



Design Review Board

Regular Meeting **AGENDA**

(to be held both at the physical and virtual locations below)

Civic Center Conference Room 3 ♦ 300 Seminary Avenue ♦ Ukiah, CA 95482

To participate or view the virtual meeting, go to the following link: <https://us06web.zoom.us/j/81047660551>

Or you can call in using your telephone only:

- Call (toll free) 1-888-788-0099
- Enter the Access Code: 810 4766 0551
- To Raise Hand enter *9
- To Speak after being recognized: enter *6 to unmute yourself

Alternatively, you may view the meeting (without participating) by clicking on the name of the meeting at www.cityofukiah.com/meetings.

September 25, 2025 - 3:00 PM

The Design Review Board serves as an advisory body to City staff, Zoning Administrator, Planning Commission and City Council to make site design recommendations consistent with the City's Design Review Guidelines. The Design Review Board works with staff and applicants to review proposed site development permit applications, planned development applications and precise development plans, and make recommendations concerning architecture, site design layout, landscaping, parking, signage, exterior lighting and other aspects of urban design to City staff, Zoning Administrator, Planning Commission and City Council as appropriate.

The Design Review Board encourages applicants and/or their representatives to be available at the meeting to answer questions so that no agenda item need be deferred to a later date due to a lack of pertinent information.

1. **CALL TO ORDER**

2. **ROLL CALL**

3. **CORRESPONDENCE**

4. **APPROVAL OF MINUTES**

4.a. Approval of the March 27, 2025 - Regular Meeting Minutes

Recommended Action: Approve the Regular Meeting Minutes of March 27, 2025

Attachments:

1. 2025-03-27 Design Review Board Draft Minutes

5. **COMMENTS FROM AUDIENCE ON NON-AGENDA ITEMS**

The Design Review Board (DRB) welcomes input from the audience that is within the subject matter jurisdiction of the DRB . In order for everyone to be heard, please limit your comments to three (3) minutes per person and not more than ten (10) minutes per subject. The Brown Act regulations do not allow action to be taken on audience comments.

6. **NEW BUSINESS**

6.a. Evaluate a Minor Site Development Permit for a Remodel at 1201 Airport Park Boulevard (APN 180-080-41), Including Interior and Exterior Updates Within the Existing Building Footprint and Use of Previously Approved Signage for Continued Restaurant Use.

Recommended Action: Staff requests that the Design Review Board (DRB) evaluate the project for consistency with zoning standards, land use objectives, and the discretionary Site Development Permit findings and provide a recommendation to the Zoning Administrator.

Attachments:

1. Application Materials

7. **MATTERS FROM THE COMMISSION**

8. **MATTERS FROM STAFF**

9. **ADJOURNMENT**

Please be advised that the Design Review Board (DRB) needs to be notified 72 hours in advance of a meeting if any specific accommodations or interpreter services are needed in order for you to attend. The DRB complies with ADA requirements and will attempt to reasonably accommodate individuals with disabilities upon request.

I hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda was posted on the bulletin board at the main entrance of the City of Ukiah Civic Center, located at 300 Seminary Ave., Ukiah, California, not less than 72 hours prior to the meeting set forth on this agenda.

Kristine Lawler, City Clerk
Posted: 9/18/25

**CITY OF UKIAH
DESIGN REVIEW BOARD MEETING MINUTES
Regular Meeting
CIVIC CENTER CONFERENCE ROOM #3
300 Seminary Avenue, Ukiah, CA 95482**

Virtual Meeting Link: <https://us06web.zoom.us/j/87803999530>

**March 27, 2025
5:00 p.m.**

1. CALL TO ORDER

The Design Review Board met at a Regular Meeting on March 27, 2025, having been legally noticed on March 24, 2025. The meeting was held in person and virtually at the following link: <https://us06web.zoom.us/j/87803999530>. Chair Liden called the meeting to order at 3:06 p.m.

2. ROLL CALL

Roll was taken with the following **Board Members Present:** Lorena Akin (*arriving at 3:29 p.m.*), William Hawkes, Ronald J. Meaux, and Tom Liden. **Absent by Prearrangement:** Kali Gordon. **Staff Present:** Jesse Davis, Chief Planning Manager and Kristine Lawler, City Clerk.

CHAIR LIDEN PRESIDING.

3. CORRESPONDENCE

Jessie Davis stated that all correspondence had been distributed and posted online.

4. APPROVAL OF MINUTES

a. Approval of the February 27, 2025 - Regular Meeting Minutes.

Motion/Second: Hawkes/Meaux to approve the Regular Meeting Minutes of February 27, 2025. Motion **carried** by the following roll call votes: AYES: Hawkes, Meaux, and Liden. NOES: None. ABSENT: Akin and Gordon. ABSTAIN: None.

5. COMMENTS FROM AUDIENCE ON NON-AGENDA ITEMS

No public comment was received.

6. NEW BUSINESS

a. A Minor Site Development Permit at 105 Pomeroy Street (APN 002-247-02) to renovate and repurpose an existing commercial structure within its current footprint and utilization of its previously approved signage allowance for a continued restaurant use. The project includes the addition of a drive-through component, as permitted under Ukiah City Code (UCC) §9081, and in compliance with the off-street parking requirements of UCC §9198(D).

Presenter: Jesse Davis, Chief Planning Manager.

UK 105 Investments, LLC. (Applicant) Representative Comment: Greg Bardini,

Public Hearing opened at 3:27 p.m.

Public Comment: Pinky Kushner.

Board Member Akin arrived at 3:29 p.m.

Architect Comment: Brandon Petrunio, Brandon Petrunio & Associates, Inc..

Public Hearing closed at 3:50 p.m.

Landscape Architect Comment: Scott Meinert, Lingle Design Group, Inc.

UK 105 Investments, LLC. (Applicant) Representative Comment: Victor Chiang.

Motion/Second: Meaux/Hawkes to approve the following recommended conditions of approval and general recommendations to the Zoning Administrator for the site development permit at 105 Pomeroy Street (APN 002-247-02) [as summarized by Staff]:

- A Final Sign Plan shall be submitted to and approved by the Community Development Director prior to the issuance of any building permit for illuminated signage. All signage shall comply with the applicable design and development standards of the Ukiah City Code and remain consistent with previous entitlements or approvals related to signage on the site.
- In coordination with the City Engineer, the Applicant shall increase the landscaping area along the Pomeroy sidewalk frontage, as substitute for the otherwise required street trees.
- As part of the northerly encroachment expansion for the drive-through lane, the applicant shall maintain the existing encroachment width through a combination of striping, landscaping and curb modifications while facilitating ADA compliance.
- For parking lot trees, provide additional space for tree wells, resulting in an increased number of compact parking stalls
- A general recommendation for the Zoning Administrator to consider additional reductions to the number of the parking stalls.

Motion **carried** by the following roll call votes: AYES: Akin, Hawkes, Meaux, and Liden. NOES: None. ABSENT: Gordon. ABSTAIN: None.

b. Discussion and Possible Nomination and Appointment of a Chair and Vice Chair of the Ukiah Design Review Board (DRB) for one (1) year.

Presenters: Chair Liden and Jesse Davis, Chief Planning Manager.

No public comment was received.

Motion/Second: Liden/Meaux to nominate and appoint Lorena Akin for the new Chair and Kali Gordon for the new Vice Chair of the City of Ukiah Design Review Board for one (1) year. Motion **carried** by the following roll call votes: AYES: Akin, Hawkes, Meaux, and Liden. NOES: None. ABSENT: Gordon. ABSTAIN: None.

7. MATTERS FROM THE COMMISSION

Presenter: Jesse Davis Chief Planning Manager.

No public comment was received.

8. MATTERS FROM STAFF

Presenter: Jesse Davis Chief Planning Manager.

No public comment was received.

OUTGOING CHAIR LIDEN HANDED THE PROVERBIAL GAVEL TO INCOMING CHAIR AKIN.

CHAIR AKIN PRESIDING

9. ADJOURNMENT

There being no further business, the meeting adjourned at 4:35 p.m.

Kristine Lawler, City Clerk

DRAFT

TO: Design Review Board

FROM: Katherine Schaefer, Planning Manager

DATE: September 25, 2025

SUBJECT: Request for review and recommendation to the Zoning Administrator for a Minor Site Development Permit for a Remodel at 1201 Airport Park Boulevard (APN 180-080-41), Including Interior and Exterior Updates Within the Existing Building Footprint and Use of Previously Approved Signage for Continued Restaurant Use. File No. 25-000969; Permit No. PA25-000015.

I. DESIGN REVIEW BOARD BACKGROUND

The City of Ukiah Design Review Board (DRB) serves as an advisory body to the Zoning Administrator on Use and Site Development Permits. The Board represents a cross section of the community and a range of experience relevant to its functions, such as architecture, landscape architecture, building design, community, city planning, construction, engineering, historical or cultural preservation, and environmental planning.

II. PROJECT SUMMARY

Project Description:

On August 18, 2025, the City of Ukiah received an application from Rodeo Builders (Peyman Kohanbash) for a proposed remodel at 1201 Airport Park Boulevard. The project introduces a dual-branded restaurant concept that would incorporate an IHOP into the existing Applebee's.

The applicant is proposing a minor remodel with no changes to the building's footprint or seating layout. The planned updates are primarily cosmetic and include:

- Additional signage for IHOP branding, specifically adding a new can to the monument sign.
- No structural work proposed.
- New flooring finish.
- New paint and artwork.
- New furniture, including booths, tables, and chairs.
- New interior light fixtures (utilizing existing J-box connection).
- New exterior awning colors.
- New exterior paint.
- An ADA Survey (to be conducted by the owner) for phase or immediate compliance.
- Extension of the bar die wall and top.
- Reconfiguration of existing kitchen equipment, with the existing hood remaining.
- An ADA Survey is proposed, with plans for compliance with recommendations

Project Background:

The project site is currently developed with an existing 164-seat Applebee's restaurant,

originally constructed and approved under Major Use Permit No. 01-04 on May 23, 2001. Subsequently, the structure received approval from the City of Ukiah Zoning Administrator on October 20, 2011, for a Minor Site Development Permit (File No. 11-15-SDP-ZA) to allow exterior modifications including new signage and new awnings.

Project Location:

The ±0.95-acre project site (APN 180-080-41) is located at 1201 Airport Park Boulevard, lying at the corner of Airport Park Boulevard and Commerce Drive. The site is situated within a well-established commercially developed area characterized by an array of retail, restaurant, and visitor-serving businesses. Adjacent commercial enterprises include the Furniture Design Center, Michaels, and Staples. To the north, across Commerce Drive, is Walmart, and to the west, across Airport Park Boulevard, are Starbucks and other commercial establishments (See Table 1 below).

TABLE 1: SURROUNDING USES AND ZONING		
Direction	Zoning	Use
North	PD-Commercial	Commerce Drive, Walmart
East	PD-Commercial	Parking Lot, Furniture Design Center, Michales, Staples
South	PD-Commercial	Parking Lot
West	PD-Commercial	Airport Park Blvd., Starbucks, Check into Cash

III. PROJECT ANALYSIS

The proposed Minor Site Development Permit for the remodel is evaluated against the planning framework established by the Ukiah 2040 General Plan, the Airport Industrial Park Planned Development (AIP-PD) Ordinance No. 1213, the Ukiah Municipal Airport Land Use Compatibility Plan (UKIALUCP), the Ukiah City Code (UCC), and the 1992 Design Guidelines for projects outside of the Downtown Design District.

General Plan Consistency:

The project site falls under the Mixed Use: AIP-PD designation of the Ukiah 2040 General Plan, specifically within the Retail Commercial Designation. The General Plan encourages distinctive, high-quality commercial building design and site planning that aligns with Ukiah's character while promoting economic development. It also stresses that new developments should enhance the community's visual appeal through site design, architecture, and landscaping.

The proposed remodel of an existing restaurant aligns with the Retail Commercial designation, which permits restaurants (excluding drive-thru establishments) by Use Permit. This cosmetic renovation of the existing restaurant does not introduce a new or incompatible use, and as such, it remains fully consistent with the permitted land use under the General Plan.

Airport Industrial Park Planned Development (AIP-PD) Consistency:

The AIP-PD, adopted in 2021, provides the regulatory framework for development within the Airport Industrial Park, covering land uses, development standards, and design guidelines. The site is located in the Retail Commercial designation, which applies to approximately 52.3 acres

south of Commerce Drive, bounded by Airport Park Boulevard on the west and Highway 101 on the east.

Land Use

The property's designation as Retail Commercial permits restaurants with a Use Permit. The proposed project is a cosmetic renovation for a continued restaurant use within the existing building, which is consistent with this permitted land use.

Architectural Design

Buildings situated along Airport Park Boulevard are subject to higher design and site planning standards due to their prominent visibility. Architectural facades are required to be designed to soften height, bulk, and mass. All four building elevations should incorporate architectural design requirements in a reasonable and feasible manner. The AIP-PD also dictates that dominant building colors be subdued and earth tone in nature, compatible with adjoining structures, and explicitly prohibits "strong or loud colors" as dominant hues. Exterior modifications to existing buildings are specifically required to be designed to complement and harmonize with the design of the existing structure and surrounding developments. The applicant's exterior facade and sign plan demonstrate a predominantly neutral building color with brand-specific accents, discussed further below under the 'Design Guidelines Consistency' subsection.

Signage

The amount and type of signage should generally comply with the Ukiah City Code. The colors, materials, and lighting of all signs must be restrained and harmonious with the building and site. The amount of sign area proposed for the new signs, including the monument sign, is roughly 346.46 sf. Based on the AIP-PD, which defaults to the Ukiah City Code (UCC), the subject parcel is allowed to have 454 square feet of sign area on the Airport Park Boulevard frontage and 164.01 square feet on the Commerce Drive frontage. However, per the sign ordinance the total sign area for any frontage cannot exceed 500 square feet. The proposed signs included with this request are within the allowable sign area. Notably, the new monument sign area would remain the same (62.32 sq ft) and feature an Applebee's/IHOP combination logo.

During building permit review, finalized signage plans will again be evaluated for conformance with the City of Ukiah signage regulations. Of note on the initial sign plan submitted with this application, the red, illuminated outlining of the building is prohibited pursuant to UCC §3226(K). This design element will need to either be removed or modified to eliminate the illumination effect.

Landscaping

The AIP-PD mandates street trees and a meandering sidewalk along Airport Park Boulevard. A comprehensive landscape plan is required for review and approval as part of the Site Development Permit process. Landscaping standards generally align with Section "I" of the Ordinance. These standards include requirements for sufficient landscaped areas to screen structures and paved areas, specific coverage percentages (20% of gross parcel area, with 50% live plantings), tree placement in parking lots for canopy coverage, and the use of drought-resistant, native species. Landscaping was analyzed under the 2011 Site Development Approval and the 2001 Use Permit Approval. Back when these approvals were granted, the relevant governing document regarding landscaping for airport compatibility was the 1996 Mendocino County Airport Comprehensive Land Use Plan (MCACLUP), alongside other applicable City of Ukiah zoning and development standards in effect at those specific times. As

there are no proposed changes to landscaping with this remodel, the existing landscaping elements of the project are considered an "Existing Land Use" under the Ukiah Municipal Airport Land Use Compatibility Plan (UKIALUCP). Therefore, the existing landscaping is not required to be updated to comply with the current AIP-PD landscaping standards for this minor remodel, remaining consistent with its original approval.

Parking and Access

The project's existing parking and access provisions were originally established and approved under the 2001 Major Use Permit. At the time of this approval, parking and access standards would have been governed by the Ukiah City Code in effect along with the 1996 MCACLUP. Since no changes to parking or access are proposed as part of this minor remodel, and the project is contained within the existing building footprint and seating configuration, the existing facilities retain their status as an "Existing Land Use". Therefore, the project is not required to be brought into full compliance with the current AIP-PD parking and access standards for this minor remodel, remaining consistent with its original approvals.

Outdoor Storage and Service Areas

The proposed project is not making changes to outdoor storage or service areas. Similar to the above sections, the project's existing outdoor storage and service areas would also have been designed and approved under the 2001 Major Use Permit. As there are no proposed changes to these elements with this remodel, the existing outdoor storage and service areas would also retain their status as an "Existing Land Use" under the Ukiah Municipal Airport Land Use Compatibility Plan (UKIALUCP).

Pedestrian Orientation

The AIP-PD mandates pedestrian walkways that directly and safely link parking areas with building entrances, off-site transportation facilities, established sidewalks, and adjacent public rights-of-way. A 5-foot wide meandering sidewalk within the required front setback along Airport Park Boulevard is also required and is currently existing. The remodel does not propose changes to existing pedestrian connections, and connections approved under the 2001 Use Permit will continue to apply to the project.

Lighting

In the AIP-PD, exterior lighting must be subdued, low wattage, and designed to enhance building aesthetics and provide safety/security. It is prohibited from spilling out, creating glare on adjoining properties, or being directed towards the night sky. Tall lighting fixtures for large areas are not allowed.

The existing exterior lighting is considered an existing use and is not required to be brought into full compliance with the current AIP-PD standards for this minor remodel. New interior light fixtures, and some exterior signage elements are proposed with illumination, and finalized signage/lighting plans will be evaluated for compliance with AIP-PD and electrical regulation compliance during building permit review.

Ukiah Municipal Airport Land Use Compatibility Plan (UKIALUCP) consistency:

The project site is situated within Airport Compatibility Zone 6. All development within the Airport Industrial Park must comply with the Federal Aviation Administration (FAA) side slope criteria,

density requirements, and all other applicable provisions of the Ukiah Airport Master Plan and the UKIALUCP. The UKIALUCP classifies "Eating/Drinking Establishments" as "Normally Compatible" in Zone 6. While overflight policies in Zone 6 primarily focus on notification (e.g., Recorded Overflight Notification for residential projects and Airport Proximity Disclosure for real estate transactions) rather than development restrictions, the project must ensure no new visual hazards (e.g., confusing or bright lights, glare, smoke/steam) or increased wildlife attraction inconsistent with FAA rules are introduced. As far as lighting, this means that while existing lighting is grandfathered, any new lighting (even if interior but visible externally) or changes that introduce such hazards could warrant specific review for airport compatibility. Finalized project lighting will be reviewed during the Building Permit process for adherence to Ukiah City Code and UKIALUCP compatibility.

Ukiah City Code (UCC) Consistency:

Development standards not explicitly addressed by the AIP-PD regulations defer to those specified in Chapter 2 (Zoning), Division 9 of the Ukiah City Code. This includes general signage regulations and parking requirements. The proposed signage, as analyzed, falls within both UCC and AIP-PD limits

Design Guidelines Consistency:

The City of Ukiah adopted Design Guidelines in 1992, which serve as a bridge between the goals in the General Plan and the requirements of the Zoning Code. These Design Guidelines are applicable to all commercial development outside the existing Downtown Design District. Analysis sections on signage, exterior lighting, outdoor service and storage areas, landscaping, parking and pedestrian orientation may be found under the 'Airport Industrial Park Planned Development (AIP-PD) Consistency' subsection above. Additional design categories not specifically discussed below are represented in the Table 2 Checklist.

Purpose and Intent

The guidelines aim to implement the goals and policies of the Community Design Element of the General Plan and to provide design guidelines and criteria for commercial development to enhance community character and overall attractiveness. The project, as a remodel for continued restaurant use, and stated design intent for a "cohesive design that would integrate each brands colors, and branding elements" would be evaluated towards the goal of high-quality design.

Building Materials

The guidelines encourage the use of wood, stucco, masonry, brick, stone, and tile, while discouraging metal. Acceptable materials should create compatibility with design guidelines, the building, and adjoining buildings. The project is not proposing changes to existing building materials, but is proposes new exterior paint and awning colors.

Exterior Paint & Awnings

The guidelines specify that dominant building colors must be subdued and earth-toned; strong or loud colors would not be permitted as primary colors. The proposed new exterior paint and awning colors must adhere to this.

The applicant's exterior facade and sign plan, demonstrate a predominantly neutral building color (Sherwin Williams' "Snowbound" and "Rare Gray") with brand-specific blue and red accents. Awning colors will be "re-skinned" from "Applebee's Red" to an "IHOP Blue". The

proposed colors are consistent with other exterior paint colors on surrounding properties. Specifically, they are similar and will complement the adjacent Walmart and Staples.

Checklist

The Design Guidelines for projects outside the Downtown Design District are evaluated in their entirety for conformance with the associated Project Review Checklist below:

TABLE 2			
COMMERCIAL PROJECTS OUTSIDE DOWNTOWN DESIGN DISTRICT			
Yes	No	N/A	
		X	Site Features: Site design is compatible with the natural environment, and incorporates the major existing features (<i>trees, landscaping, city creeks, riparian habitat, lot shape, size, relationship to surrounding area</i>).
		X	Coordination: Facilities are shared and coordinated with adjacent properties.
		X	Coordination: Setbacks are compatible with character of adjacent frontages.
		X	Coordination: Setbacks are minimized to enhance the pedestrian environment.
		X	Pedestrian Access: Site has pedestrian orientation, consistent with uses, design, and architecture.
		X	Pedestrian Access: Pedestrian elements are attractive and functional (<i>walkways link parking to building entrances and other walkways; planters, street furniture, outdoor seating, pedestrian oriented signs, low level lighting provided</i>).
		X	Pedestrian access: Parking areas with 12 or more stalls: defined sidewalk or marked pedestrian facilities in landscaped areas or separated from traffic lanes required.
		X	Parking lots: Decrease visual prominence and reduce heat island effect (<i>locate behind buildings, divide into smaller lots, avoid large unbroken expanses of paving; emphasize screening, shading, landscaping</i>).
		X	Landscaping: Scale and nature of landscape materials is appropriate to the site and structures.
		X	Landscaping: 20% of gross lot area landscaped / 50% live plantings; landscape redevelopment or reuse projects to extent feasible (<i>Plants are of type, spacing and sizing to reach maturity within reasonable time. Hardy, drought tolerant, low maintenance species adapted to Ukiah climate are emphasized, parking lots trees also withstand heat, pollutants. Deciduous trees used on south and west. Automatic irrigation required for new commercial development</i>
		X	Landscaping: Parking areas with 12 or more stalls: 1 tree per 4 stalls within continuous linear strips. Perimeter planting strips use trees and shrubs. Focus on deciduous trees achieving 50% shading within 10 years
		X	Landscaping: Parking lots generally: Perimeter planting strips, Street trees selected from Ukiah Master Tree List required

	X		Signs: Signs are compatible with architectural character of buildings (<i>signage does not dominate site, uses compatible colors and material, lighting is restrained and harmonious, sandwich boards are creative/subdued co/or/minimal copy</i>).
X			Lighting: Lighting harmonizes with site, building design, architecture and landscaping (<i>lighting form, function, character, fixture styles, design and placement; lighting does not interfere with pedestrian movement</i>).
		X	Energy Conservation: Active and passive solar and other renewable energy design and devices are used (<i>building orientation, landscaping, lighting, heating and cooling, photovoltaic system-ready or installed</i>).
		X	Energy Conservation: Devices are unobtrusive and complement design (<i>solar panels flush with roof</i>).
X			Visual Appearance: Buildings are visually cohesive, compatible and complementary (<i>scale, proportion, design, style, heights, mass, setbacks</i>).
X			Visual Appearance: Buildings exhibit variety and distinctiveness (<i>but avoid overly obtrusive or overly monotonous designs, or strong contrast with adjacent buildings, creative use of natural and recycled materials; metal discouraged unless creative and consistent with Guidelines</i>).
		X	Visual Appearance: Variety of architectural features encouraged tied to comprehensive design theme (<i>arches, raised parapets, cornices, eaves, windows, balconies, entry insets, roof angles and pitches, wall relief features</i>).
X			Visual Appearance: Building exteriors compatible with surrounding properties (<i>compatible materials, colors, quality, coordinated but not the same as surrounding properties, avoid strong or vivid colors unless they fit within local context, concrete block/exposed concrete on visible waifs finished in aesthetic manner</i>).
		X	Visual Appearance: Visible fences compatible with project and visually attractive (<i>compatible colors, materials, styles; wire fences, high barriers and use for advertising discouraged</i>).
X			Visual Appearance: Site and buildings are visually attractive from neighboring properties, traffic and corridors, and public spaces (<i>service areas and devices screened, integrated and compatible with site features; common mailboxes architecture consistent and located close to building; above criteria is applied to areas visible to public view; rear and side views are visually interesting, coordinated and well-maintained</i>).
X			Maintenance: Demonstrate consideration of site and building maintenance.
		X	Walkable and bikeable communities: The project provides connections for walkers and bicyclists to the surrounding community (<i>provides walking/biking facilities on the site, connects to nearly walking/biking facilities, provides shortcuts for walkers/bikers, project is located within ¼ or ½ of other places to walk</i>).
		X	Walkable and bikeable Communities: Sidewalks provide are convenient and safe access (<i>sidewalks sufficiently wide, without obstruction; curbs, shade, lighting provided; buffers between walkers and traffic provided; safe and direct street crossings for walkers</i>).
		X	Walkable and bikeable communities: Entrances provide convenient access (<i>entrances adjacent to street, minimal setback, routes and</i>

			<i>accessways are well marked, sidewalks provided uninterrupted access to entrances, safe bike parking is located close to entrances).</i>
<input checked="" type="checkbox"/>			Green Building: Sustainable site
<input checked="" type="checkbox"/>			Green Building: Water efficiency
		<input checked="" type="checkbox"/>	Green Building: Energy
		<input checked="" type="checkbox"/>	Green Building: Materials and resources
		<input checked="" type="checkbox"/>	Green Building: Indoor environmental quality
<input checked="" type="checkbox"/>			Visitability and Universal Design: The site and its elements are accessible to people at differing stages, ages and circumstances: accessible primary and interior entrance and routes, accessible kitchen and bath space and devices, for dwellings accessible bedroom, common room, and devices).

