be done in conformance with the City of Ukiah Standard Drawings 101 and 102 or as directed by the City Engineer.
- Provide itemized Engineer's Estimates of cost for site improvements (excluding joint trench utilities) and separately, for the public improvements within the street right-of-way.
- Applicant shall upgrade existing sidewalk along subject property frontage to meet ADA requirements, including at the existing driveway approach and/or curb ramp. Public sidewalk improvements outside of the street right-of-way will require a sidewalk easement dedicated to the City.

STREET TREE INFO WITH FRONTAGE INFO

- If the building permit value is equal to or greater than one-third of the value of the existing structure, curb, gutter, sidewalk and street trees shall be provided along the subject property street frontage pursuant to Section 9181 of the Ukiah City Code. This shall include the repair or upgrade of existing curb, gutter, sidewalk, driveway approaches and/or curb ramps to meet current ADA standards, and the planting of street trees as required.
- Standard street tree requirements include street trees spaced approximately every 30 feet along the public street, within tree wells where feasible, otherwise within 5 feet of the back of sidewalk. Street trees shall be installed in accordance with City Standard Drawing No 601. Tree types shall be approved by the City Engineer.

WATER METER

- Capital Improvement fees for water service are based on the water meter size. A fee schedule for water meter sizes is available upon request. Additionally, there is a cost for the City to construct the water main taps for the proposed water services to serve the project.

BACKFLOW DEVICES

- All irrigation and fire services shall have approved backflow devices.

SEWER

- Existing sewer laterals planned to be utilized as part of this project shall be cleaned and tested and replaced if required. If an existing lateral is to be abandoned, it shall be abandoned at the main to the satisfaction of the Public Works Department.
- The proposed structure shall be separately connected to the sewer main, unless this requirement is waived by the City Engineer. Existing sewer laterals shall be cleaned and tested in accordance with City of Ukiah Ordinance No. 1105 and replaced if required.

EROSION CONTROL - DRAINAGE- STORM WATER

- If the project area disturbs greater than one acre, the applicant must obtain a Storm Water Permit from the Regional Water Quality Control Board prior to construction. The Storm Water Pollution Prevention Plan (SWPPP) shall be prepared by a Qualified SWPPP Developer, and implemented by a Qualified SWPPP Practitioner. Also, an Air Quality Permit from the Mendocino County Air Quality Control Board will be required.
- A detailed sediment and erosion control plan shall be included with the project plans, prepared by a Civil Engineer or other licensed erosion control specialist.
- Construction operations shall incorporate best management practices as necessary to prevent sediment from entering the streets and storm drains. Disturbed areas and stockpiles within the property shall be protected and monitored, and silt fence or other measures installed if needed to contain sediment. Streets and sidewalks shall be kept clean and clear of dust and debris at all times

- Prior to construction of site improvements, a final grading and drainage plan, and an erosion and sediment control plan, prepared by a Civil Engineer, shall be submitted for review and approval by the Department of Public Works. A final drainage report shall be provided to support the design of the proposed drainage system.
- Grading operations shall incorporate best management practices as necessary to minimize erosion and prevent sediment from entering the creek. Disturbed areas within the property shall be protected as soon as possible and monitored during the rainy season, and silt fence or other measures installed if needed to contain sediment until permanent soil stabilization is established.
- Roof drains shall be designed to maximize infiltration into landscaped areas, and not discharge directly into storm drains or into the street.
- The project engineer shall provide direct oversight and inspection during project construction, with special attention to implementation of best management practices for sediment and erosion control, and the proper grading, installation, and landscaping of the bioretention areas. Upon completion of the work, a report shall be submitted by the project engineer to the Department of Public Works stating that the improvements have been completed in accordance with the approved plans and conditions of approval, shall function as intended, and all areas have been permanently stabilized to prevent sediment and erosion

FLOOD PLAIN

- If the property is located within the floodplain and is subject to the floodplain provisions of the California Building Code and National Flood Insurance Program requirements. Based on the estimated value of work being more than 50 percent of the assessed valuation of the structure, the proposed work is considered a “substantial improvement,” for purposes of flood plain management. Therefore, verification will be required that the entire existing structure, including any additions, is constructed at or above the base flood elevation. (Note that the “substantial improvement” determination may be re-evaluated by the City based upon a certified appraisal of the market value of the structure furnished by the applicant.) The following shall be required:
 - o A pre-construction elevation certificate, based on the plans, will be required prior to the issuance of a building permit.
 - o A post construction elevation certificate based on construction will be required prior to final inspection.

PAVING

- All areas of circulation should be paved with a minimum of 2” of AC on 6” of Base or other suitable surface approved by the City Engineer. This includes the proposed driveways and parking areas. If heavy truck traffic is anticipated from the solid waste company, delivery trucks, or other heavy vehicles, the pavement section should be calculated appropriately to ensure that it can withstand the loading.

STORM DRAIN

- Storm drain inlet filters shall be installed and maintained in all on-site storm drain inlets within paved areas.
- The development application should include a conceptual grading and drainage plan, prepared by a Civil Engineer, showing existing and proposed storm drain facilities, existing and proposed grades, and drainage patterns of adjoining areas. Any downstream drainage impacts should be identified and addressed. We recommend the addition of post-construction BMP's (best management practices) in the design of the development where feasible. Such measures may include vegetated swales and/or pervious pavement to infiltrate and treat roof and pavement run-off.
- Maintenance and inspection of all post-construction best management practices (BMPs) are the responsibility of the property owner. In accordance with the LID Manual, a legally binding, signed maintenance agreement approved by the City of Ukiah is required for the proposed storm water

treatment planters and all post-construction BMPs, and shall be recorded prior to final approval of the building permit.

- Should improvements exceed 10,000 square feet of new or replaced impervious surface, post-construction storm water mitigation measures may be required.