III. SITE DEVELOPMENT PERMIT FINDINGS

Pursuant to Zoning Ordinance Section 9261(b), a Minor Site Development Permit was determined as the appropriate level of review. Given that the remodel primarily consists of interior and exterior cosmetic updates within the existing building envelope and does not involve significant structural changes or an expansion of the building's size, it falls under the purview of a minor site modification. This scope distinguishing it from projects deemed "major" which typically involve new construction on vacant parcels, large additions/expansions, or substantial amendments that increase impacts like traffic or noise. Below, Table 3 shows the specific findings that are required before the Site Development Permit can be approved along with staff consistency analysis:

Table 3: Project Consistency - Site Development Permit Findings	
Site Development Permit Findings	Staff Analysis
The proposal is consistent with the goals, objectives, and policies of the City General Plan.	The project site is designated Mixed Use: Airport Industrial Park Planned Development (AIP-PD), Retail Commercial Designation under the Ukiah 2040 General Plan. The proposed minor remodel continues an existing restaurant use (Applebee's/IHOP dual brand) within the existing building footprint and seating layout. Restaurants are permitted uses within the Retail Commercial designation with a Use Permit. The project's continued use and cosmetic upgrades are consistent with the General Plan's objectives for commercial development in this area. The existing restaurant use was originally approved under Major Use Permit No. 01-04 on May 23, 2001, and subsequent exterior modifications were approved under Minor Site Development Permit No. 11-15-SDP-ZA on October 20, 2011. Furthermore, the Ukiah Municipal Airport Land Use Compatibility Plan (UKIALUCP), an implementing plan for the General Plan, classifies

	<p>"Eating/Drinking Establishments" as "Conditional" in Compatibility Zone 6 (where the project is located), indicating compatibility if certain conditions are met. As a remodel of an existing, approved use, the project maintains this consistency.</p>
<p>The location, size, and intensity of the proposed project will not create a hazardous or inconvenient vehicular or pedestrian traffic pattern.</p>	<p>The project is a cosmetic remodel within the existing building footprint and use, with no changes to the seating layout (remaining a 164-seat restaurant). No changes to the existing off-street parking areas, site access, or pedestrian orientation are proposed. The project's location, size, and intensity of use (as measured by the number of people per acre, or "Intensity" for non-residential uses, as defined in UKIALUCP) are not increasing from their previously approved state. The existing vehicular and pedestrian traffic patterns were established and evaluated during the 2001 Major Use Permit approval and remained unchanged and found compliant during the 2011 Minor Site Development Permit approval process. The Ukiah 2040 General Plan's Mobility Element advocates for multi-modal mobility and access, and the existing patterns were deemed consistent with these broader goals at the time of their establishment. Since the project will not alter the traffic-generating characteristics or circulation, it will not create any new or increased hazardous or inconvenient vehicular or pedestrian traffic patterns.</p>
<p>The accessibility of off-street parking areas and the relation of parking areas with respect to traffic on adjacent streets will not create a hazardous or inconvenient condition to adjacent or surrounding uses.</p>	<p>The project proposes no changes to the existing off-street parking areas or site access. The current parking and access facilities were initially established and approved under the 2001 Major Use Permit. These existing facilities are considered an "Existing Land Use" and will not create any new hazardous or inconvenient conditions related to parking or traffic.</p>
<p>Sufficient landscaped areas have been reserved for purposes of separating or screening the proposed structure(s) from the street and adjoining building sites and breaking up and screening large expanses of paved areas.</p>	<p>The project involves no proposed changes to the existing landscaping on the site. The current landscaping was established and approved as part of the 2001 Major Use Permit and found to be consistent with the uses allowed in the Retail Commercial designation of the Airport Industrial Park Planned Development as part of the 2011 Minor Site Development Permit (Finding 2). As an "Existing Land Use," the landscaping is deemed consistent with its prior approvals.</p>
<p>The proposed development will not restrict or cut out light and air on the property, or on the property in the neighborhood; nor will it hinder the</p>	<p>The project involves a cosmetic remodel within the existing building footprint and use. There are no proposed changes to the building's height, bulk, or mass. Consequently, the project will not restrict or</p>

development or use of buildings in the neighborhood or impair the value thereof.	cut out light and air on the property or in the surrounding neighborhood. The proposed interior remodeling, new exterior paint, and new exterior awning colors are aesthetic upgrades intended to enhance the building's appearance, contributing to the value and character of the commercially developed area
The improvement of any commercial or industrial structure will not have a substantial detrimental impact on the character or value of an adjacent residential zoning district.	The site is located within a commercial area, with no immediate adjacent residential zoning districts that would experience a substantial detrimental impact.
The proposed development will not excessively damage or destroy natural features, including trees, shrubs, creeks, and the natural grade of the site.	The project can be characterized as a cosmetic renovation and no site grading or disturbance to natural features is proposed. The remodel is entirely contained within the existing building footprint and involves no changes to landscaping. Therefore, the project will not cause excessive damage or destruction to any natural features, trees, shrubs, creeks, or the natural grade of the site.
There is sufficient variety, creativity, and articulation to the architecture and design of the structure(s) and grounds to avoid monotony and/or a box-like uninteresting external appearance.	The remodel introduces a dual-branded IHOP/Applebee's concept through cosmetic updates, including new exterior paint, new exterior awning colors, and additional signage for IHOP branding. The applicant's design team proposes to create a "cohesive design that would integrate each brands colors, and branding elements in a way they each complement each other, and transition smoothly from one side of the building to the other." This effort to integrate two distinct brands and refresh the exterior finishes demonstrates an intent to enhance the architectural variety and articulation, moving away from a monotonous or uninteresting appearance. This aligns with the City of Ukiah's Design Guidelines for Commercial Projects Outside the Downtown Design District (See Table 2 above), which encourage projects that exhibit variety and distinctiveness and achieve visually cohesive, compatible and complementary buildings.

IV. ENVIRONMENTAL DOCUMENTATION

The proposed project is subject to the California Environmental Quality Act (CEQA) and qualifies for a Categorical Exemption under CEQA Guidelines, Article 19, Class 1, Section 15301 (Existing Facilities) (a). This exemption is applicable to minor interior or exterior alterations of existing structures within an urbanized area. The project involves cosmetic renovations of an existing commercial structure for continued restaurant use, with no change to the building's footprint and no site grading or disturbance to natural features proposed.

Additionally, the project is consistent with existing zoning and planning regulations, including the 2040 General Plan, Ukiah City Code requirements, and other relevant local policies, aligning with the City's established land-use activities for the site. Upon review, it has been determined that the project will not impact sensitive environmental resources, such as habitats for endangered species, geologically sensitive areas, or sites of historical or archaeological importance.

V. STAFF REQUEST

Staff requests that the Design Review Board (DRB) evaluate the project for consistency with zoning standards, land use objectives, and the discretionary Site Development Permit findings conveyed above, and provide a recommendation to the Zoning Administrator.

ATTACHMENTS

1. Application Materials: Project Description; Plot Plan, Sign Plan, Demolition Plan, Existing and Proposed Floor/Ceiling Plans, Architectural Details & Elevations; Prior Project Approvals

AUTHORIZED AGENT

I, Siyavoush Soleimani, owner authorize Peyman Kohanbash to act on my behalf for this project and I have read and agree with all of the above. (Application must be signed by owner).

S. Soleimani

08/18/2025

PROPERTY OWNER SIGNATURE

DATE

I, Siyavoush Soleimani, am the owner / authorized agent of the property for which the development is proposed. The above information and attached documents are true and accurate to the best of my knowledge.

I have read and agree with all of the above.

I hereby authorize employees of the City of Ukiah, the City's authorized agents, and persons with review or decision making authority for the project to enter upon the subject property, as necessary, to inspect the premises, post notices, and process this application.

I understand that conditions of approval may be placed on my project by the city of Ukiah and it is my responsibility to fully understand the conditions and ask questions about them before action is taken on my planning permit.

S. Soleimani

08/18/2025

OWNER / AUTHORIZED AGENT

DATE

INDEMNIFICATION AGREEMENT

As part of this application, the applicant agrees to defend, indemnify, and hold harmless the City of Ukiah, its agents, officers, council members, employees, boards, commissions or Council from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void, or annul any approval of the application or related decision, or the adoption or certification of any environmental documents or negative declaration which relates to its approval. This indemnification shall include, but is not limited to, all damages, costs, expenses, attorney fees or expert witness fees that may be awarded to the prevailing party arising out of it or in connection with the approval of the application or related decision, whether or not there is concurrent, passive, or active negligence on the part of the City, its agents, officers, council members, employees, boards, commissions of Council. If for any reason, any portion of this indemnification agreement is held to be void or unenforceable by a court of competent jurisdiction, the remainder of the agreement shall remain in full force and effect.

The City of Ukiah shall have the right to appear and defend its interests in any action through its City Attorney or outside counsel. The applicant shall not be required to reimburse the City for attorney's fees incurred by the City Attorney of the City's outside counsel if the City chooses to appear and defend itself in the litigation.

I have read and agree to all of the above.

Siyavoush Soleimani

PROPERTY OWNER / AUTHORIZED AGENT

(PLEASE PRINT NAME)

S. Soleimani

08/18/2025

PROPERTY OWNER / AUTHORIZED AGENT

(SIGNATURE)

DATE

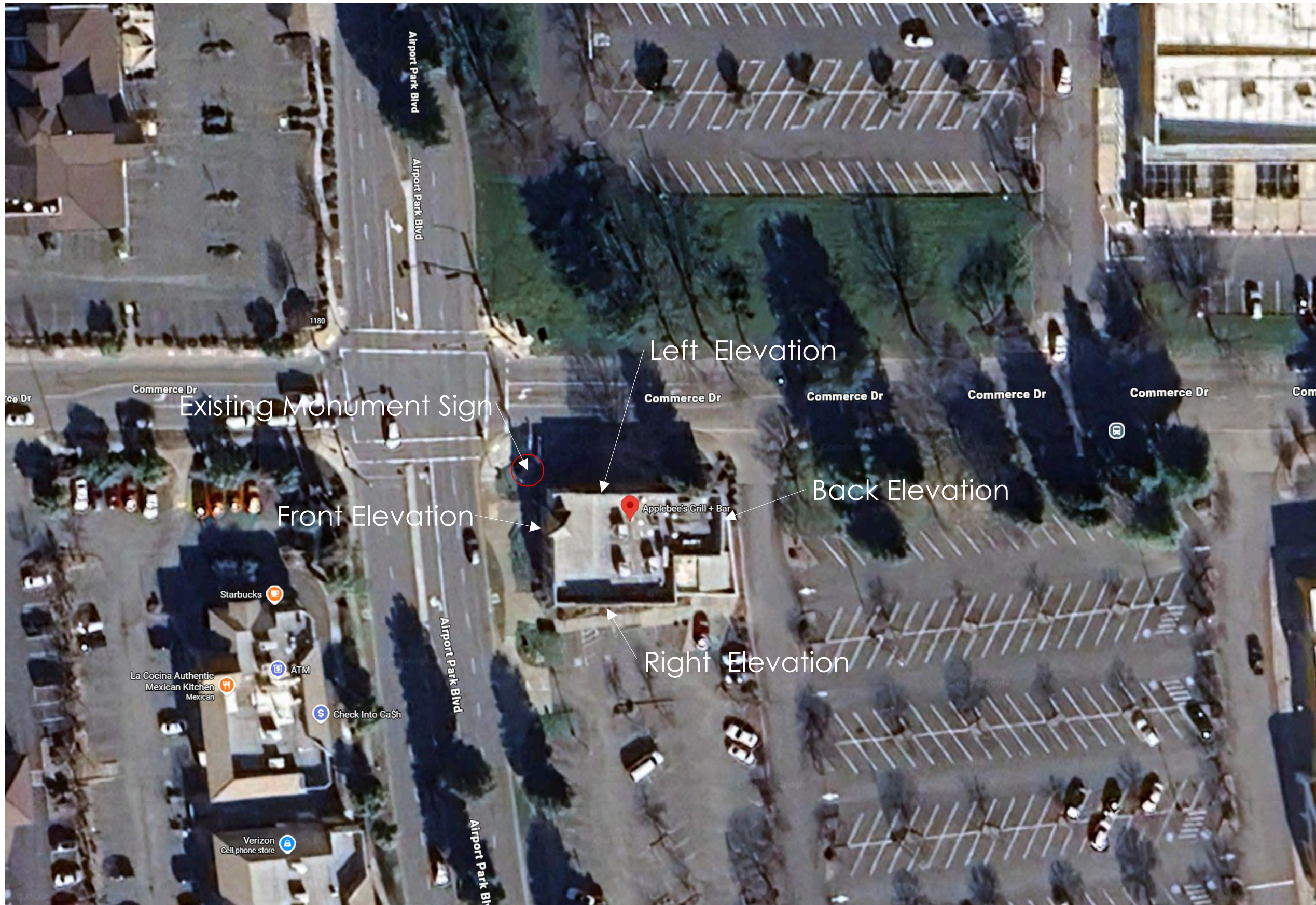
Here you go:

We are working on planning our Dual Brands Upgrades to our existing Applebee's in Ukiah, CA. Our brand is in the very exciting stage of delivering a Dual Brands Concept that combines our iconic concepts IHOP and Applebee's under one roof. While we are proposing a MINOR REMODEL it is important that we can deliver our design intent in order to stay true to the branding elements that make each concept recognizable in every household. Our Design & Architecture team, worked very hard on a cohesive design that would integrate each brands colors, and branding elements in a way they each complement each other, and transition smoothly from one side of the building to the other. It is important to us that we can in fact deliver this design intent.

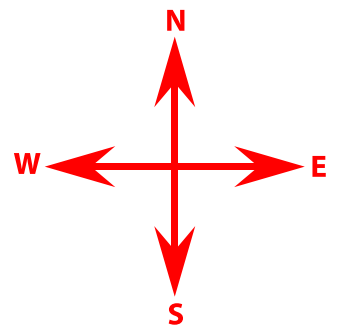
Applebee's adding IHOP - Minor Remodel

Scope of Work Includes:

- ADA Survey (By Owner) - phase or immediate compliance
- No structural work
- New finish of floor
- Paint walls / new artwork
- New furniture - booths, tables, chairs
- Building footprint and seating configuration remains the same
- Bar die wall and top extension
- New interior light fixtures - same J-box connection
- Exterior awnings to new color
- New exterior paint
- Additional signage for IHOP branding - adding a new can to monument/pole sign
- FS equipment - existing hood remains the same with equipment reconfigured

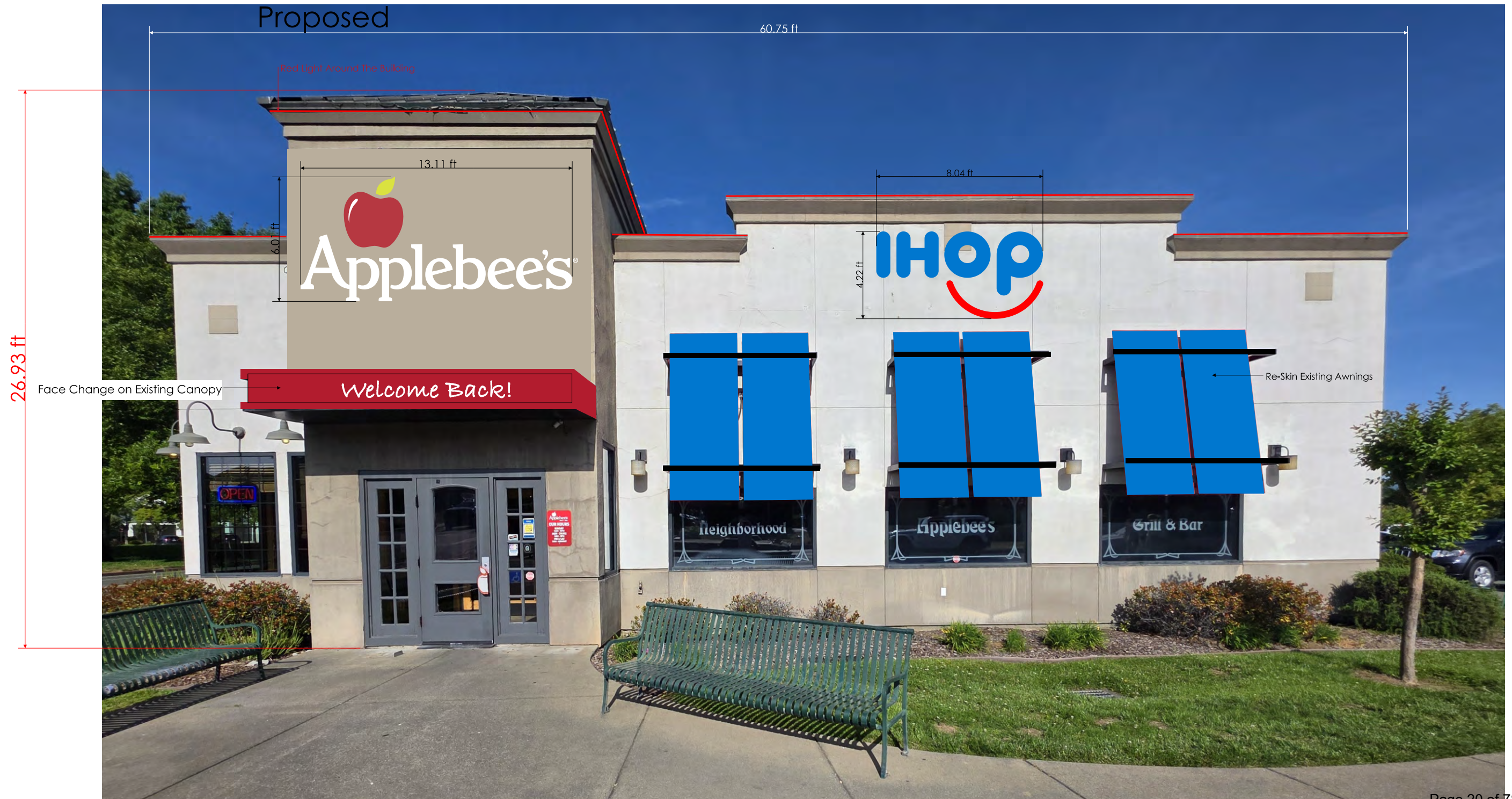


PLOT PLAN





Existing



Proposed

60.75 ft

Red Light Around The Building

13.11 ft

8.04 ft

6.0 ft

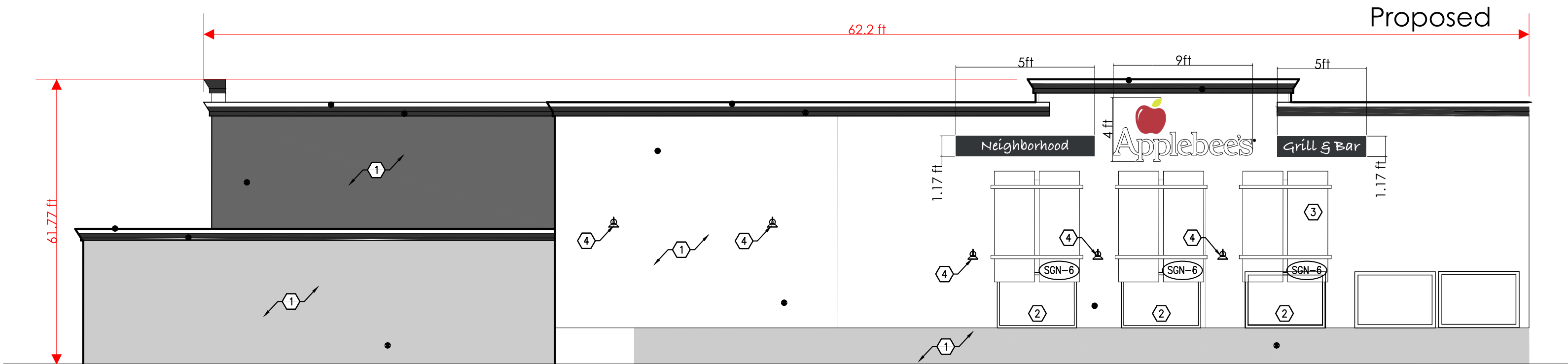
4.22 ft

26.93 ft

Face Change on Existing Canopy

Welcome Back!

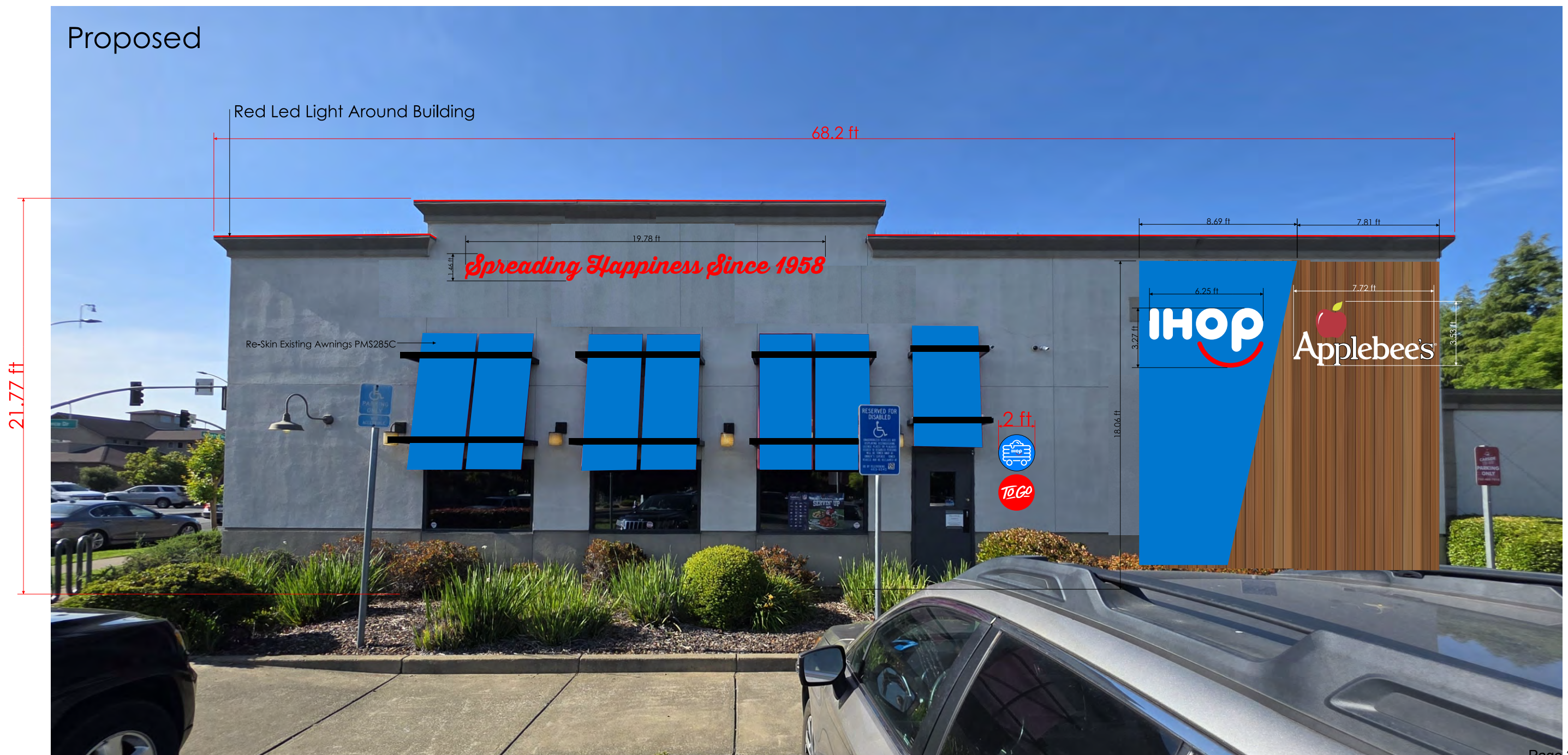
Re-Skin Existing Awnings



Existing



Proposed



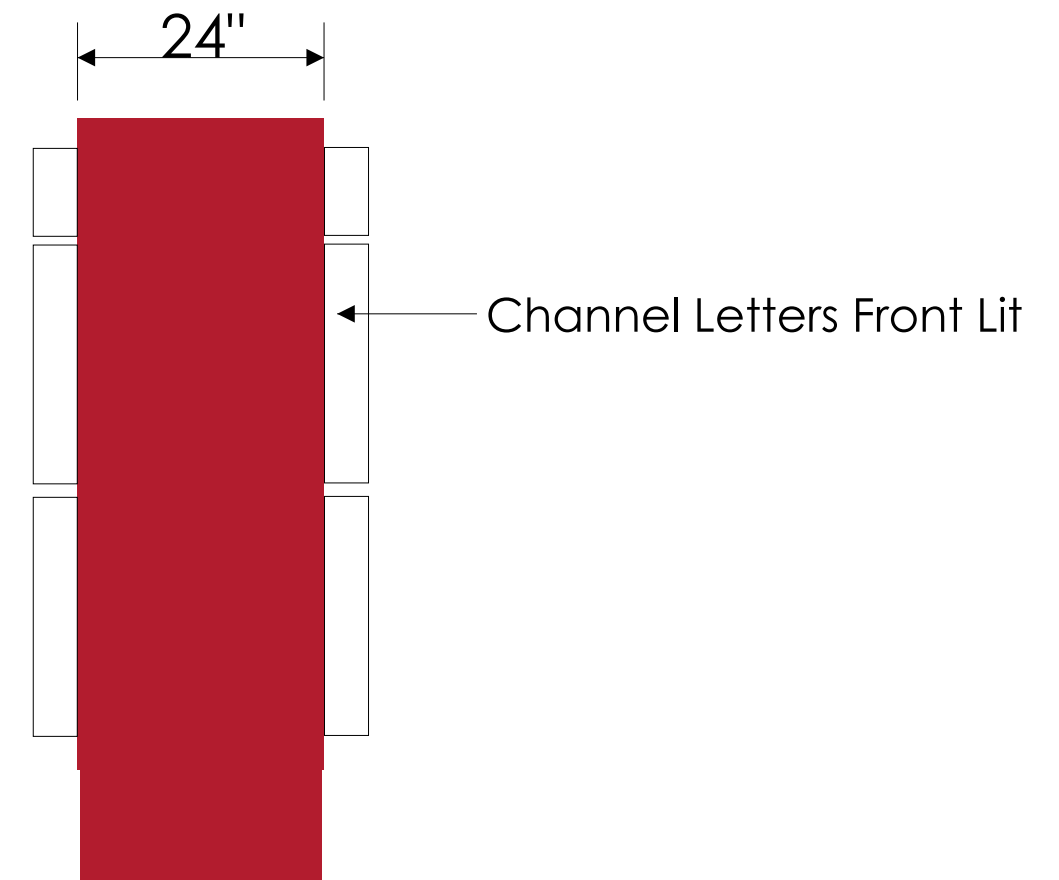
Existing



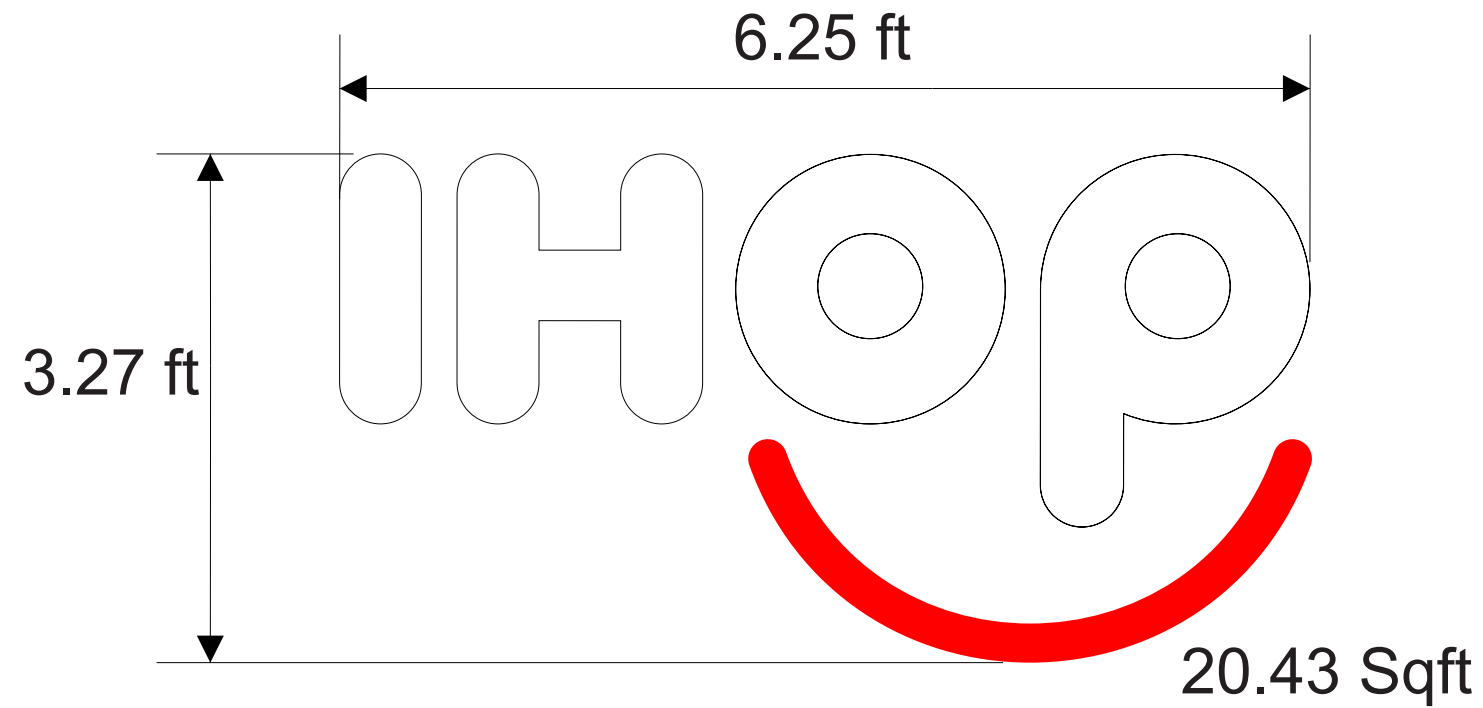
Proposed



Existing



Right Side Specs



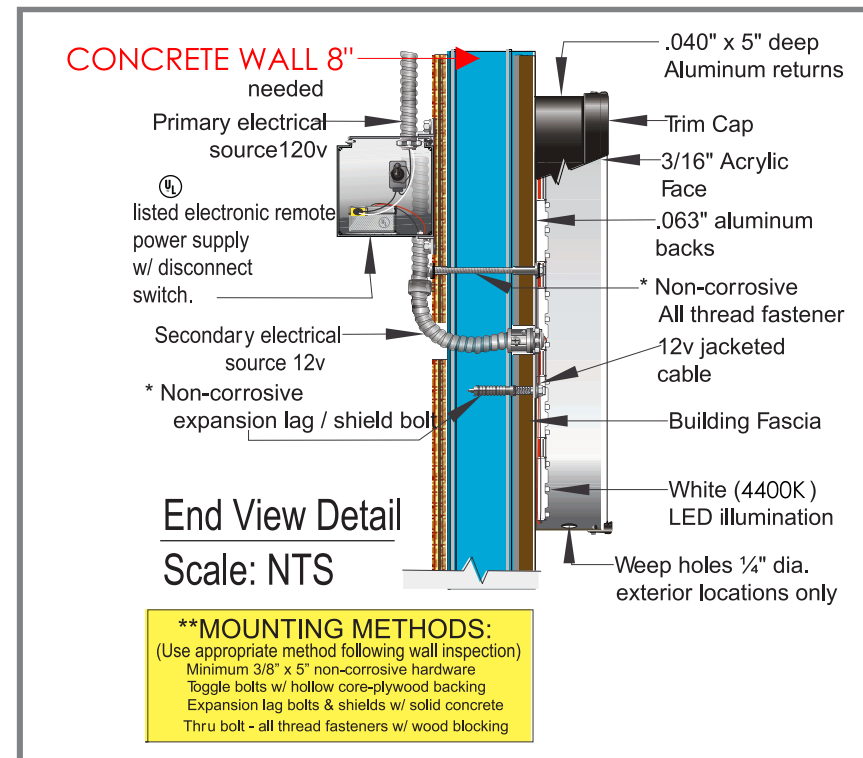
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**THIS INCLUDE PROPER GROUNDING AND BONDING OF THE SIGN.

LETTERS - TO BE ALUMINUM CONSTRUCTION WHITH 5" RETURN ILLIMINATION - WHITE LED



COLOR LEGEND		
	PMS/PAIN	VINYL
	PMS 187C	
	PMS WHITE	3M 3630-70

COLOR LEGEND		
	PMS/PAIN	VINYL
	PMS 285 C	3M 3630-8246
	PMS 1795C	3M 3630-143
	PMS WHITE	3M 3630-70

SPECIFICATIONS:

Colors will be some red and blue

3M 3630-8246 BLUE
3M 3630-143 RED

MAX LOAD: 120v / 2.2amps DEDICATED 20 AMP CIRCUIT REQUIRED

MOUNTED TO THE WALL

24 HOUR PROGRAMMABLE TIMER installed to comply with the COT outdoor lighting code.

All signs and power supply components are UL listed.

All signs shall have UL sticker, manufacturer sticker & installer sticker, located on the exterior of the sign.

All dedicated sign circuits shall be labeled.

A safety lock out shall be provided for all signs where the shut off switch is not directly visible to the sign.

SIGN TO BE U.L. LISTED AND SHALL MEET N.E.C. STANDARDS

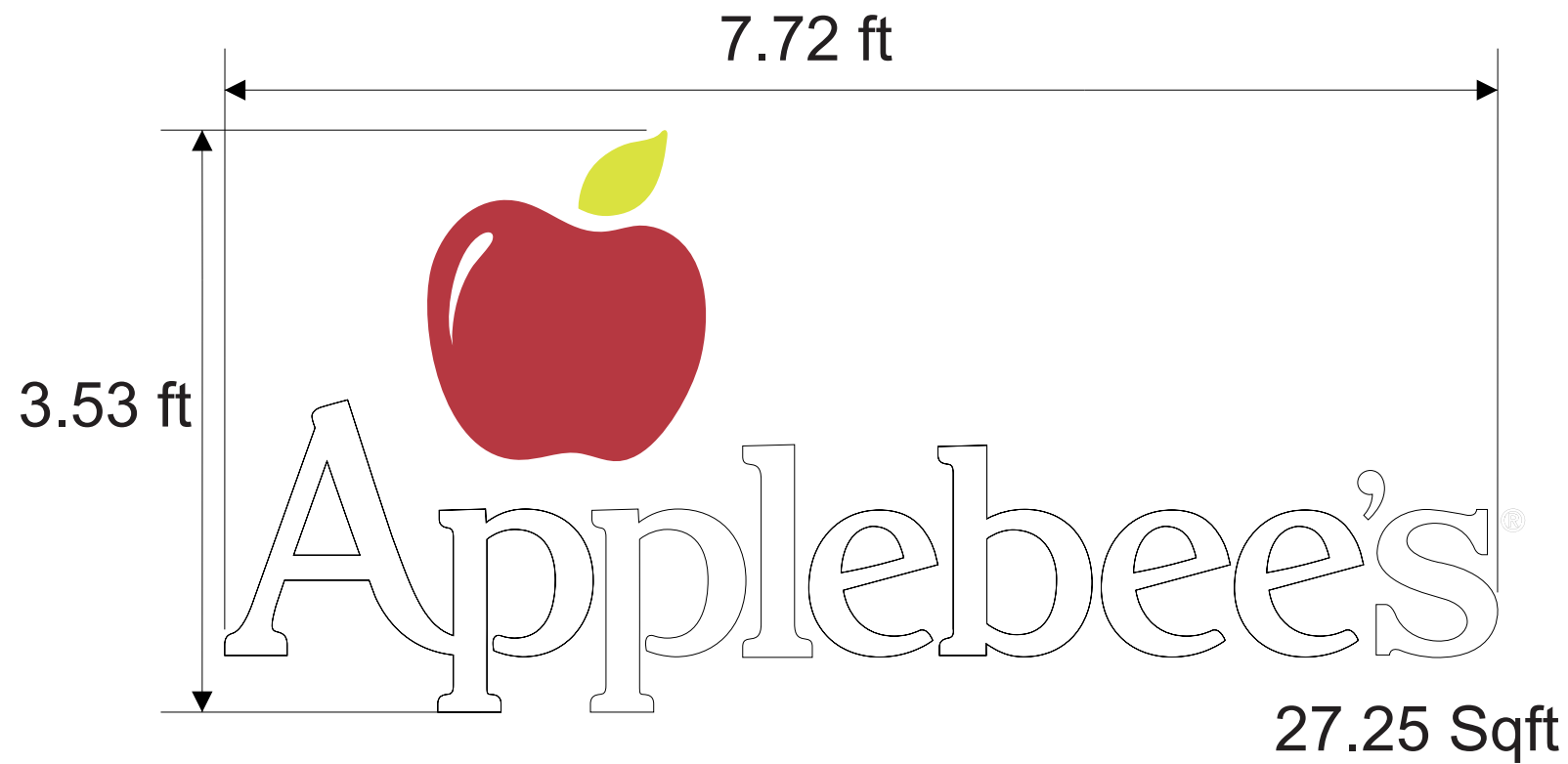
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SIGN TO MEET N.E.C. AND U. L. 48 STANDARDS FOR ELECTRICAL SIGNS. GROUNDING & BONDING AS PER N.E.C. 250-90 & NEC 600-7

PRIMARIES AND FINAL CONNECTION TO SIGN BY: CERTIFIED ELECTRICIAN

Right Side Specs



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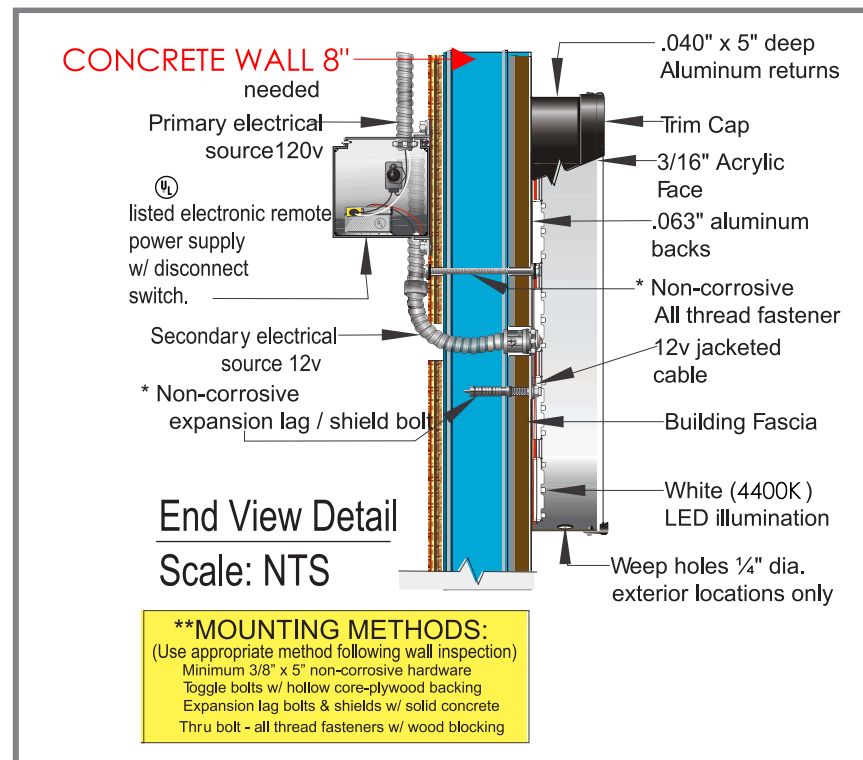
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PMS/PAINT	VINYL
PMS 187C	
PMS WHITE	3M 3630-70

COLOR LEGEND	
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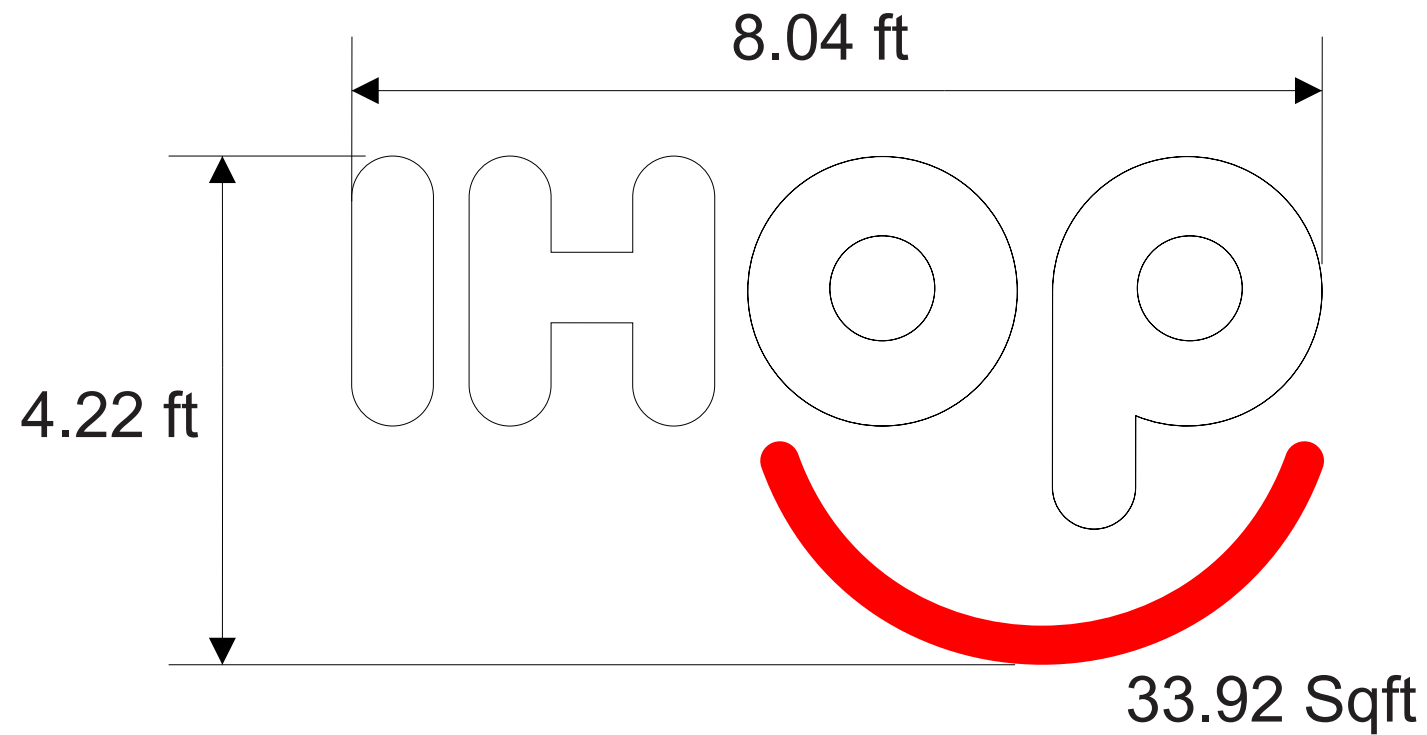
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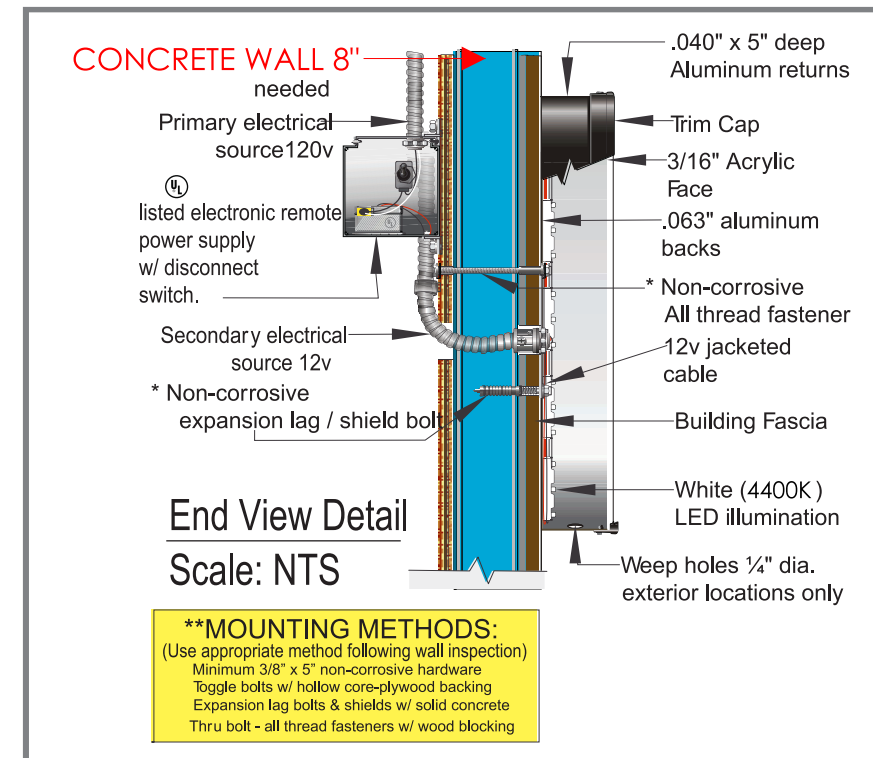
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PMS WHITE	3M 3630-70

COLOR LEGEND	
PMS/PAIN	VINYL
PMS 285 C	3M 3630-8246
PMS 1795C	3M 3630-143
PMS WHITE	3M 3630-70

MOUNTED TO THE WALL

24 HOUR PROGRAMMABLE TIMER installed to comply with the COT outdoor lighting code.

SPECIFICATIONS:

Colors will be some red and blue

3M 3630-8246 BLUE
3M 3630-143 RED

MAX LOAD: 120v / 2.2amps

DEDICATED 20 AMP CIRCUIT REQUIRED

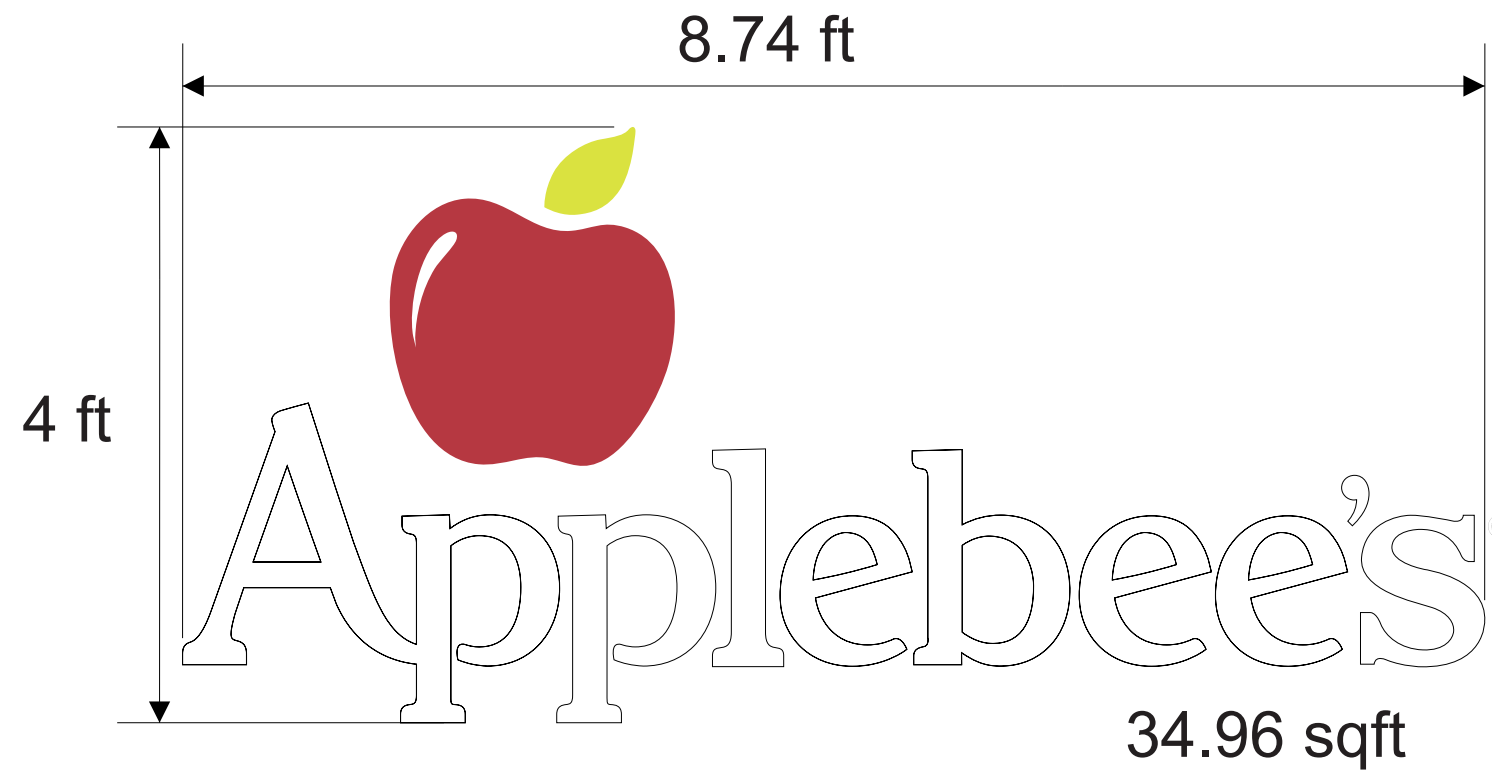
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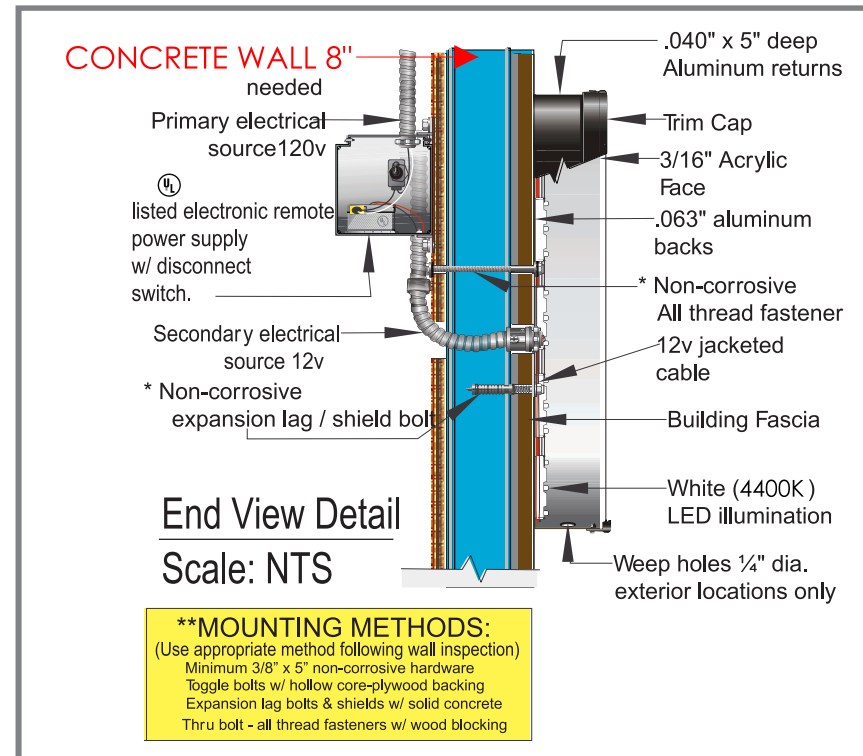
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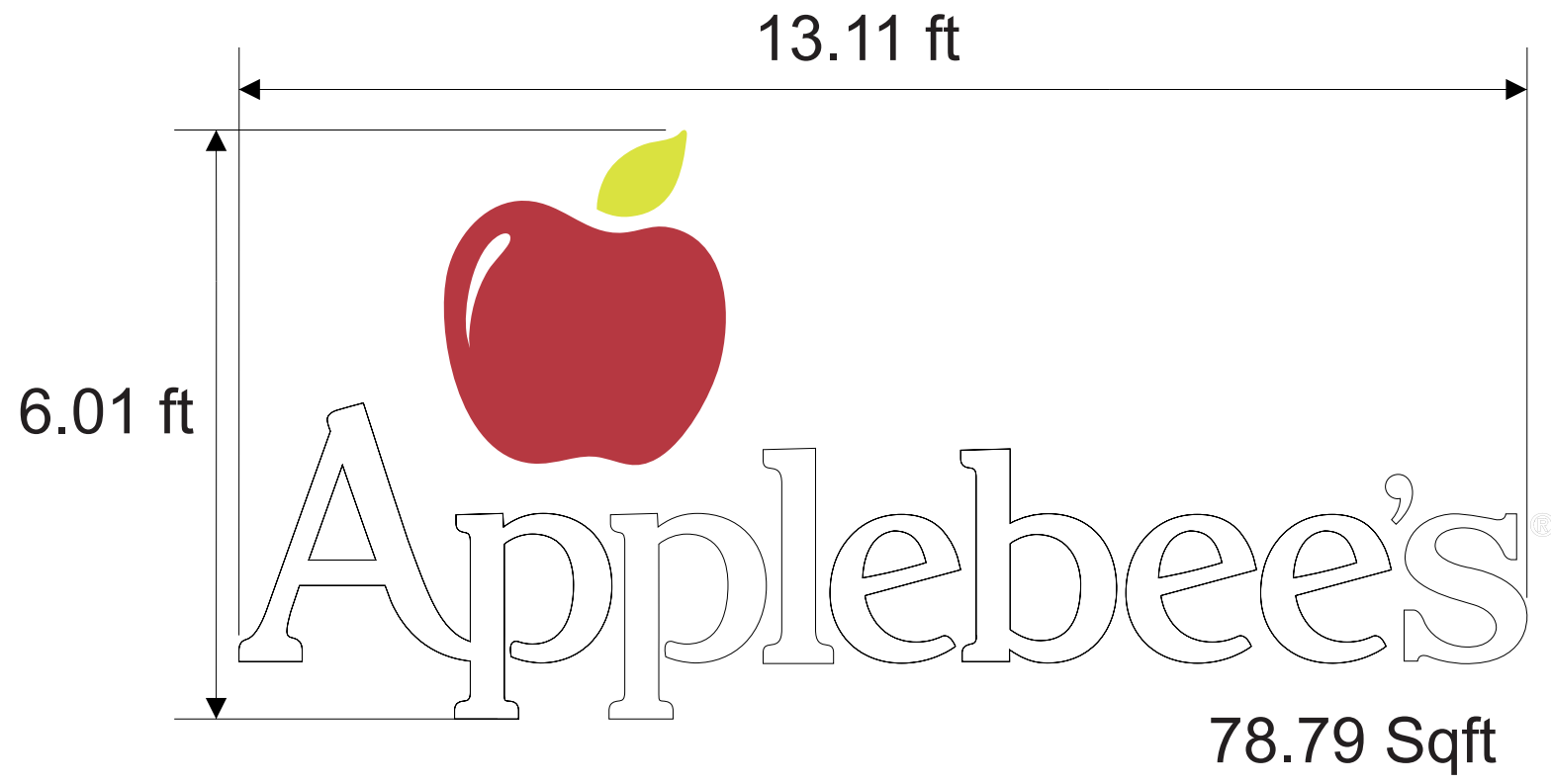
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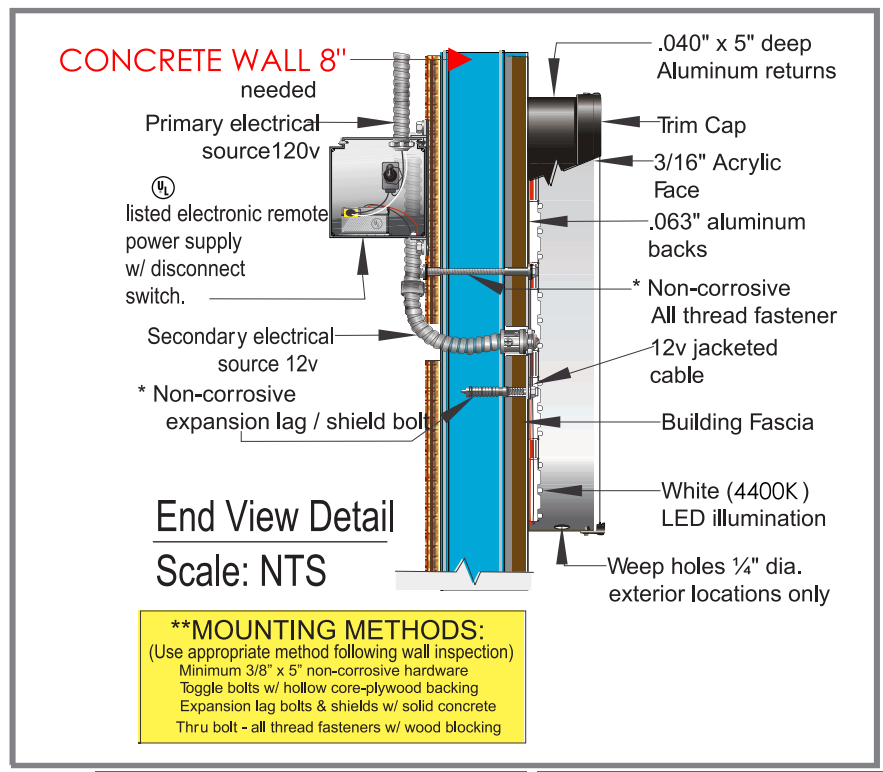
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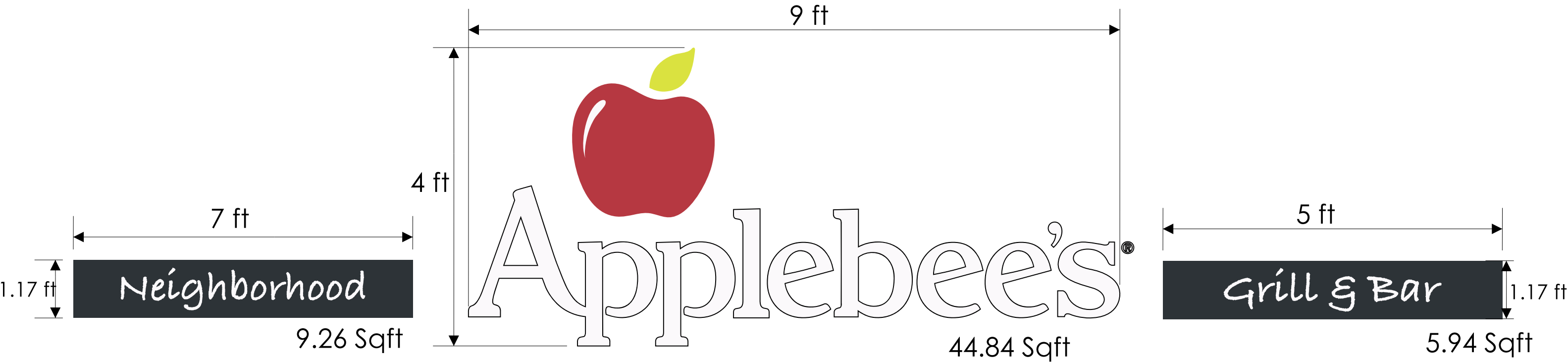
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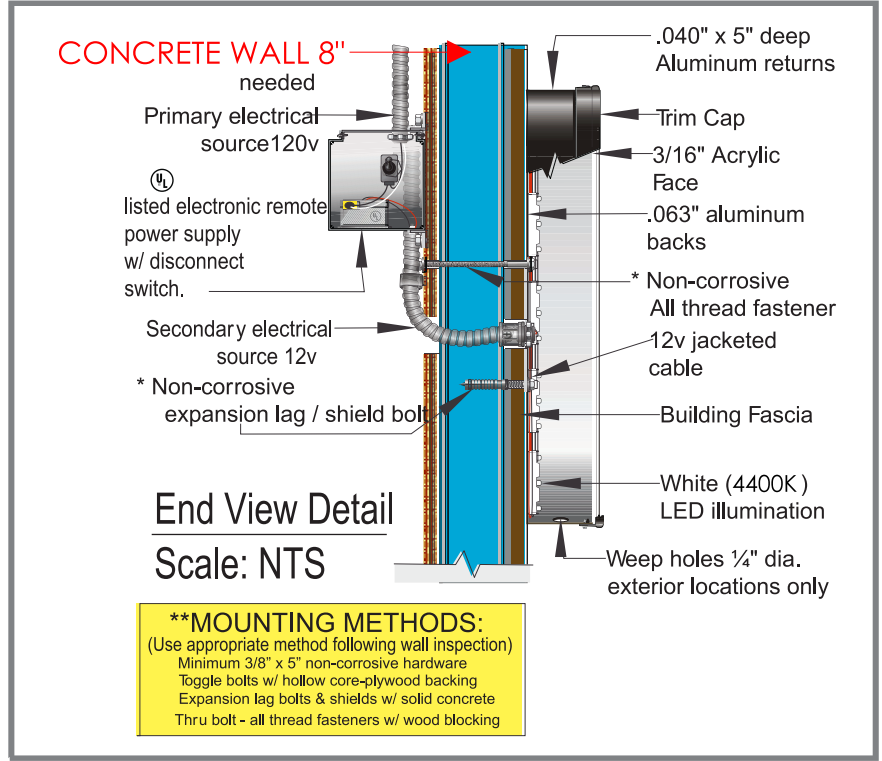
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SYMBOL LEGEND	
DRAWING TITLE	FLOOR PLAN 1 1/4"=1'-0"
SECTION	SECTION I.D. NUMBER SHEET WHERE SECTION IS LOCATED AS.0
DETAIL (ENLARGED)	DETAIL I.D. NUMBER SHEET WHERE SECTION IS LOCATED A1.1
ELEVATION	SHEET WHERE SECTION IS LOCATED ELEVATION I.D. NUMBER 8/A3.1
CEILING HEIGHT	CEILING HEIGHT ABOVE FINISHED FLOOR 10'-0"
DOOR	DOOR NUMBER DESIGNATION 1
WINDOW	WINDOW NUMBER DESIGNATION A
FINISH MATERIAL	FINISH DESIGNATION P-1 TRIM ONLY COMMENTS, IF APPLICABLE
KEYED NOTES	KEYED NOTE DESIGNATION ON APPLICABLE SHEET 1
REVISIONS	ADDENDUM NUMBER REVISED AREA CLOUDDED
ELEVATION HEIGHT	T.O. SLAB REFERENCE POINT 100'-0" ELEVATION HEIGHT
EQUIPMENT	EQUIPMENT NUMBER/LETTER DESIGNATION A
WALL TYPE	WALL TYPE LETTER A

OCCUPANCY LOAD CALCULATION			
USE	SQUARE FOOTAGE	OCCUPANT LOAD FACTOR	OCCUPANCY AMOUNT
DINING (NET)	2276	15	152
VESTIBULE & WAITING	72	5	15
WAITING	16 FT OF BENCH	①18"/OCC.	11
CIRCULATION	485	-	0
RESTROOMS	348	-	0
TOTAL	3181		178

REQUIRED EXITS			
OCCUPANCY	OCC. LOAD	# OF EXITS REQUIRED	# OF EXITS PROVIDED
A-2	178	2 (FROM DINING)	2 (FROM DINING)

RESTROOM REQUIREMENTS			
OCCUPANT LOAD: 178			
BREAKDOWN: 89 MEN / 89 WOMEN			
REQUIRED FACILITIES			
	WATER CLOSETS	LAVATORIES	URINALS
MEN	1 PER 75	1 PER 200	N/A
	2	1	0
WOMEN	1 PER 75	1 PER 200	-
	2	1	-

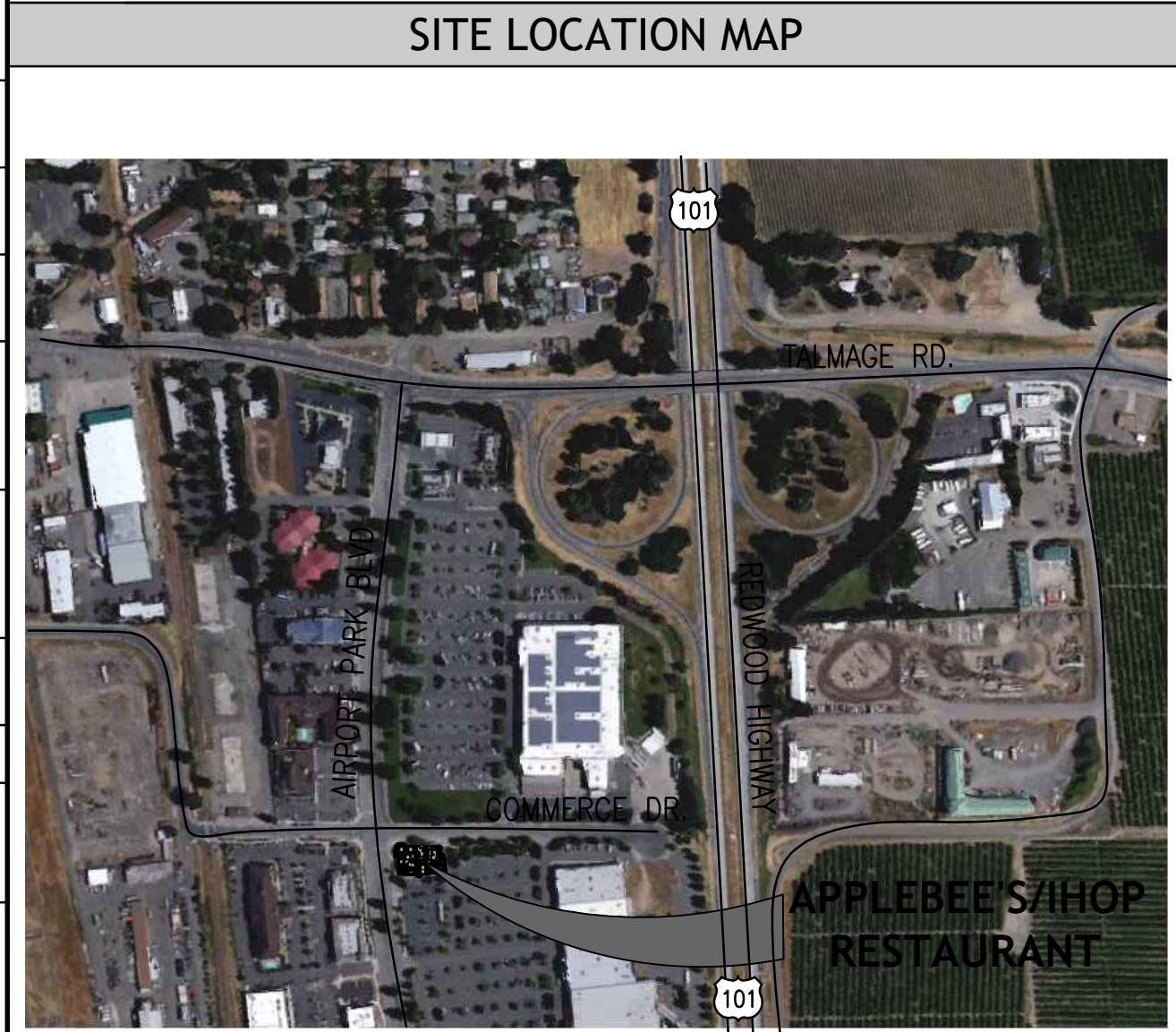
PROVIDED FACILITIES			
	WATER CLOSETS	LAVATORIES	URINALS
MEN	2	2	1
WOMEN	3	2	-

GENERAL PROJECT NOTES	
1	APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT SAME INFORMATION. CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF PLANS ON THE PREMISES IN GOOD CONDITION AT ALL TIMES. THIS SHALL INCLUDE ALL ADDENDA AND CHANGE ORDERS.
2	THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO STARTING ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS AND OWNER.
3	GENERAL CONTRACTOR TO REFER TO THESE DOCUMENTS AND SPECIFICATIONS FOR IDENTIFICATION OF ALL OWNER SUPPLIED ITEMS. ALL ITEMS NOT MARKED 'BY OWNER' OR 'N.I.C.' (NOT IN CONTRACT) ARE TO BE SUPPLIED BY GENERAL CONTRACTOR. UNLESS NOTED OTHERWISE, ALL ITEMS ARE TO BE INSTALLED BY GENERAL CONTRACTOR.
4	THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.
5	BEFORE SUBMITTING A BID, THE CONTRACTOR SHALL VISIT THE PREMISES AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND THE EXTENT OF WORK REQUIRED TO COMPLETE THE PROJECT.
6	BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT, IN WRITING, OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK AND SHALL BE RESPONSIBLE FOR SAME.
7	IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR MUST REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
8	THE ARCHITECT SHALL BE AVAILABLE TO VISIT THE SITE WHEN REQUESTED. IF A CONDITION EXISTS THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT OR ENGINEERS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT.
9	CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL INSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN. BEFORE COMMENCING WORK NOT SHOWN IN DOCUMENTS, BUT REQUIRED TO ACHIEVE FULL COMPLIANCE WITH CODES, CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT.
10	THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY AND COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/CONTRACTOR CONTRACT IS, AND SHALL BE, THE CONTRACTOR'S RESPONSIBILITY.
11	CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES AND SAFETY PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.
12	DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS FOR ALL MEASUREMENTS. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
13	OWNER SHALL PAY ALL TAXES, SECURE BUILDING PERMIT AND PAY ALL FEES INCURRED IN THE COMPLETION OF THE PROJECT, INCLUDING BUT NOT LIMITED TO BUILDING PERMITS, WATER, ELECTRIC AND TELEPHONE SERVICE CONNECTION, CERTIFICATE OF OCCUPANCY SURVEY'S AND INSPECTIONS.
14	SCOPE OF WORK. THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT, INCLUDING BUT NOT LIMITED TO SITE WORK, ARCHITECTURAL, ELECTRICAL, PLUMBING AND HVAC.
15	THE BID PRICES SHALL INCLUDE EVERYTHING NECESSARY OR PROPER FOR PERFORMING AND COMPLETING THE WORK REQUIRED AS INDICATED BY THE PLANS AND SPECIFICATIONS, TO PROVIDE FINISHED WORK. ANYTHING OMITTED THEREFROM WHICH IS CLEARLY NECESSARY FOR THE COMPLETION OF THE WORK OR ITS APPURTENANCES SHALL BE CONSIDERED A PORTION OF THE WORK ALTHOUGH NOT DIRECTLY SPECIFIED OR SHOWN ON THE DRAWINGS.
16	INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW, AND PUBLIC LIABILITY SHALL BE CARRIED BY THE CONTRACTOR.
17	GUARANTEE: THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS, AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS ATTENTION.
18	PROTECTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND THAT OF HIS SUBCONTRACTORS FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIAL USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS EMPLOYEES.
19	CONTRACTOR IS TO PROVIDE TO THE OWNER A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES.
20	THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUBCONTRACTORS. THE OWNER MAY ELECT TO CONTRACT DIRECTLY WITH A SUBCONTRACTOR FOR ANY PART OF THE WORK.
21	CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF WORK TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES. NOTIFY ARCHITECT IMMEDIATELY IF CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND NEW CONSTRUCTION. PATCH, REPAIR AND/OR REPLACE ALL ADVERSELY AFFECTED FINISHES AND SURFACES AS REQUIRED. UPON COMPLETION OF CONSTRUCTION, ALL PARKING AREA PAVEMENT AND NEW CONCRETE PADS SHALL TRANSITION SMOOTHLY.
NATIONAL ACCOUNT "NATIONAL ACCOUNT"- OWNER HAS ENTERED NATIONAL ACCOUNT AGREEMENTS WITH VENDORS FOR SOME MATERIALS AND PRODUCTS. CONTRACTORS SHALL USE THESE VENDORS, WITHOUT SUBSTITUTION, FOR ALL PRODUCTS IDENTIFIED UNDER THE NATIONAL ACCOUNTS PROGRAM.	
DEFERRED SUBMITTAL SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT WHO SHALL REVIEW THEM AND PROVIDE A NOTATION INDICATING THAT DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THESE SUBMITTAL ITEMS MUST THEN BE SUBMITTED TO THE BUILDING OFFICIAL. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. DEFERRED SUBMITTALS ARE AS FOLLOWS: a. SIGNAGE	
BUILDING SQUARE FOOTAGE TOTAL RESTAURANT AREA: 4,908 SQ. FT. SCOPE OF WORK: 3,181 SQ. FT.	
SCOPE OF WORK ALTERATION LEVEL 1 TO REMODEL AN EXISTING BUILDING SHELL AND INTERIORS FOR THE SAME OWNER. THERE IS ONLY A REPLACEMENT OF LIKE FINISHES AND FIXTURES. NO NEW FOOT PRINT OR ANY EXTERIOR ADDITIONS. EXISTING EGRESS PATHS, DOORS AND EMERGENCY LIGHTING TO REMAIN UNCHANGED.	
CODE INFORMATION A. BUILDING CODE CRITERIA BUILDING CODE: 2019 CALIFORNIA EXISTING BUILDING CODE w/ LOCAL AMMEND. ELECTRICAL CODE: 2019 CALIFORNIA ELECTRICAL CODE w/ LOCAL AMMEND. MECHANICAL CODE: 2019 CALIFORNIA MECHANICAL CODE w/ LOCAL AMMEND. PLUMBING CODE: 2019 CALIFORNIA PLUMBING CODE w/ LOCAL AMMEND. ENERGY CODE: 2019 CALIFORNIA ENERGY EFFICIENCY CODE w/ LOCAL AMMEND. ACCESSIBILITY CODE: 2019 TITLE 24 ACCESSIBILITY STANDARDS w/ LOCAL AMMEND. OCCUPANCY: A-2 (EXISTING AND PROPOSED, NO CHANGE) CONSTRUCTION TYPE: II-B, SPRINKLERED (EXISTING) STORIES: ONE ANSUL HOOD: EXISTING-UNCHANGED SPECIAL INSPECTIONS: NO SPECIAL INSPECTIONS REQUIRED.	
EXISTING ACCESSIBILITY NOTE SCOPE OF WORK TO INCLUDE REMODEL FOR AN EXISTING BUILDING SHELL AND INTERIORS. ANY SITE IMPROVEMENTS TO BE COMPLETED UNDER SEPARATE PERMIT. DRAWINGS ASSUME EXISTING CONDITIONS COMPLY WITH THE BUILDING AND ACCESSIBILITY CODE REQUIREMENTS FOR ACCESSIBILITY FOR PATHS OF TRAVEL FROM A PUBLIC WAY AND ACCESSIBLE PARKING STALL TO THE ACCESSIBLE BUILDING ENTRANCE. BUILDING UPGRADES MUST BE MADE IN ACCORDANCE WITH TITLE 24 ACCESSIBILITY STANDARDS.	

APPLEBEE'S-IHOP DUAL BRAND RESTAURANT

1201 AIRPORT PARK BLVD.
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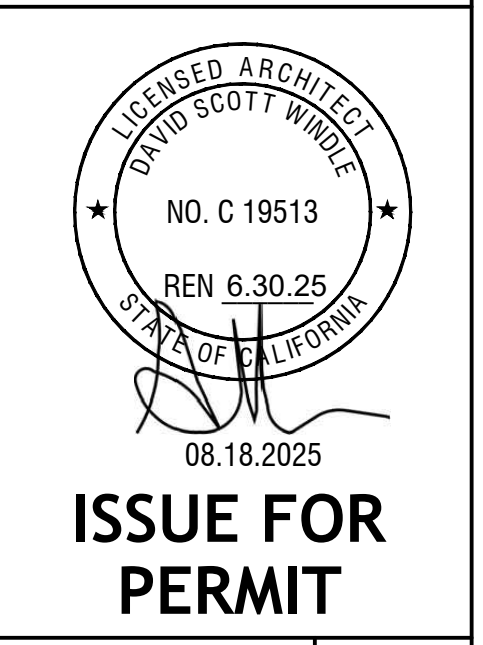
SHEET INDEX:	
DATE	REV DESCRIPTION
8.18.2025	ISSUE FOR PERMIT

LIST OF CONTACTS

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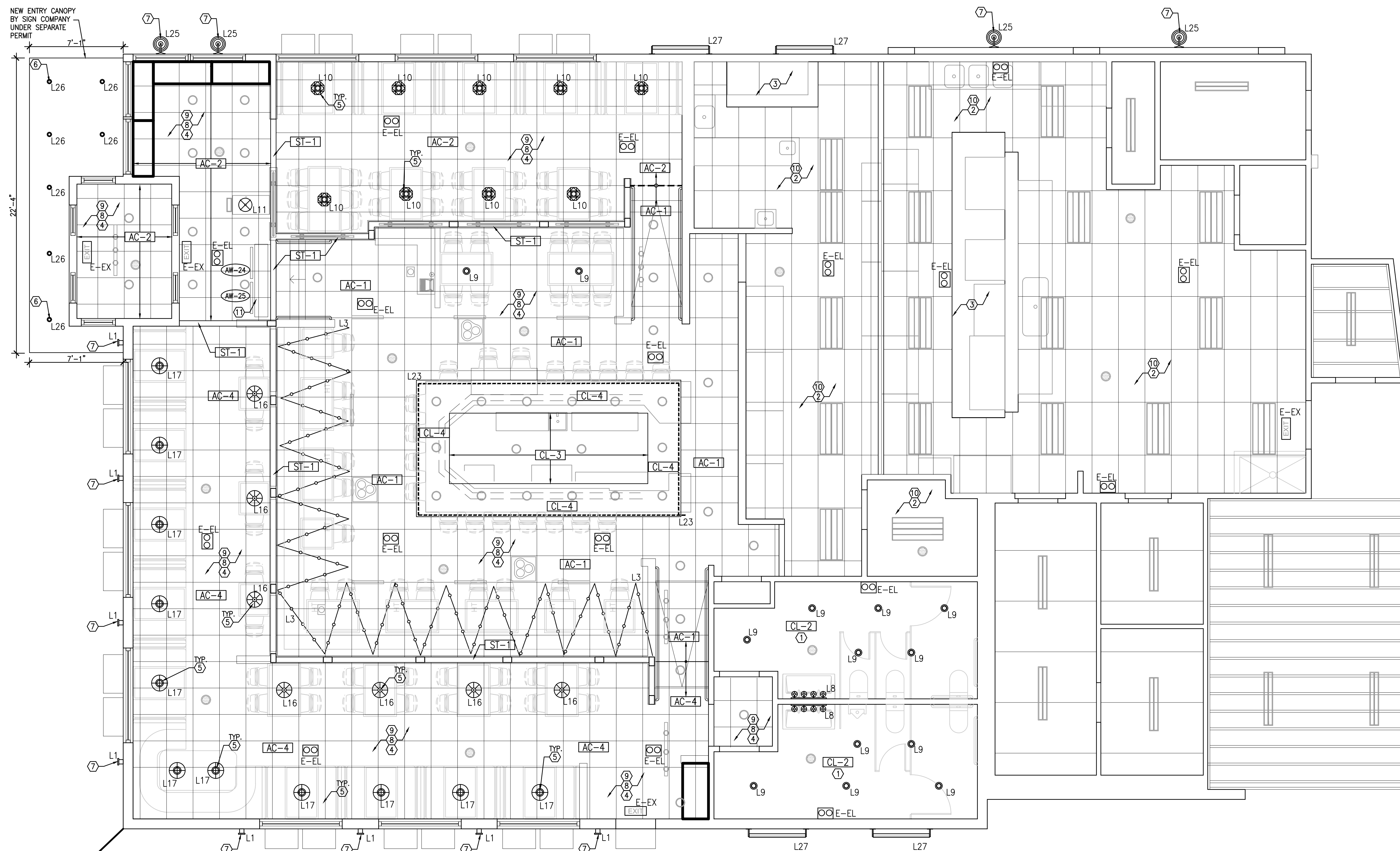
APPLEBEE'S AB ENTERPRISES, INC.
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HOLLYWOOD, CA 90028



DATE	DESCRIPTION
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SHEET TITLE:
COVER SHEET

SHEET NUMBER:
T1.0
PROJECT NUMBER:
IHF25018



LIGHTING LEGEND

INDOOR				
SYMBOL	TAG	LIGHT TYPE	MANUF./MODEL	VENDOR
	L-3	DECORATIVE GARLAND LIGHT	AMERICAN LIGHTING TYPE: WHITE REFLECTIVE SPRING LIGHT COLOR: COLOR CHANGING MODEL: NO. CL-PLS2-MS-24-48-BK	CITY LIGHTING
	L-8	DECORATIVE MIRROR LAMP	CHAWMILL LIGHTING BATHROOM VANITY 4 LAMP MODEL: NO. IVL752A4MBW	CITY LIGHTING
	L-9	RECESSED DOWNLIGHT	ELITE LED LIGHTING IF DOWNLIGHT MODEL NO. LDR-CAT-DIMTR-120-RL64-90X-DIMTR-120-27K-80-9W-WH	CITY LIGHTING
	L-10	DECORATIVE CORD MOUNT PENDANT	HILITE MANUFACTURING CUSTOM PENDANT MODEL: NO. H-CL-PF-ING-CAGE LIGHT DIMMABLE COLOR: BLACK	CITY LIGHTING
	L-11	DECORATIVE CORD MOUNT RED DRUM PENDANT	PRENTALUX PCL-RTD-144390 ABOVE HOST STAND	CITY LIGHTING
	L-16	DECORATIVE CORD MOUNT PENDANT	HILITE MANUFACTURING CUSTOM PENDANT MODEL: NO. H-CL-PF-ING-RWDL1	CITY LIGHTING
	L-17	DECORATIVE CORD MOUNT PENDANT	HILITE MANUFACTURING CUSTOM PENDANT MODEL: NO. H-CL-PF-ING-RWDL2	CITY LIGHTING
	L-22	TRACK AND TRACK HEADS	WAC LIGHTING BLACK TRACK HEADS MODEL: NO. HTR-720-BK	CITY LIGHTING
	L-23	TAPE LIGHT	GM LIGHTING SWIFT MODEL: NO. LTR-P-3.0W-30K-16	CITY LIGHTING
	E-EX	DIRECTIONAL EXIT SIGN	EXISTING TO REMAIN	---
	E-EL	EMERGENCY LIGHTING	EXISTING TO REMAIN	---

OUTDOOR

	L-1	WALL SCONCE	UPDOWN EXTERIOR WALL SCONCE COLOR: BRONZE S.P.P. EX. WAC Lighting MODEL: W5W54848ZT	
	L-24	RED LED STRIP	RED 3000°K IP65	
	L-25	GOOSENECK FIXTURE	WALL FIXTURE VINTAGE BARN WHITE FINISH (HOP TERRACE) BLACK FINISH (TO GO ENTRANCE) S.P.P. EX. WAC Lighting MODEL: W5W54848ZT	
	L-26	DAMP RATED RECESSED DOWNLIGHT	APOGEE LIGHTING IF DOWNLIGHT MODEL NO. IP600-4-30-18-STD PROVIDE 1/8" OPTION AT ENTRY DOOR	CITY LIGHTING
	L-27	LED LINEAR FIXTURE	BARTCO BC816-4-50-RNW-R-L-A-WBR- SN-ESS-MODGLARE	RESTAURANT LIGHTING CONCEPTS

GENERAL NOTES

- A ALL A/C GRILLS, SPEAKERS, ETC. TO BE PAINTED TO MATCH ADJACENT CEILING.
 - B REFER TO LIGHT FIXTURE SCHEDULE FOR ALL NEW LIGHT FIXTURES.
- KEY NOTES:**
- 1 EXISTING GYP. BD. PAINT AS SCHEDULED
 - 2 EXISTING LAY IN CEILING, CLEAN TILES IF POSSIBLE, REPLACE ANY DAMAGED TILES AND GRID AS REQ'D
 - 3 EXISTING EXHAUST HOOD
 - 4 NEW CEILING TILES AS SCHEDULED, PAINT GRID TO MATCH
 - 5 NEW PENDANT LIGHT FIXTURE AS SCHEDULED
 - 6 NEW CAN LIGHT FIXTURE AS SCHEDULED
 - 7 NEW EXTERIOR WALL SCONCE FIXTURE AS SCHEDULED
 - 8 CLEAN EXISTING HVAC DEVICES, TYP.
 - 9 EXISTING LIGHT FIXTURE, RELAMP AS REQUIRED AND ENSURE PROPER FUNCTION, TYP.
 - 10 CEILING TILES THIS AREA TO BE VINYL FACED, FOOD SERVICE APPROVED, COLOR TO MATCH ADJACENT CEILING TILES AS SCHEDULED
 - 11 GC BUILT SIGN ON LEDGE BEAM SUSPENDED FROM STRUCTURE ABOVE.

FINISH SCHEDULE

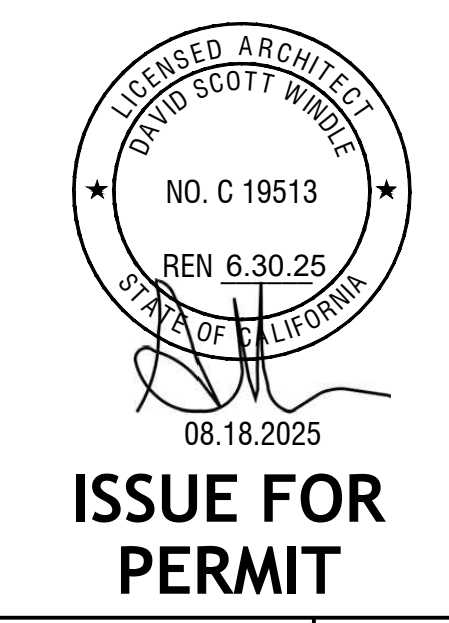
INTERIOR PAINT		
PT-1	HEARTHROB (LATEX SATIN)	SHERWIN WILLIAMS
PT-3	RARE GRAY (LATEX SATIN)	SHERWIN WILLIAMS
PT-5	BLACK OF NIGHT (LATEX SATIN)	SHERWIN WILLIAMS
PT-6	HIGH REFLECTIVE WHITE (LATEX SATIN)	SHERWIN WILLIAMS
PT-7	TRICORN BLACK (LATEX SATIN)	SHERWIN WILLIAMS
PT-8	URBANE BRONZE (LATEX SATIN)	SHERWIN WILLIAMS
PT-9	SNOWBOUND (LATEX SATIN)	SHERWIN WILLIAMS
PT-14	FIREWEED (LATEX SATIN)	SHERWIN WILLIAMS
PT-16	FAUX CEMENT PAINT	SHERWIN WILLIAMS
PT-22	MAJOR BLUE (LATEX SATIN)	SHERWIN WILLIAMS

CEILING		
AC-1	LAY-IN CEILING-FROST FLAT BLACK	LOCAL USC DISTRIBUTOR 877-874-4200
AC-2	LAY-IN CEILING-FROST CHARCOAL	LOCAL USC DISTRIBUTOR 877-874-4200
AC-4	LAY-IN CEILING-FROST WHITE	LOCAL USC DISTRIBUTOR 877-874-4200
CL-2	PTD GYP CLG-SNOWBOUND PT-9	SHERWIN WILLIAMS
CL-3	PTD GYP CLG-WHITE PT-6	SHERWIN WILLIAMS
CL-4	PTD GYP CLG - RED PT-14	SHERWIN WILLIAMS

NOTE:
EXISTING EGRESS PATHS, DOORS AND EMERGENCY LIGHTING SYSTEMS TO REMAIN UNCHANGED.

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HOLLYWOOD, CA 90028
www.yourhop.com



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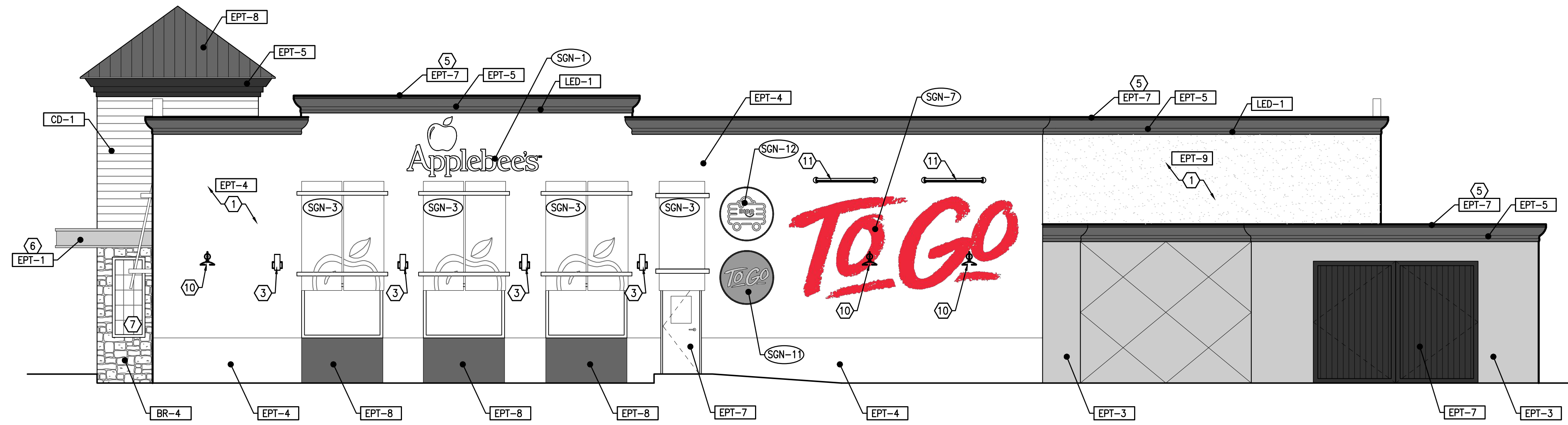


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08.18.25	ISSUE FOR PERMIT

SHEET TITLE:
NOTED REFLECTED CEILING PLAN

SHEET NUMBER:
A1.4

PROJECT NUMBER:
IHF25018



SOUTH ELEVATION 1
3/16"=1'-0"

- KEY NOTES**
- EXISTING FINISH MATERIAL TO REMAIN. CLEAN, PREP FOR NEW PAINT WHERE INDICATED.
 - EXISTING WINDOWS, REMOVE VINYL DECAL/APPLIQUE. (REPLACE ETCHED GLAZING WITH 1" LOW-E INSUL. GLAZING TO MATCH EXISTING GLASS.)
 - NEW WALL SCONCE TO REPLACE EXISTING, TYPE L-1
 - NEW GOOSENECK WALL SCONCE TO REPLACE EXISTING, TYPE L-25
 - PREP AND PAINT EXISTING COPING EPT-7 TRICORN BLACK
 - NEW CANOPY WITH BACKLIT "WELCOME BACK" BY SIGN VENDOR.
 - REPLACE GLASS WITH NEW 1" INSULATED LOW-E GLAZING.
 - REPLACE GLASS WITH NEW 1" GLAZING WITH WHITE MUNTINS IN SAME PATTERN.
 - CLEAN, PREP AND PAINT EXISTING DOOR AND FRAMES
 - DEMO EXISTING WALL SCONCE. PATCH/COVER J-BOX TO MATCH SURROUNDING WALL.
 - NEW TYPE L-27 WALL WASH FIXTURE

FINISH SCHEDULE

EXTERIOR FINISHES

EPT-1	HEARTHROB	SHERWIN WILLIAMS EXTERIOR
EPT-3	RARE GRAY	SHERWIN WILLIAMS EXTERIOR
EPT-4	NETSUKE	SHERWIN WILLIAMS EXTERIOR
EPT-5	BLACK OF NIGHT	SHERWIN WILLIAMS EXTERIOR
EPT-7	TRICORN BLACK	SHERWIN WILLIAMS EXTERIOR
EPT-8	URBANE BRONZE	SHERWIN WILLIAMS EXTERIOR
EPT-9	SNOWBOUND	SHERWIN WILLIAMS EXTERIOR
EPT-11	IHOP BLUE	SHERWIN WILLIAMS EXTERIOR
BR-4	STACKED STONE VENEER	EL DORADO STONE
CD-1	ALUMINUM CLADDING PLANKS	LONGBOARD ARCHITECTURAL PRODUCT
LED-1	RED LED STRIP LIGHTING (L-24)	RESTAURANT LIGHTING CONCEPTS

SIGNAGE SCHEDULE

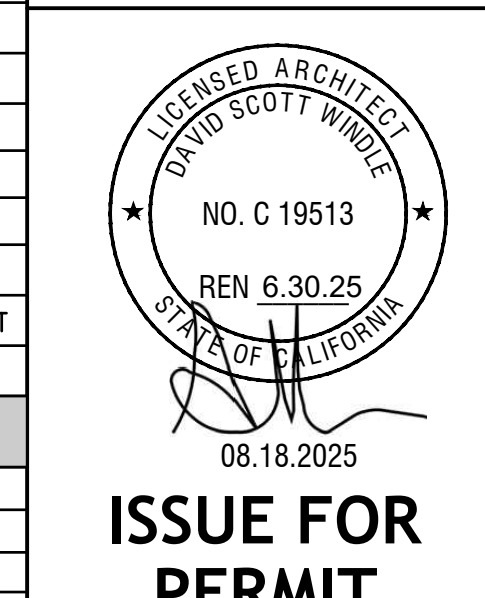
***EXTERIOR SIGNAGE TO BE UNDER SEPARATE PERMIT

SGN-1	APPLEBEE'S LOGO SIGN
SGN-3	REPLACE AWNING WITH NEW APPLEBEE'S STANDARD
SGN-32T	"WELCOME BACK" CANOPY LETTERING
SGN-34	IHOP LOGO, PROVIDE ELECTRICAL
SGN-37	IHOP "SPREADING HAPPINESS" TAGLINE LIGHTBOX, PROVIDE ELEC.
SGN-38	IHOP STENCIL - LARGE FORMAT
SGN-39	UPDATE AWNING WITH NEW IHOP BLUE FINISH
TG-7	TO-GO STENCIL - LARGE FORMAT
TG-11	APPLEBEE'S TO-GO SIGNAGE, SHEET METAL WITH BACKLIT
TG-12	IHOP TO-GO LIGHTBOX, PROVIDE ELEC.

*** ALL EXTERIOR SIGNAGE AND GRAPHICS TO BE PERMITTED BY OWNER'S SIGN COMPANY UNDER SEPARATE PERMIT. INFORMATION IS PROVIDED HERE ONLY FOR REFERENCE AND DESIGN INTENT ***

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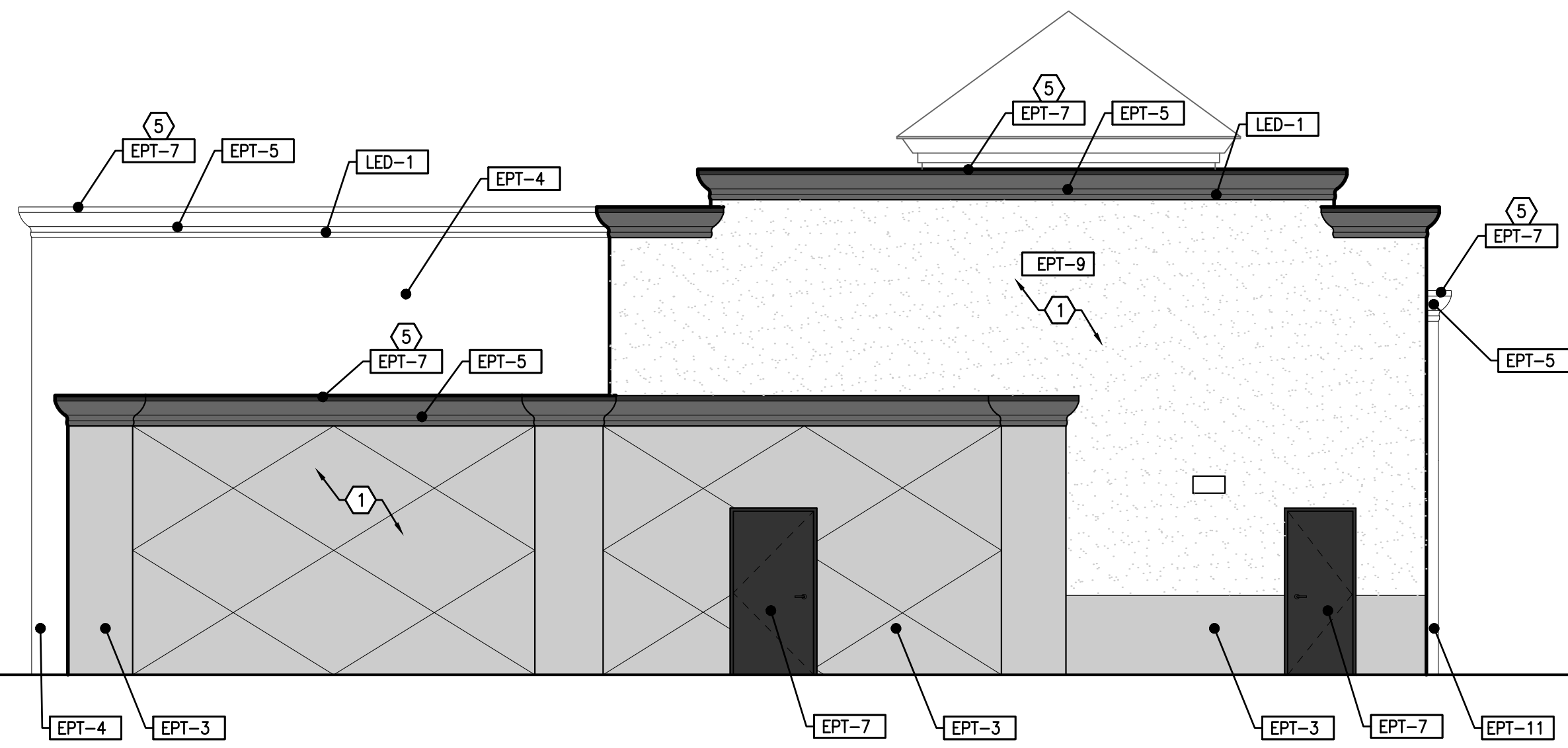


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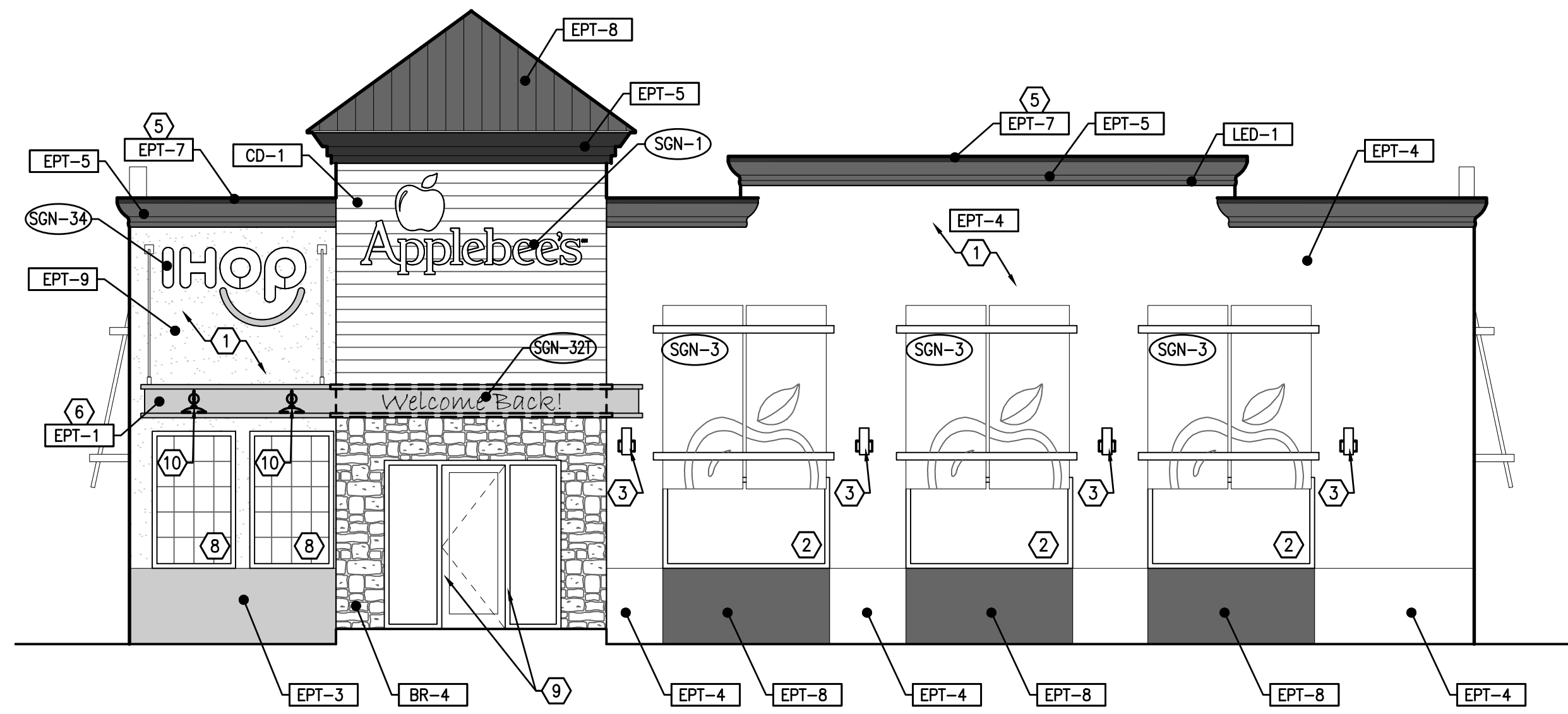
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EXTERIOR ELEVATIONS

SHEET NUMBER:
A2.0

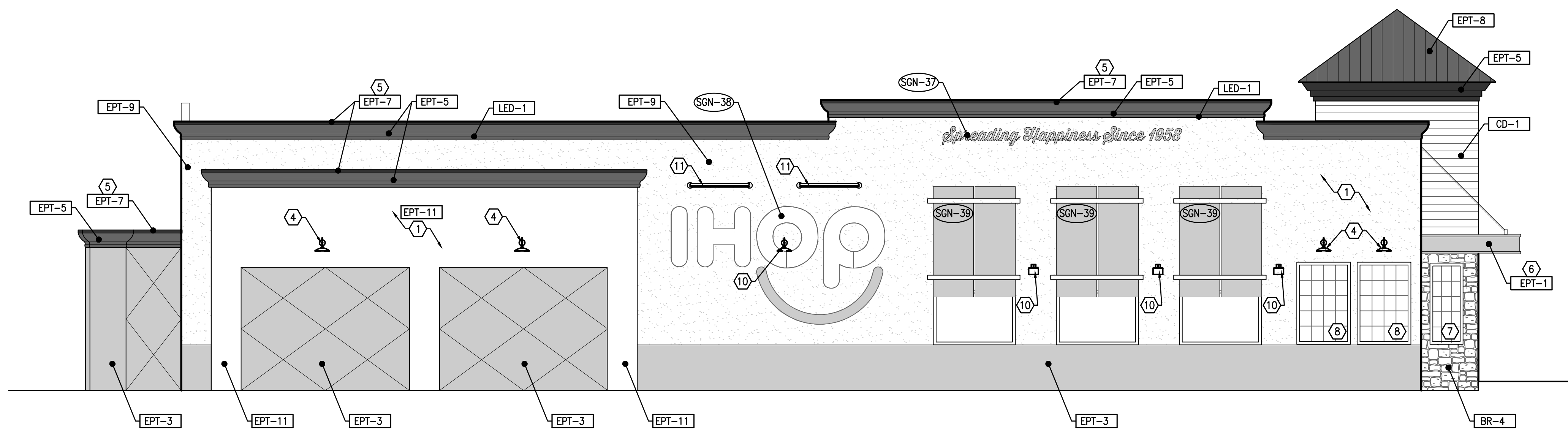
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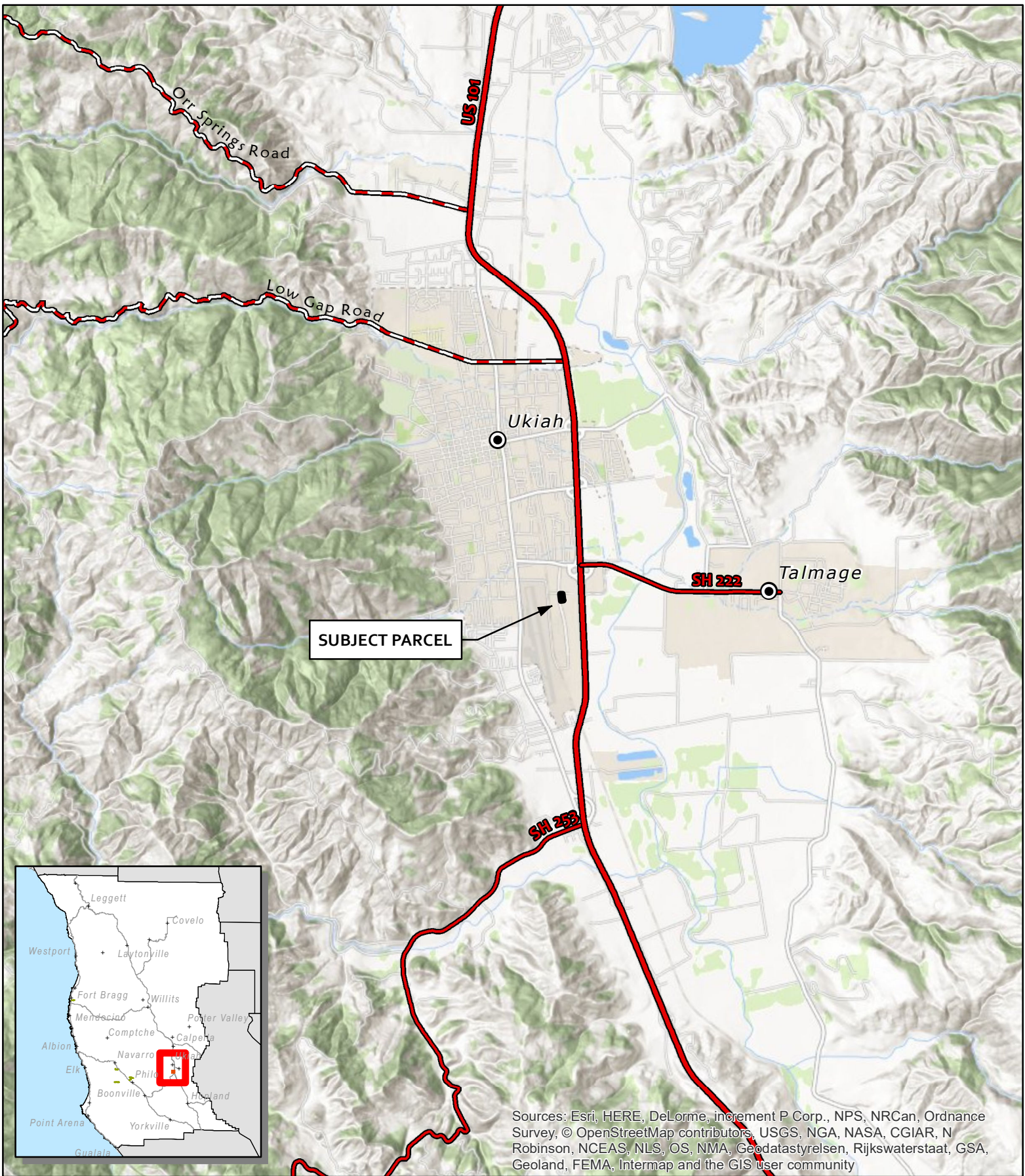
WEST ELEVATION 2
3/16"=1'-0"



EAST ELEVATION 3
3/16"=1'-0"



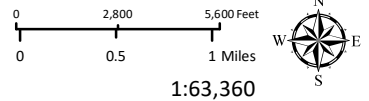
SOUTH ELEVATION 4
3/16"=1'-0"



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CASE:
OWNER: APPHOP 2 CA LLC
APN: 180-080-41
APLCT:
AGENT:
ADDRESS: 1201 Airport Park Blvd.

-  Major Towns & Places
-  Highways
-  Major Roads



1:63,360




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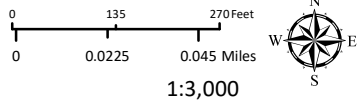
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 Source: Esri, Maxar, Earthstar Geographics, IGN, and the GIS User Community

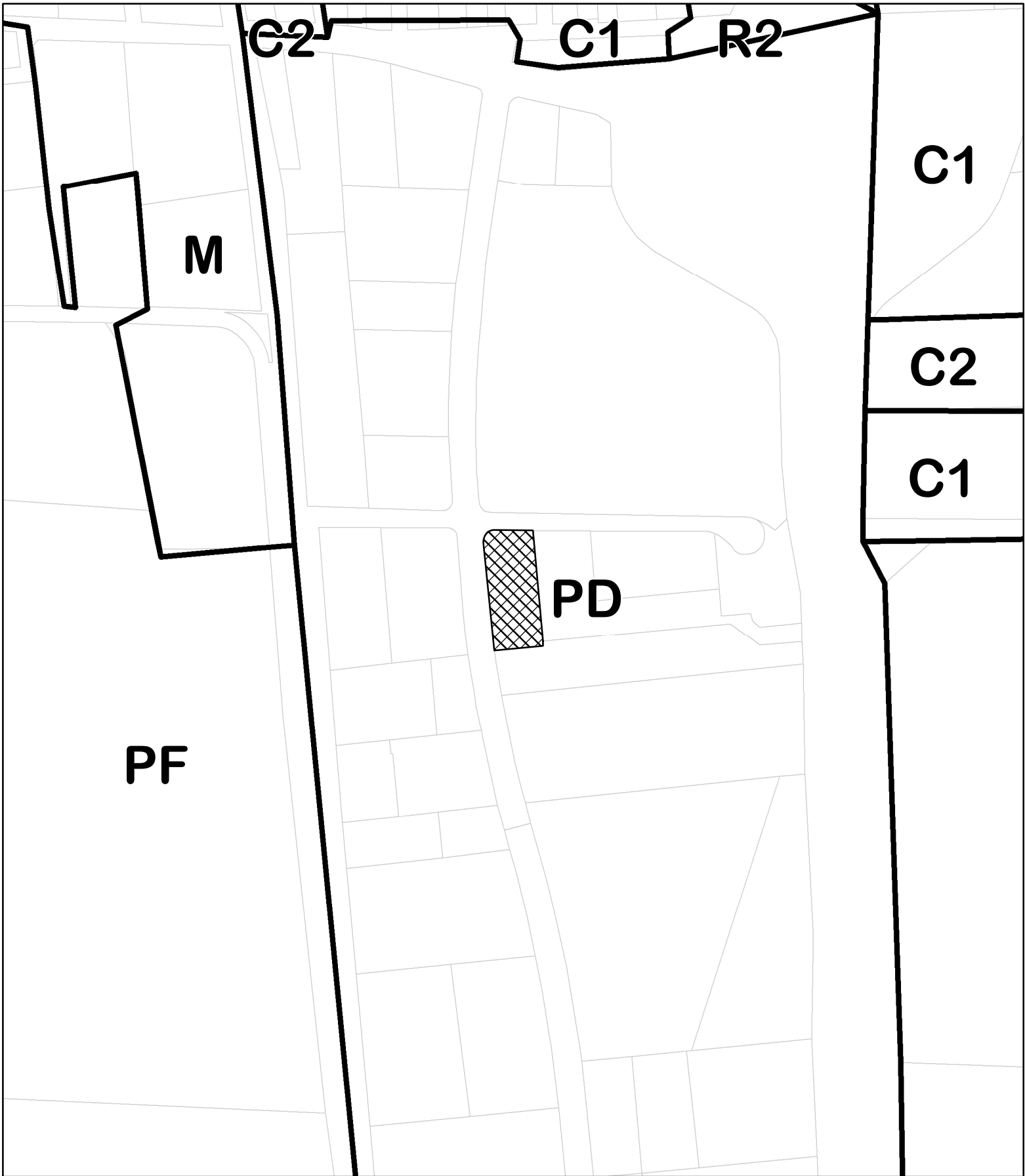
CASE:
OWNER: APPHOP 2 CA LLC
APN: 180-080-41
APLCT:
AGENT:
ADDRESS: 1201 Airport Park Blvd.

-  Highways (2017)
-  Public Roads
-  Railroads




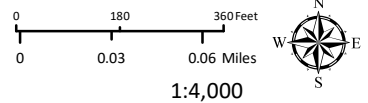
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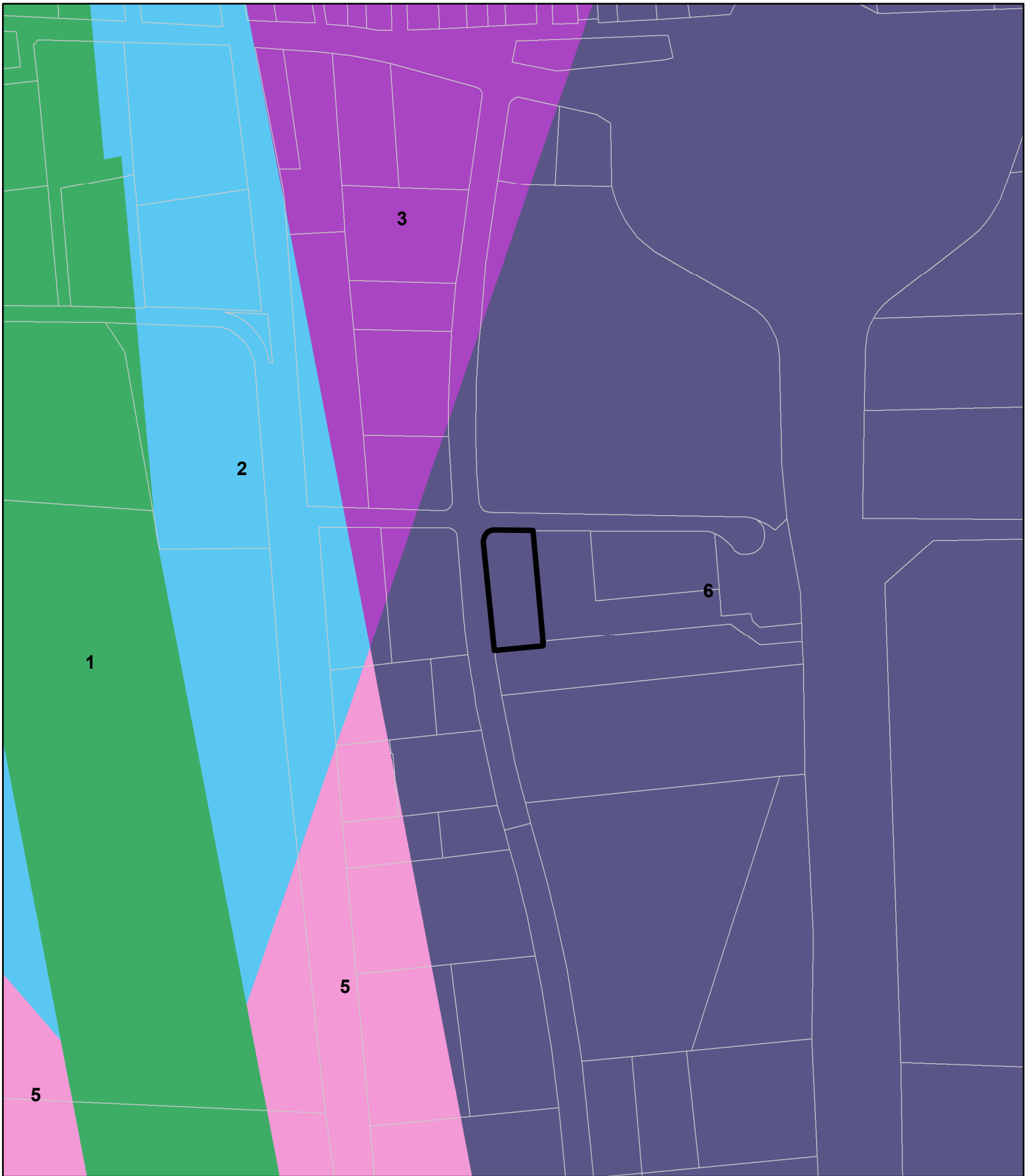
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 Assessor's Parcels

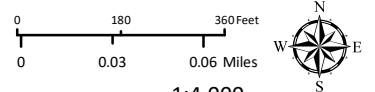


ZONING

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APLCT:
AGENT:
ADDRESS: 1201 Airport Park Blvd.



1:4,000
AIRPORT ZONES

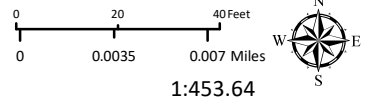
THIS MAP AND DATA ARE PROVIDED WITHOUT WARRANTY OF ANY KIND.
 DO NOT USE THIS MAP TO DETERMINE LEGAL PROPERTY BOUNDARIES



Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community, Source: Esri, Maxar, Earthstar Geographics, IGN, and the GIS User Community

CASE:
OWNER: APPHOP 2 CA LLC
APN: 180-080-41
APLCT:
AGENT:
ADDRESS: 1201 Airport Park Blvd.

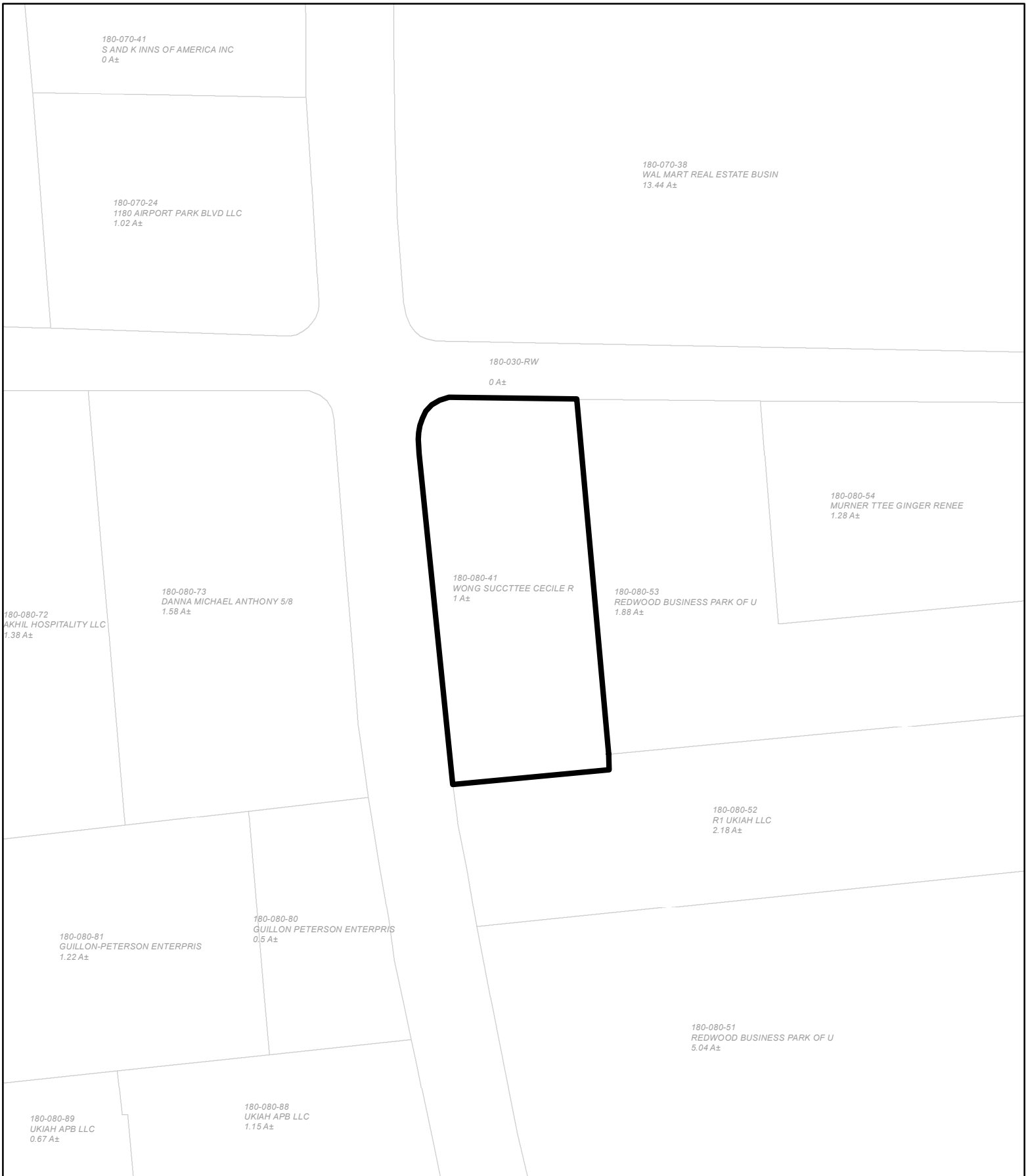
Public Roads




1:453.64

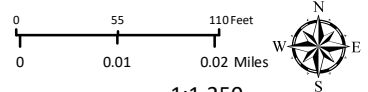
AERIAL IMAGERY

THIS MAP AND DATA ARE PROVIDED WITHOUT WARRANTY OF ANY KIND.
DO NOT USE THIS MAP TO DETERMINE LEGAL PROPERTY BOUNDARIES



CASE:
OWNER: APPHOP 2 CA LLC
APN: 180-080-41
APLCT:
AGENT:
ADDRESS: 1201 Airport Park Blvd.

 Assessors Parcels



1:1,250

ADJACENT PARCELS

**THIS MAP AND DATA ARE PROVIDED WITHOUT WARRANTY OF ANY KIND.
 DO NOT USE THIS MAP TO DETERMINE LEGAL PROPERTY BOUNDARIES**



October 24, 2011

Cory Tunnell
Entera Branding
1200 Entera Drive
Panama City, FL 32401

Re: Applebee's 1201 Airport Park Blvd., Ukiah
File No. 11-15-SDP-PC

Dear: Mr. Tunnell,

The Zoning Administrator on October 20, 2011, reviewed your request for approval of a Site Development Permit to allow exterior modifications to the existing Applebee's at 1201 Airport Park Boulevard. The modifications include new awnings and new signage. It was the action of the Zoning Administrator to approve the project subject to the following findings and conditions.

SITE DEVELOPMENT PERMIT FINDINGS TO ALLOW EXTERIOR MODIFICATIONS AND SIGN MODIFICATIONS TO THE APPLEBEE'S RESTAURANT AT 1201 AIRPORT PARK BOULEVARD, APN 180-080-41

The following findings are supported by and based on information contained in this staff report, the application materials and documentation, and the public record.

1. The proposed project, as conditioned, is consistent with the goals and policies of the General Plan as described in the staff report.
2. The proposed project, as conditioned, is consistent with the uses allowed in the Retail Commercial designation of the Airport Industrial Park Planned Development. The existing restaurant received a use permit in 2001 (File No. 01-04) and the proposed project will not change the use.
3. The proposed project, as conditioned, is consistent with the development standards for the Airport Park Industrial Park Planned Development as shown in Table 1 of the Staff Report.

1201 Airport Park Blvd.
APN 180-080-41
File No. 11-15-SDP-ZA

4. The proposed project site is currently developed and the existing footprint of the building and the site configuration will not change as a result of this project. Therefore the project will not create a hazardous or inconvenient vehicular or pedestrian traffic pattern
5. The accessibility of the existing off-street parking and driveway will not change as a result of the proposed project therefore no hazardous or inconvenient conditions will be created on adjacent streets.
6. The site contains landscaping which was required with the original use permit when the building was constructed. The landscaping is well maintained and no new landscaping is proposed as part of this project.
7. The existing footprint will not change as a result of the proposed modifications therefore the project will not restrict or cut out light and air on the property, or on the property in the neighborhood; nor will it hinder the development or use of buildings in the neighborhood, or impair the value thereof.
8. The site is not located in or adjacent to a residential zoning district.
9. The site is located in a commercial area developed with an existing restaurant and parking area, no water courses, wildlife, wildlife habitat, floodway or flood plain or other environmentally sensitive areas are present.
10. The proposed exterior modifications are consistent with the development standards of the Airport Park Industrial Park Planned Development. The new awning structures and signs will add articulation and variety to the building while adding visual interest to the neighborhood
11. The proposed project is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Article 19 Section 15311, Class 11, construction or replacement of minor structures accessory to existing commercial facilities and Class 11 (a) replacement of on-premise signs based on the following:
 - A. The proposed project involves modifications to on-premise signs and awnings;
 - B. The project is not located within an environmentally sensitive area in that the site is located in an urban area that includes existing commercial uses.
 - C. The project site is located in an area where all public services and facilities are available.
12. Notice of the proposed project was provided in the following manner as required by the Zoning Ordinance:
 - A. posted in three places on the project site on October 6, 2011;
 - B. mailed to property owners within 300 feet of the project site on October 6, 2011;

1201 Airport Park Blvd.

APN 180-080-41

File No. 11-15-SDP-ZA

C. published in the Ukiah Daily Journal on October 9, 2011.

**SITE DEVELOPMENT PERMIT CONDITIONS OF APPROVAL TO ALLOW EXTERIOR
MODIFICATION AND SIGN MODIFICATIONS TO THE APPLEBEE'S RESTAURANT AT
1201 AIRPORT PARK BOULEVARD, APN 180-080-41**

1. Approval is granted to make exterior modifications to the existing Applebee's Restaurant based on the project description submitted to the Planning and Community Development Department and as shown on the site plan dated September 26, 2011, except as modified by the following conditions of approval.
2. Application for and approval of a building permit is required prior to installation of the awnings and signs.
3. Application for and approval of a sign permit from the Planning and Community Development Department is required prior to installation of signs.
4. Any landscaping damaged during construction of project shall be replaced in kind prior to building permit final.
5. On plans submitted for building permit these conditions of approval shall be included as notes on the first sheet.

Standard City Conditions of Approval

6. Construction hours are limited to the hours of 7:00 a.m. to 7:00 p.m. Monday through Saturday.
7. The property owner shall obtain and maintain any permit or approval required by law, regulation, specification or ordinance of the City of Ukiah and other Local, State, or Federal agencies as applicable. All construction shall comply with all fire, building, electric, plumbing, occupancy, and structural laws, regulations, and ordinances in effect at the time the Building Permit is approved and issued.
8. All conditions of approval that do not contain specific completion periods shall be completed prior to building permit final.
9. Building, Grading or other required Permits shall be issued within two years after the effective date of the Site Development Permit, or the discretionary actions granted by the permit shall expire. In the event the required Permits cannot be issued within the stipulated period from the project approval date, a one year extension may be granted by the Director of Planning if no new circumstances affect the project which otherwise would render the original approval inappropriate or illegal. It is the applicant's

1201 Airport Park Blvd.

APN 180-080-41

File No. 11-15-SDP-ZA

responsibility in such cases to propose the one-year extension to the Planning Department prior to the two-year expiration date.

10. Except as otherwise specifically noted, the Site Development Permit shall be granted only for the specific purposes stated in the action approving the Site Development Permit and shall not be construed as eliminating or modifying any building, use, or zone requirements except to such specific purposes.
11. The approved Site Development Permit may be revoked through the City's revocation process if the approved project related to the Site Development Permit is not being conducted in compliance with the stipulations and conditions of approval; or if the project is not established within two years of the effective date of approval; or if the established land use for which the permit was granted has ceased or has been suspended for twenty four (24) consecutive months.
12. No permit or entitlement shall be deemed effective unless and until all fees and charges applicable to this application and these conditions of approval have been paid in full.
13. This approval is contingent upon agreement of the applicant and property owner and their agents, successors and heirs to defend, indemnify, release and hold harmless the City, its agents, officers, attorneys, employees, boards and commissions from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void or annul the approval of this application. This indemnification shall include, but not be limited to, damages, costs, expenses, attorney fees or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in connection with the City's action on this application, whether or not there is concurrent passive or active negligence on the part of the City. If, for any reason any portion of this indemnification agreement is held to be void or unenforceable by a court of competent jurisdiction, the remainder of the agreement shall remain in full force and effect.

Decisions of the Zoning Administrator, including the imposition of Conditions of Approval, may be appealed to the City Council no later than October 31, 2011 provided the interested party attended the hearing and stated his or her position on the project appealed. Decisions of the City Council are final in terms of City of Ukiah administrative review or relief. However, pursuant to §1094.6 of the California Code of Civil Procedure, an individual may have the right to a review of the City Council's decision by a court of law.

As acknowledgement of receipt of your project's Conditions of Approval please sign and return a copy of this letter.

1201 Airport Park Blvd.

APN 180-080-41

File No. 11-15-SDP-ZA

If you have any questions, please feel free to contact me at (707) 463-6206 or jfaso@cityofukiah.com.

Sincerely,


Jennifer Faso
Associate Planner

I _____, the Applicant/Owner have read and agree to the above Conditions of Approval.

Applicant/Owner Signature

Date

C: Zach Sylvia, 930 Executive Way, Suite 200, Redding, CA 96002

1201 Airport Park Blvd.

APN 180-080-41

File No. 11-15-SDP-ZA



**CITY OF UKIAH
ZONING ADMINISTRATOR
PUBLIC HEARING
Conference Room 1
October 20, 2011
2:00 PM**

AGENDA

- 1. CALL TO ORDER** **CONFERENCE ROOM # 1, UKIAH CIVIC CENTER
300 SEMINARY AVENUE, UKIAH, CALIFORNIA**

- 2. SITE VISIT VERIFICATION**

- 3. APPROVAL OF MINUTES**
October 13, 2011

- 4. APPEAL PROCESS**
All determinations of the Zoning Administrator regarding minor discretionary planning permits are final unless a written appeal, stating the reasons for the appeal, is filed with the City Clerk within ten (10) days of the date the decision was made. An interested party may appeal only if he or she appeared and stated his or her position during the hearing on the decision from which the appeal is taken. For matters heard at this meeting, the City Clerk will accept appeals no later than 5:00 PM on October 31, 2011.

- 5. VERIFICATION OF NOTICE**

- 6. PUBLIC HEARING**
 - A. Minor Site Development Permit 11-15-SDP-ZA, 1201 Airport Park Boulevard, APN 180-080-41. Request for approval of Site Development Permit to allow modifications to the exterior of the building. The request includes change to the exterior paint, modifications to the signs and new awnings that include LED lighting.

- 7. ADJOURNMENT**

The City of Ukiah complies with ADA requirements and will attempt to reasonably accommodate individuals with disabilities upon request. If possible, please contact the City of Ukiah (707) 463-6200 at least 72 hours prior to the meeting time.



Community Development and Planning Department
300 Seminary Avenue
Ukiah, CA 95482
planning@cityofukiah.com
(707)463-6203

DATE: October 20, 2011
TO: Zoning Administrator
FROM: Jennifer Faso, Associate Planner *JF*
SUBJECT: Request for approval of a Site Development Permit to allow modifications to the exterior of the existing Applebee's Restaurant
1201 Airport Park Boulevard, APN 180-080-41
File No. 11-15-SDP-ZA

RECOMMENDATION

Staff recommends that the Zoning Administrator approve this request for a minor site development permit based on the draft findings and subject to the draft conditions of approval (see attachments 1 & 2).

BACKGROUND

In 2001 the Planning Commission approved a use permit (File No. 01-04) to allow the construction and operation of the Applebee's Restaurant at 1201 Airport Park Boulevard. The approval included a sign program and exterior paint color.

PROJECT DESCRIPTION

An application has been received from Entera Branding on behalf of Applebee's for a site development permit to allow exterior modifications to the existing restaurant located at 1201 Airport Park Boulevard, APN 180-080-41. The proposed modifications include:

- New Exterior paint color;
- New "Applebee's" channel letter wall signs on each elevation;
- New "Neighborhood" and "Bar & Grill" cabinet signs on the left and right elevation;
- New entrance canopy on the front elevation over the entry;
- New LED illuminated window awnings on front, left and right elevations; and
- New monument sign utilizing the existing base.

1 SETTING

2
3 The subject property is located at 1201 Airport Park Boulevard which is on the southeast corner
4 of Commerce Drive and Airport Park Boulevard. The project site is flat and contains an existing
5 4,062 square foot restaurant with associated parking and landscaping. The property is zoned
6 Planned Development, is part of the Airport Park Industrial Planned Development and is
7 surrounded by commercial uses.

8
9 STAFF ANALYSIS

10
11 **GENERAL PLAN.** The General Plan land use designation for the subject property is Master Plan
12 Area (MPA). This designation allows for a diversity of commercial land uses. The specific uses
13 that may occur are determined by the adopted Airport Industrial Park Planned Development
14 Ordinance. The proposed changes to the exterior of the building and signs will not change the
15 existing commercial use on the site and therefore will continue to be consistent with the General
16 Plan land use designation.

17
18 The project is also consistent with Economic Development Goal ED-1 to *support a strong local*
19 *economy* in that the project will continue to promote local business by allowing an existing
20 business to update their building which in turn may result in new and return business.

21
22 **ZONING.** The project site is zoned Planned Development (PD) and is located in the Airport
23 Industrial Park in an area identified as Retail Commercial. This zoning designation requires
24 approval of a Use Permit for restaurants. As previously noted Applebee's received Planning
25 Commission approval of a use permit in 2001 (File No. 01-04).

26
27 The table below summarizes the proposed and existing awnings and signs:
28

Table 1. Sign Analysis and Awning Description-- Proposed and Existing			
Sign Type	Location	Existing	Proposed
Awnings			
Awning Signs , Apple Graphic	Front Elevation Left Elevation Right Elevation	10.5 square feet	56.5 square feet per elevation Total of 169.5 square feet of apple graphic on awning counted towards sign area
Awning, no graphic	Front Elevation Left Elevation Right Elevation	The existing awning do not contain graphics.	330. 57 square feet of awning area that does not contain sign area.
Signs			
"Applebee's" channel letter wall sign	Front Elevation Left Elevation Right Elevation Rear Elevation	42.26 square feet per elevation Total 169.04 square feet	33.7 square feet per elevation Total 134.8 square feet
"Neighborhood" "Grill & Bar" cabinet sign	Left Elevation Right Elevation	26.6 square feet Total 53.2 square feet	21.24 square feet per elevation Total 42.48 square feet
Entry canopy	Front Elevation	N/A	6.13 square feet

"Neighborhood Bar and Grill "			Total 6.13 square feet
Monument Sign	Front	68.75 square feet	62.32 square feet
Total sign area		328.09 square feet	415.23 square feet
Total Sign Area Allowed - Airport Park Boulevard Commerce Drive		454 square feet 164 square feet	454 square feet 164 square feet
Total sign area allowed is based on one and one-half (1½) square feet of sign area for every linear foot of parcel frontage. On corner lots the maximum allowable number of square footage is allowed for each street frontage. Z.O.Section2772 (1) (2).			
Total Sign Area allowed for entire parcel		618 square feet	618 square feet

1
2 The proposed project involves 748 square feet of modifications to the exterior of the building this
3 includes change to the signs and the awnings. The proposed change to the exterior paint color
4 is not included in the square footage because based on the original Use Permit's conditions of
5 approval discretionary review was not required to change the paint color. A Site Development
6 Permit, discussed below, is required to made the proposed changes to the signs and awnings.
7
8 **AIRPORT INDUSTRIAL PARK PLANNED DEVELOPMENT (AIP).** The development and design
9 requirements of the AIP are included in Ordinance 1098. Staff's analysis of the applicable AIP
10 standards and sign requirements is included below.
11
12

Table 2. Airport Industrial Park	
Zoning Regulations Per Ordinance 1098	Staff Analysis
Use	
Retail Commercial Designation : Restaurants are permitted uses and require a Use Permit	The existing use of the site is Applebee's Restaurant. A use permit was approved in 2001. The use of the site will not change as a result of this project.
AIP Development Standards	
The Airport Industrial Park Planned Development includes development standards for setbacks, building height, site area, and yard setbacks. Per the AIP Ordinance 1098 (page 9) the size and amount of signs shall generally comply with the requirements of the Ukiah Municipal Code.	The project site is developed with an existing restaurant The existing building footprint will not change as a result of this project. <u>Wall Signs:</u> The total amount of existing signs on the building is 259.34 square feet. The amount of sign area proposed for the new signs, including the apple logo on the awnings is 352.71 sq. ft. Based on the AIP, standards which defaults to the UMC, the subject parcel is allowed to have 454 square feet of sign area on the Airport Park Boulevard frontage and 164.01 square feet on the Commerce Drive frontage. However per the sign ordinance the total sign area for any frontage cannot exceed 500 square feet. The proposed signs included with this request are within the allowable sign area. <u>Monument Sign :</u> The proposed new monument sign will utilize the existing base. The new sign area of the monument sign will be 62.32 square feet as opposed to the existing 68.75 sq. ft.

3
Applebee's
1201 Airport Park Boulevard
Site Development Permit
File No. 11-15-SDP-ZA

Table 2. Airport Industrial Park

	<p>sign. The height of the new sign would be 5'-8" which is slightly shorter than the existing 6'-3" sign. The proposed height of the new sign is consistent with the requirements of the AIP and sign height previously approved by the Planning Commission for this site.</p> <p>See table above for analysis of proposed and existing sign area.</p>
<p>Per the AIP Ordinance 1098 (page 19) building modifications are allowed if the exterior modifications are designed to complement and harmonize with the design of the existing structure and surrounding development.</p> <p><u>Awnings:</u> New awnings are proposed for the front, left and right elevations.</p> <p><u>Entrance Canopy :</u> New canopy is proposed over the front door entrance.</p>	<p>The following Sherwin-Williams exterior paint colors are proposed:</p> <p>Main Wall – SW 7029 : Agreeable Gray” Accents- SW 7032 “Warm Stone” Metal Trim, Greenhouse Rood, Caps and Doors – SW 7048 “Urbane Bronze”</p> <p>The proposed colors are consistent with other exterior paint colors on surrounding properties. Specifically they are similar and will complement the following adjacent building: Branches, Sears, Walmart and Ukiah Retail Center.</p> <p><u>Awnings:</u> The awnings would be red and made of an ultra-matte flex material (an example of the material will be available at the hearing). There would be an apple graphic shown on the awnings that will be illuminated with LED lighting (See attachment 5, example photos).</p> <p>The total amount of new awnings proposed is 500.7 square feet, 169.5 square feet of the awning will be counted as sign area because this include the total amount of area used for the apple graphic which represents Applebee's.</p> <p>LED lighting would be installed on the front awning frame cross bar which is located 3" in front of the awning and will be directed towards the awning and building (see attachment 4) .</p> <p><u>Entrance Canopy:</u> A new entrance canopy is proposed to replace the existing awning over the front entrance. The canopy will extend out 3 feet and will note " Neighborhood Grill and Bar"</p>
<p>Lighting (Page 10) : Exterior lighting shall be subdued and of low wattage and shall enhance the building design.</p>	<p>The LED lighting associated with the awnings will be low wattage and directed at the awnings. The placement of the lights will not have an adverse impact on the adjacent neighbors because the lights will be directed towards the project site, not towards the sky or other properties.</p>

1
 2 **Site Development Permit.** The Airport Industrial Park Planned Development Ordinance 1098
 3 requires that all substantial exterior building modifications go through a Site Development
 4 Permit as prescribed in Article 20 of the Ukiah Municipal Code. Article 20 states that
 5 commercial projects that involve changes that are more than 150 square feet but less than
 6 1,000 square feet shall be reviewed by the Zoning Administrator. This project involves a total of
 7 748 square feet of modifications to the building. In order to approve a Site Development Permit,
 8 the findings included in Zoning Ordinance section 9263 (E) are required to be made. The
 9 required findings and staffs analysis are included in the table below:

4
 Applebee's
 1201 Airport Park Boulevard
 Site Development Permit
 File No. 11-15-SDP-ZA

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3

Table 2: Site Development Permit Analysis	
Site Development Permit Findings	Staff Analysis
<i>The proposed project is consistent with the goals and policies of the City General Plan.</i>	The proposed project is consistent with the General Plan as described in the General Plan section above.
<i>The location, size and intensity of the proposed project will not create a hazardous or inconvenient vehicular or pedestrian traffic pattern.</i>	The proposed project site is currently developed. The existing footprint of the building and the site configuration will not change as a result of this project. Therefore the project will not create a hazardous or inconvenient vehicular or pedestrian traffic pattern.
<i>The accessibility of off-street parking areas and the relation of parking areas with respect to traffic on adjacent street will not create a hazardous or inconvenient condition to adjacent or surrounding uses.</i>	Not Applicable The accessibility of the existing off-street parking and driveway will not change as a result of the proposed exterior modifications and new signs. Therefore no hazardous or inconvenient conditions will be created on adjacent streets.
<i>Sufficient landscaped areas have been reserved for purposes of separating or screening the proposed structure(s) from the street and adjoining building sites, and breaking up and screening large expanses of paved areas.</i>	Not Applicable The existing landscaping will not change as a result of the proposed modifications.
<i>The proposed development will not restrict or cut out light and air on the property, or on the property in the neighborhood; nor will it hinder the development or use of buildings in the neighborhood, or impair the value thereof.</i>	Not Applicable The existing footprint will not change as a result of the proposed modifications therefore the adjacent properties will not be hindered.
<i>The improvement of any commercial or industrial structure will not have a substantial detrimental impact on the character or value of an adjacent residential zoning district.</i>	Not Applicable The site is not located in or adjacent to a residential zoning district.
<i>The proposed development will not excessively damage or destroy natural features, including trees, shrubs, creeks, and the natural grade of the site.</i>	The site is located in a commercial area developed with an existing building and parking area, no water courses, wildlife, wildlife habitat, floodway or flood plain or other environmentally sensitive areas are present.
<i>There is sufficient variety, creativity, and articulation to the architecture and design of the structure(s) and grounds to avoid monotony and/or a box-like uninteresting external appearance.</i>	The proposed exterior modifications are consistent with the development standards of the Airport Park Industrial Park Planned Development Ordinance. The new awning structures and signs will add articulation and variety to the building while adding visual interest to the neighborhood.

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Based on the analysis included above and with the draft conditions of approval included in attachment 2, the project is consistent with the findings required for approval of a site development permit as included in attachment 1.

1 ENVIRONMENTAL REVIEW

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3 The proposed project is exempt from the provisions of the California Environmental Quality Act
4 (CEQA) pursuant to Section 15311, Class 11, construction or replacement of minor structures
5 accessory to existing commercial facilities and Class 11 (a) replacement of on-premise signs
6 based on the following:

- 7
8 • The proposed project involves modifications to on-premise signs and awnings;
9 • The project is not located within an environmentally sensitive area in that the site is
10 located in an urban area that includes existing commercial uses.
11 • The project site is located in an area where all public services and facilities are available.

12
13 PUBLIC NOTICE

14
15 A notice of public hearing was provided in the following manner as required by the Ukiah
16 Municipal Code.

- 17
18 • posted in three places on the project site on October 6, 2011;
19 • mailed to property owners within 300 feet of the project site on October 6, 2011; and
20 • published in the Ukiah Daily Journal on October 9, 2011.

21
22 As of the writing of this staff report, staff has received no written correspondence in regards to
23 this project

24
25
26 DECISION TIMELINE

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28 The proposed project is subject to the requirements of the Permit Streamlining Act (PSA). The
29 PSA requires that a decision be made on the project within 60 days of the application being
30 deemed complete. This application was submitted to the Planning and Community Development
31 Department on September 26, 2011 and was deemed complete on October 6, 2011. As such, a
32 decision must be made on the project no later than December 5, 2011. The applicant may
33 request a onetime extension of the decision timeline

34 **Attachments**

- 35
36 1. Draft Minor Site Development Permit Findings
37 2. Draft Minor Site Development Permit Conditions of Approval
38 3. Project Description submitted by applicant date stamped September 21, 2011
39 4. Plans submitted by applicant date stamped, September 26, 2011
40 5. Photos that show examples of similar awnings with LED lighting.

FINDINGS – SITE DEVELOPMENT PERMIT FINDINGS

DRAFT SITE DEVELOPMENT PERMIT FINDINGS TO ALLOW EXTERIOR MODIFICAITONS AND SIGN MODIFICATIONS TO THE APPLEBEE'S RESTUARNAT AT 1201 AIRPORT PARK BOULELVARD, APN 180-080-41

The following findings are supported by and based on information contained in this staff report, the application materials and documentation, and the public record.

- 1. The proposed project, as conditioned, is consistent with the goals and policies of the General Plan as described in the staff report.
- 2. The proposed project, as conditioned, is consistent with the uses allowed in the Retail Commercial designation of the Airport Industrial Park Planned Development. The existing restaurant received a use permit in 2001 (File No. 01-04) and the proposed project will not change the use.
- 3. The proposed project, as conditioned, is consistent with the development standards for the Airport Park Industrial Park Planned Development as shown in Table 1 of the Staff Report.
- 4. The proposed project site is currently developed and the existing footprint of the building and the site configuration will not change as a result of this project. Therefore the project will not create a hazardous or inconvenient vehicular or pedestrian traffic pattern
- 5. The accessibility of the existing off-street parking and driveway will not change as a result of the proposed project therefore no hazardous or inconvenient conditions will be created on adjacent streets.
- 6. The site contains landscaping which was required with the original use permit when the building was constructed. The landscaping is well maintained and no new landscaping is proposed as part of this project.
- 7. The existing footprint will not change as a result of the proposed modifications therefore the project will not restrict or cut out light and air on the property, or on the property in the neighborhood; nor will it hinder the development or use of buildings in the neighborhood, or impair the value thereof.
- 8. The site is not located in or adjacent to a residential zoning district.
- 9. The site is located in a commercial area developed with an existing restaurant and parking area, no water courses, wildlife, wildlife habitat, floodway or flood plain or other environmentally sensitive areas are present.

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- 10. The proposed exterior modifications are consistent with the development standards of the Airport Park Industrial Park Planned Development. The new awning structures and signs will add articulation and variety to the building while adding visual interest to the neighborhood

- 11. The proposed project is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Article 19 Section 15311, Class 11, construction or replacement of minor structures accessory to existing commercial facilities and Class 11 (a) replacement of on-premise signs based on the following:
 - A. The proposed project involves modifications to on-premise signs and awnings;
 - B. The project is not located within an environmentally sensitive area in that the site is located in an urban area that includes existing commercial uses.
 - C. The project site is located in an area where all public services and facilities are available.

- 12. Notice of the proposed project was provided in the following manner as required by the Zoning Ordinance:
 - A. posted in three places on the project site on October 6, 2011;
 - B. mailed to property owners within 300 feet of the project site on October 6, 2011;
 - C. published in the Ukiah Daily Journal on October 9, 2011.

DRAFT CONDITIONS OF APPROVAL – SITE DEVELOPMENT PERMIT

**DRAFT SITE DEVELOPMENT PERMIT FINDINGS TO ALLOW EXTERIOR MODIFICATIONS
AND SIGN MODIFICATIONS TO THE APPLEBEE'S RESTAURANT AT 1201 AIRPORT
PARK BOULEVARD, APN 180-080-41**

1. Approval is granted to make exterior modifications to the existing Applebee's Restaurant based on the project description submitted to the Planning and Community Development Department and as shown on the site plan date stamped September 26, 2011, except as modified by the following conditions of approval.
2. Application for and approval of a building permit is required prior to installation of the awnings and signs.
3. Application for and approval of a sign permit from the Planning and Community Development Department is required prior to installation of signs.
4. Any landscaping damaged during construction of project shall be replaced in kind prior to building permit final.
5. On plans submitted for building permit these conditions of approval shall be included as notes on the first sheet.

Standard City Conditions of Approval

6. Construction hours are limited to the hours of 7:00 a.m. to 7:00 p.m. Monday through Saturday.
7. The property owner shall obtain and maintain any permit or approval required by law, regulation, specification or ordinance of the City of Ukiah and other Local, State, or Federal agencies as applicable. All construction shall comply with all fire, building, electric, plumbing, occupancy, and structural laws, regulations, and ordinances in effect at the time the Building Permit is approved and issued.
8. All conditions of approval that do not contain specific completion periods shall be completed prior to building permit final.
9. Building, Grading or other required Permits shall be issued within two years after the effective date of the Site Development Permit, or the discretionary actions granted by the permit shall expire. In the event the required Permits cannot be issued within the stipulated period from the project approval date, a one year extension may be granted by the Director of Planning if no new circumstances affect the project which otherwise would render the original approval inappropriate or illegal. It is the applicant's responsibility in such cases to propose the one-year extension to the Planning Department prior to the two-year expiration date.

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10. Except as otherwise specifically noted, the Site Development Permit shall be granted only for the specific purposes stated in the action approving the Site Development Permit and shall not be construed as eliminating or modifying any building, use, or zone requirements except to such specific purposes.
 11. The approved Site Development Permit may be revoked through the City's revocation process if the approved project related to the Site Development Permit is not being conducted in compliance with the stipulations and conditions of approval; or if the project is not established within two years of the effective date of approval; or if the established land use for which the permit was granted has ceased or has been suspended for twenty four (24) consecutive months.
 12. No permit or entitlement shall be deemed effective unless and until all fees and charges applicable to this application and these conditions of approval have been paid in full.
 13. This approval is contingent upon agreement of the applicant and property owner and their agents, successors and heirs to defend, indemnify, release and hold harmless the City, its agents, officers, attorneys, employees, boards and commissions from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void or annul the approval of this application. This indemnification shall include, but not be limited to, damages, costs, expenses, attorney fees or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in connection with the City's action on this application, whether or not there is concurrent passive or active negligence on the part of the City. If, for any reason any portion of this indemnification agreement is held to be void or unenforceable by a court of competent jurisdiction, the remainder of the agreement shall remain in full force and effect.



1200 Bell Avenue
Panama City, FL 32401

P: 800-868-0284
F: 850-872-8584

www.enterabranding.com

September 21, 2011

RE: Applebee's, 1201 Airport Blvd., Ukiah, CA 95482

To whom it may concern,

Please allow this letter to serve as a description of the scope of work for the above referenced project. Please also refer to the included artwork. This exterior remodel will consist of:

- 1.) Painting of entire restaurant using the following Sherwin-Williams colors:
 Accents – SW 7032 "Warm Stone"
 Main Wall – SW 7029 "Agreeable Gray"
 Metal Trim, Greenhouse Roof, Caps & Doors – SW 7048 "Urbane Bronze"
- 2.) New "Applebee's" channel letter wall signs on each elevation.
- 3.) New "Neighborhood" and "Grill & Bar" cabinet signs on the left and right elevations.
- 4.) A new entrance canopy over the entry on the front elevation.
- 5.) New LED illuminated window awnings on front, left and right elevations.
- 6.) A new monument sign replacing utilizing existing base.

Sincerely,

Cory A. Tunnell
Program Manager

RECEIVED
Sept 26 2011
CITY OF UKIAH
PLANNING DEPT.

Cory Tunnell | Program Manager
850.392.0779 (direct phone) | 850.392.0679 (direct fax)
cory.tunnell@enterabranding.com



CITY OF UKIAH

*original
applebee's
approval*

MAJOR USE PERMIT
APPROVAL AGREEMENT

Project Title: **Major Use Permit No. 01-04**
Project Applicant: **Applebee's Restaurant**
Project Location: **1201 Airport Park Boulevard, Ukiah, County of Mendocino, CA**

Pursuant to Ukiah Municipal Code §9262, Major Use Permit No. 01-04 was reviewed and approved by the City Planning Commission on May 23, 2001, with the attached Conditions of Approval being made components of the project's design and development. The applicant understands that all of the approved Conditions of Approval must be implemented in order to comply with the terms of the Planning Commission's approval, and that failure to satisfy such terms constitutes justification for the City withholding the final Building Permit and/or initiating revocation of the Major Use Permit.

Decisions of the Planning Commission, including the imposition of Conditions of Approval, may be appealed to the City Council no later than 5:00 p.m. on June 4, 2001, provided the interested party attended the hearing and stated his or her position on the project appealed. Decisions of the City Council are final in terms of City of Ukiah administrative review or relief. However, pursuant to §1094.6 of the California Code of Civil Procedure, an individual may have the right to a review of the City Council's decision by a court of law.

Accordingly, the City of Ukiah hereby grants the applicant the subject Use Permit, as conditioned, with the understanding that, notwithstanding referral to a court, the project will be developed according to the approved set of plans and the approved Conditions of Approval.

Issued by: City of Ukiah Planning Department
Date: May 29, 2001
Issuing Agent of the City: Associate Planner Brian Keefer

Signature of Issuing Agent

c: Code Enforcement Officer

**Conditions of Approval for
Major Use Permit Agreement No. 01-04**

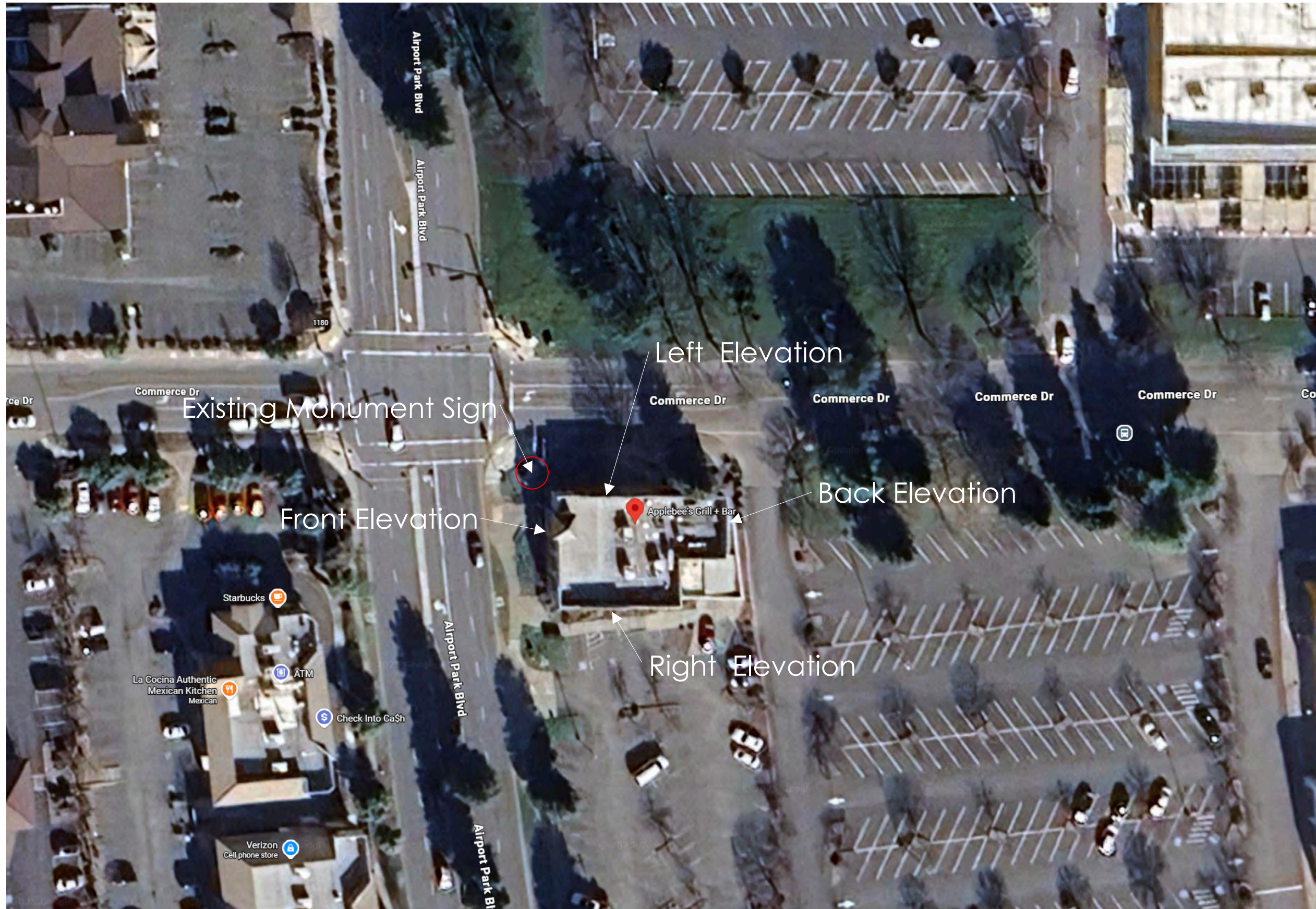
CONDITIONS OF APPROVAL: The following Conditions of Approval shall be made a permanent part of Major Use Permit #01-04, shall remain in force regardless of property ownership, and shall be implemented in order for this entitlement to remain valid:

1. All use, construction, or occupancy shall conform to the application approved by the Planning Commission, and to any supporting documents submitted therewith, including maps, sketches, renderings, building elevations, landscape plans, and alike.
2. Any construction shall comply with the "Standard Specifications" for such type of construction now existing or which may hereafter be promulgated by the Engineering Department of the City of Ukiah; except where higher standards are imposed by law, rule, or regulation or by action of the Planning Commission.
3. In addition to any particular condition, which might be imposed, any construction shall comply with all building, fire, electric, plumbing, occupancy, and structural laws, regulations and ordinances in effect at the time the Building Permit is approved and issued.
4. Applicant shall be required to obtain any permit or approval, which is required by law, regulation, or ordinance, be it required by Local, State, or Federal agency.
5. Building Permits shall be issued within two years after the effective date of the Use Permit approval, or it shall be subject to the City's permit revocation process and procedures. In the event the Building Permit cannot be issued within the stipulated period, a one year extension may be granted by the Planning Director if no new circumstances affect the project which otherwise would render the original approval inappropriate or illegal. It is the applicant's responsibility in such cases to propose the one-year extension to the Planning Department prior to the two-year expiration date.
6. The approved Use Permit may be revoked through the City's revocation process if the approved project related to the Use Permit is not being conducted in compliance with the stipulations and conditions of approval; or if the project is not established within two years of the effective date of approval; or if the established land use for which the permit was granted has ceased or has been suspended for twenty four (24) consecutive months.
7. Except as otherwise specifically noted, the Use Permit shall be granted only for the specific purposes stated in the action approving the Use Permit and shall not be construed as eliminating or modifying any building, use, or zone requirements except as to such specific purposes.
8. An Encroachment Permit from the Public Works Department is required to perform all work within the street right-of-way.
9. Sewer, water, and electric service shall conform to the specifications of the City Public Utilities and Public Works Departments, and to the applicable written comments submitted on Feb. 20 and April 23, 2001 by the Electric Division (attached), and on Feb. 21, and March 2, 2001 by the Public Works Department (attached).

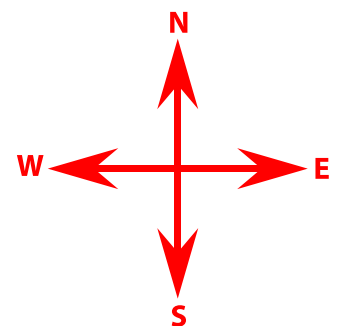
10. Gas service shall conform to the specifications of Pacific Gas and Electric Company and the written comments submitted by PG&E on Feb. 7, 2001 (attached).
11. Any roof-mounted air conditioning, heating, and/or ventilation equipment shall be aesthetically screened from view consistent with the architecture of the building upon which it is located.
12. Any outdoor refuse/recycle containers shall be aesthetically screened from view; garbage shall not be visible outside the enclosures.
13. Street trees shall be incorporated into the planters adjacent to Airport Park Boulevard and Commerce Drive. These trees shall be planted in accordance with the approved Landscape Plan, unless the Planning Director and City Engineer/Director of Public Works approve alternate locations, species, size, or planting methods.
14. A Final Landscaping and Lighting Plan shall be submitted by the project applicant and approved by the Director of Planning prior to the issuance of a Building Permit. This plan shall include, but not be limited to the following:
 - a) A planting legend that includes the names, location, coverage area, and canopy cover of proposed vegetation, including the location of street trees;
 - b) The proposed tree planting details and methods;
 - c) A planting schedule for all vegetation installed on the site;
 - d) A maintenance schedule for existing or proposed vegetation, including a watering schedule and irrigation system design; and
 - e) A lighting plan for any proposed exterior lighting installed or otherwise used on the site. All exterior lighting shall be subdued and directed away from surrounding land uses and the night sky.
 - f) More appropriate substitute tree species for the Crape Myrtle Trees and the Deodar Cedars shown on the submitted plan.
15. Landscaping shall be installed prior to the issuance of a Certificate of Occupancy for the restaurant unless the Director of Planning approves an alternate schedule. Landscaping shall be maintained and may not be removed or substantially altered unless the Director of Planning reviews and approves the removal or replacement of vegetation determined to be diseased, unstable, hazardous, or poorly located on the site. Any vegetation removed from the site shall be replaced with similar vegetation approved by the Planning Director.
16. All conditions that do not contain a specific date or time period for completion shall be completed prior to the issuance of a Certificate of Occupancy.
17. All signs must comply with and are limited to the approved sign program. The Planning Director must approve any additional signs or deviations from the approved signs. In addition, the monument sign including the foundation must be placed a minimum of 13 feet from the face of curb on the adjacent streets for a minimum four-foot setback from the joint trench. Monument sign shall not exceed the height of 6'-7 ½" (six feet, seven and one half inches).
18. Prior to the issuance of a building permit, an On-Site Grading and Drainage Plan that includes an Erosion and Sediment Control Component shall be submitted. This report shall be prepared by a licensed civil engineer and shall be approved by the City Engineer.
19. All on-site paving shall be a minimum of 2" (inches) of asphalt concrete with a 6" (inch) aggregate base, or, alternatively, any option approved by the City Engineer.

20. All reports and plans submitted to the City Engineer for review and approval shall address required mitigation outlined in the certified Airport Industrial Park Environmental Impact Report (EIR).
21. Capital improvement fees (traffic) in the amount of \$5,974.31 if paid by June 30, 2001 for the parcel comprising the project site shall be paid in accordance with City Resolution No. 2000-13 prior to the issuance of a Building Permit. If these fees are paid following June 30, 2001, the fees will be incrementally raised quarterly based on the discount factor rate for each quarter.
22. Prior to the commencement of construction activities, the applicants shall submit a Storm Water Pollution Prevention Plan to the Regional Water Quality Control Board (RWQCH) and secure a General Construction Activity Permit if required by law.
23. The applicants shall participate in a *Transportation Management Association* if and when it is formed.
24. Prior to the commencement of site preparation and construction activities, the applicants shall submit a detailed Geotechnical Report of the site conducted by a registered engineering geologist or geological engineer. Field and laboratory data should be analyzed to provide the following geotechnical information:
 - a. A description of the soil and geologic conditions observed, including faulting and landsliding.
 - b. Site grading recommendations.
 - c. Recommended foundation types and design criteria.
 - d. Retaining wall design criteria, as necessary.
 - e. Recommendations for slab-on-grade construction, as applicable.
 - f. Geotechnical engineering drainage recommendations.
 - g. The applicants shall construct the project per the recommendations contained in the geotechnical investigation.
25. All proposed Structures/facilities shall comply with current seismic design standards contained in the Uniform Building Code.
26. Every attempt shall be made to keep all construction areas swept and clear of mud and debris to reduce the creation of fugitive dust.
27. Construction activities shall be limited to 7:00 a.m. to 5:00 p.m. on weekdays and 8:00 a.m. to 5:00 p.m. on Saturdays, unless alternative hours are approved by the Planning Director.
28. Construction equipment shall be properly muffled and maintained to limit adverse air quality impacts.
29. The detailed construction plans submitted for a building permit shall include water conservation devices on toilets, urinals, and faucets.

30. The applicants shall pay the required sewer/water connection fees at the time of application for service.
31. Sewage collectors for the project shall be sized and constructed according to the requirements of the Ukiah Valley Sanitation District.
32. The Applicants shall employ construction activity management techniques, such as; extending construction period; reducing the number of pieces of equipment used simultaneously; increasing the distance between emission sources; reducing or changing the hours of construction; and scheduling activity during off-peak hours as a means to reduce potential adverse impacts to air quality.
33. The applicants shall keep all inactive soil piles completely covered to avoid the transportation of dust.
34. All construction vehicles shall be limited to a maximum speed of 15 miles per hour while on the site.
35. Prior to the issuance of a building permit, the applicants shall pay the required Ukiah School district fees applicable to commercial development.
36. Prior to the final inspection of the building, and issuance of a certificate of occupancy, the applicants shall submit a Recycling Plan for all recyclable materials, if any, the restaurant will generate during its operation.
37. If, during site preparation and grading activities, any archaeological resources are discovered, all work shall be halted, and the Planning department notified of the discovery. The applicant shall be responsible for funding the services of a professional archaeologist to assess the discovered resources, and for any measures developed by the archaeologist to protect the resources.
38. The painted arrow for the exit at the frontage of Airport Park Boulevard shall be painted to indicate a right-turn only.

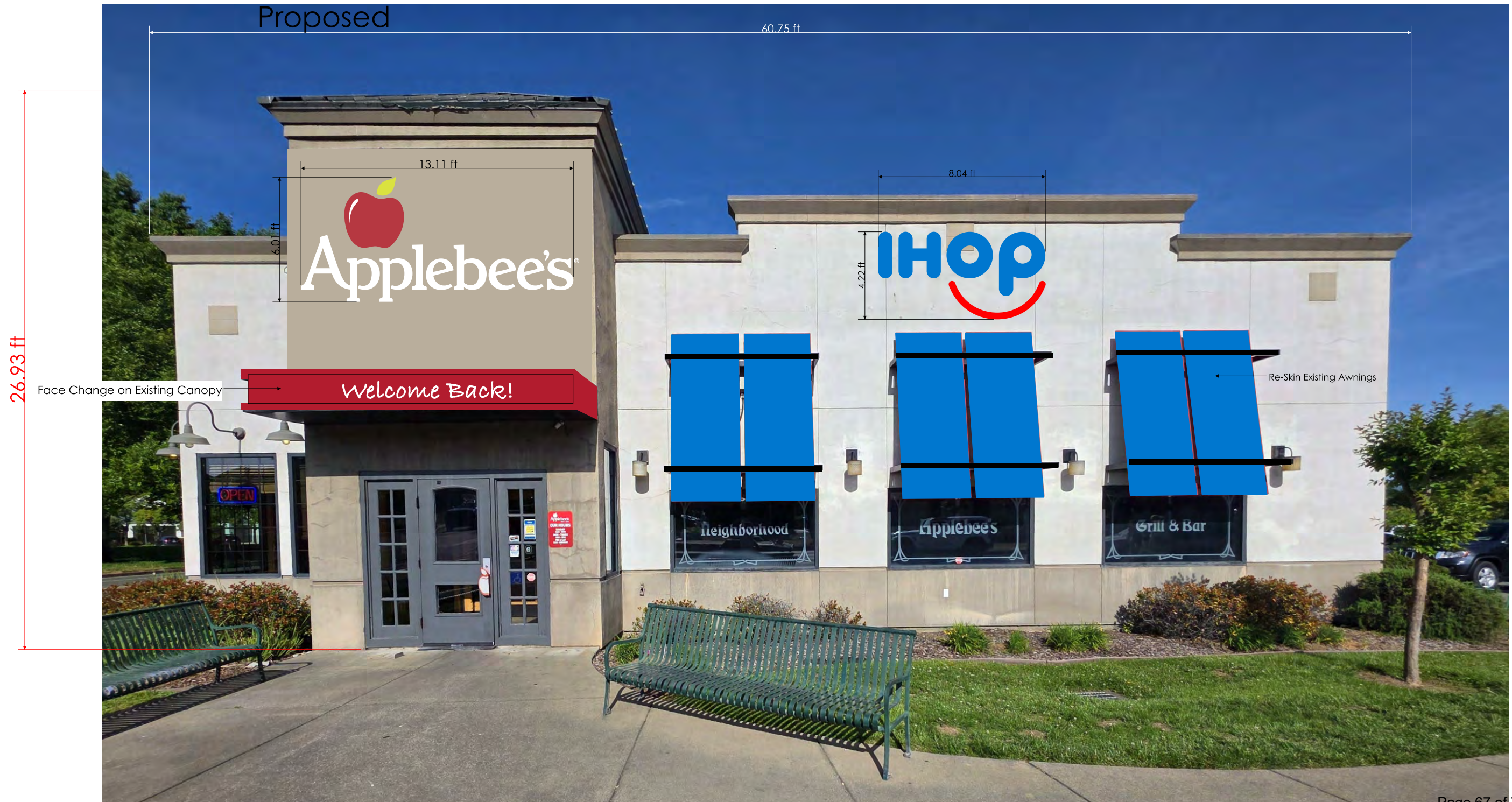


PLOT PLAN





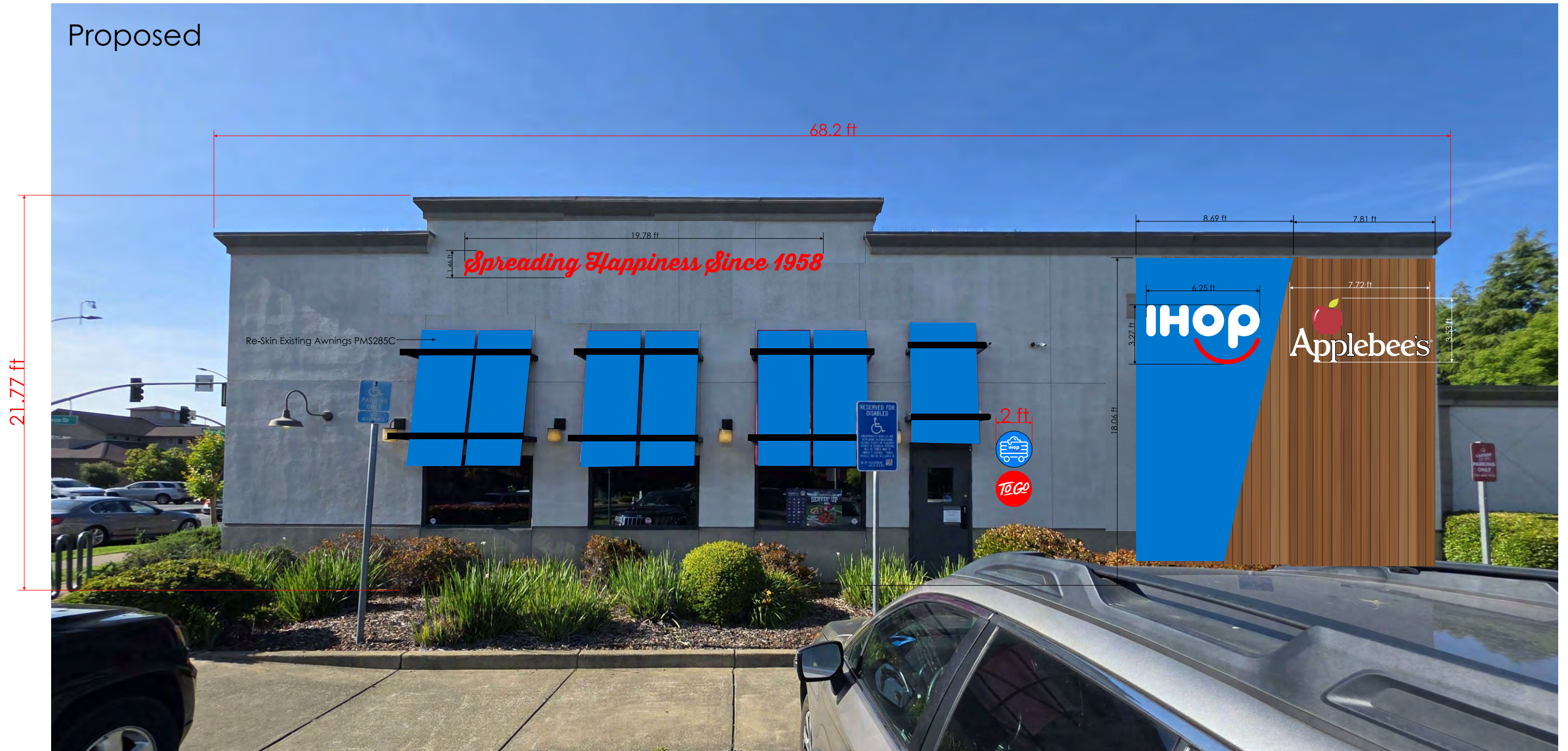
Existing

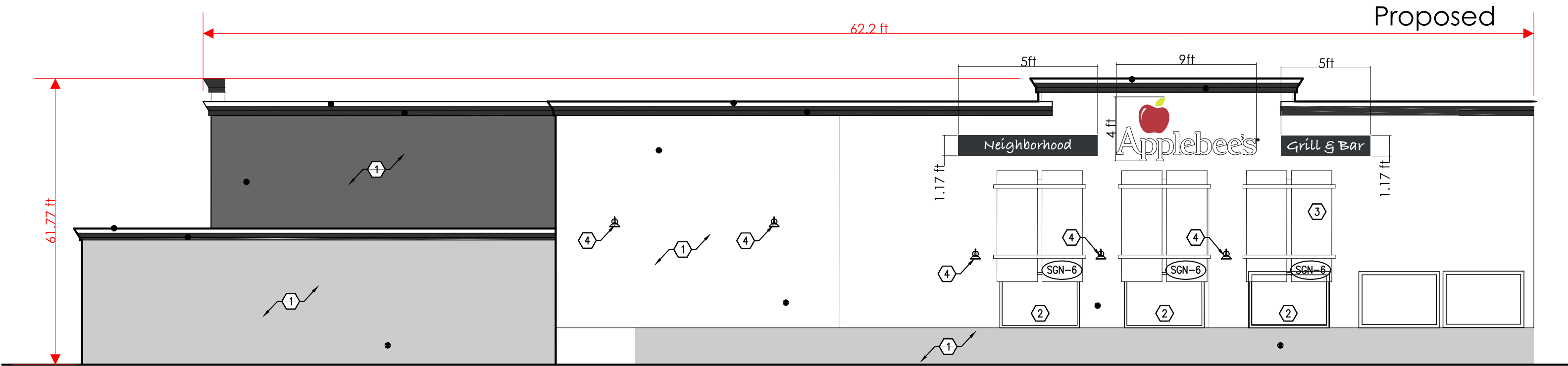


Existing



Proposed





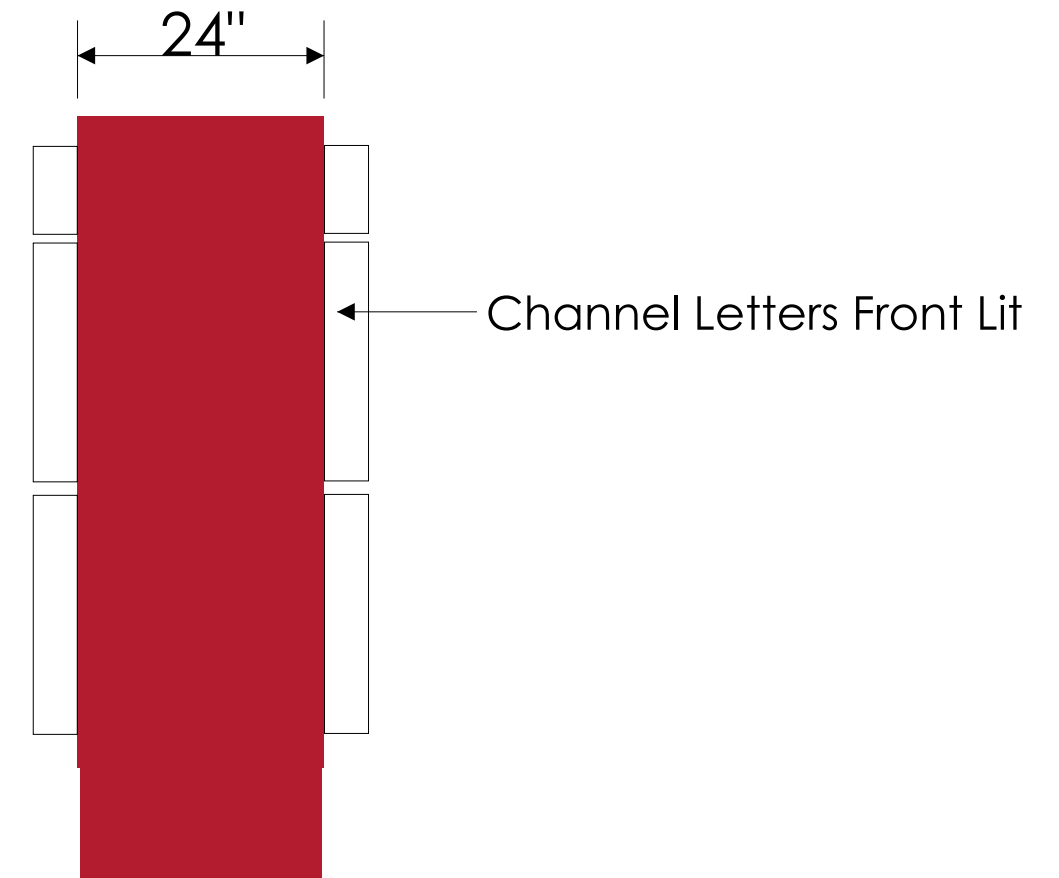
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Right Side Specs



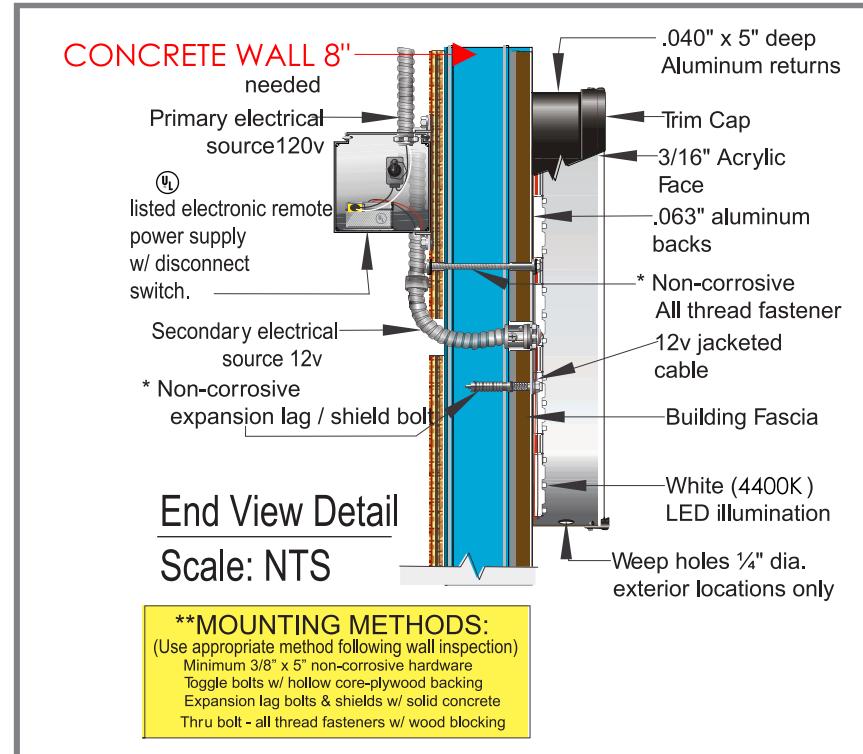
FABRICATED AND INSTALL ONE (1) SET OF HALO ILLUMINATED IHOP LETTERS.

THE FIELD ASSEMBLY OF THIS SECTIONAL SIGN IS SUBJECT TO THE ACCEPTANCE OF THE LOCAL INSPECTION AUTHORITY

THIS SIGN IS INENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHERS APPLICABLE LOCAL CODES.

**THIS INCLUDE PROPER GROUNDING AND BONDING OF THE SIGN.

LETTERS - TO BE ALUMINUM CONSTRUCTION WHITH 5" RETURN ILLIMINATION - WHITE LED



COLOR LEGEND		
	PMS/PAIN	VINYL
	PMS 187C	
	PMS WHITE	3M 3630-70

COLOR LEGEND		
	PMS/PAIN	VINYL
	PMS 285 C	3M 3630-8246
	PMS 1795C	3M 3630-143
	PMS WHITE	3M 3630-70

SPECIFICATIONS:

Colors will be some red and blue

3M 3630-8246 BLUE
3M 3630-143 RED

MAX LOAD: 120v / 2.2amps DEDICATED 20 AMP CIRCUIT REQUIRED

MOUNTED TO THE WALL

24 HOUR PROGRAMMABLE TIMER installed to comply with the COT outdoor lighting code.

All signs and power supply components are UL listed.

All signs shall have UL sticker, manufacturer sticker & installer sticker, located on the exterior of the sign.

All dedicated sign circuits shall be labeled.

A safety lock out shall be provided for all signs where the shut off switch is not directly visible to the sign.

SIGN TO BE U.L. LISTED AND SHALL MEET N.E.C. STANDARDS

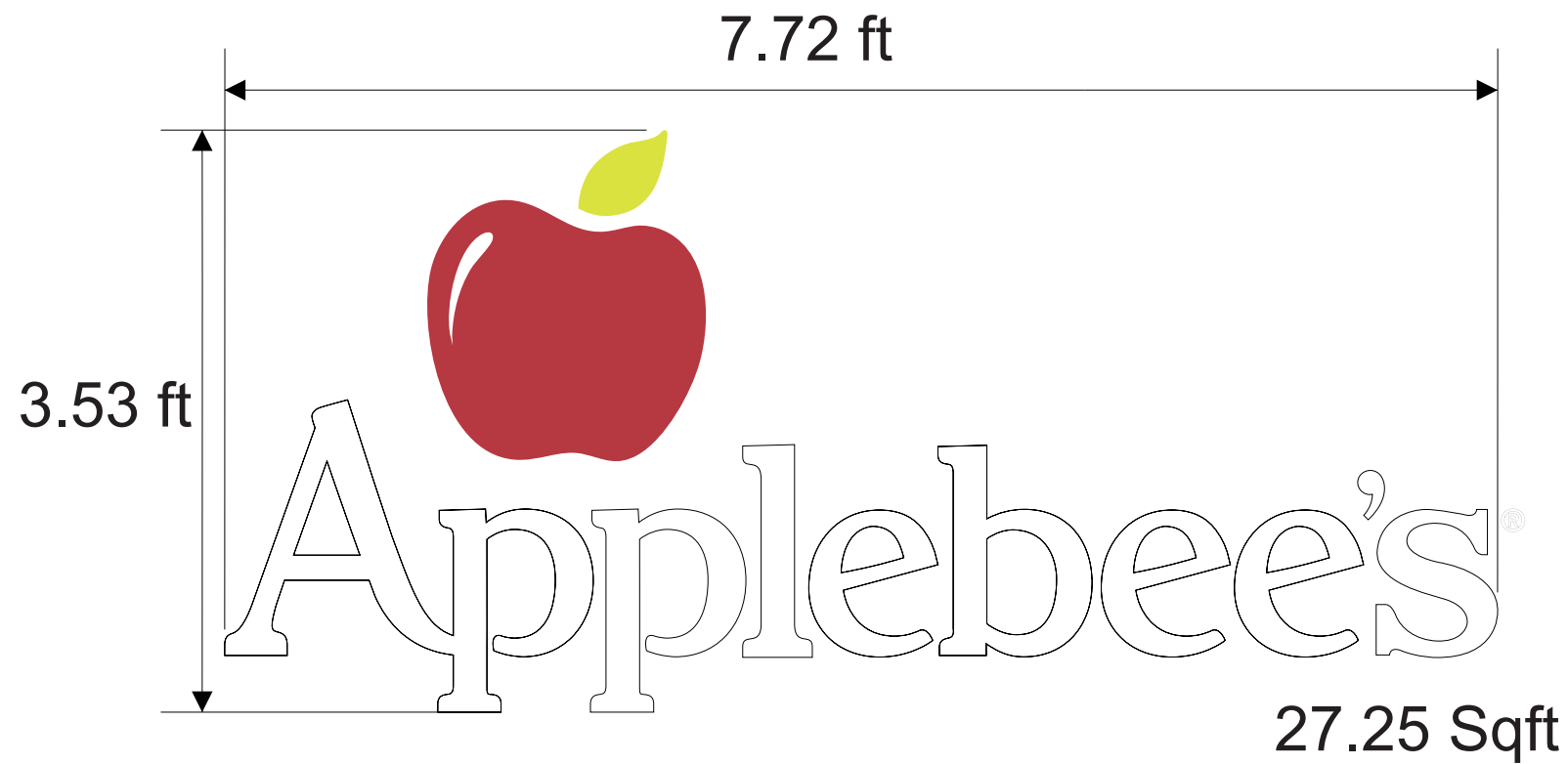
Underwriters Laboratories Inc. LISTED **ELECTRIC SIGN**

ALL ELECTRICAL COMPONENTS TO BE U.L. LISTED, APPROVED AND MARKED PER N.E.C. 600-4. ALL TO BE ELECTRICALLY GROUNDED PER N.E.C. 250. ALL POWER SUPPLIES TO BE FUSED PER U. L. 48, 28.2.1 GROUNDING AND BONDING PER N.E.C. 250-90, -92, -94, -96.

SIGN TO MEET N.E.C. AND U. L. 48 STANDARDS FOR ELECTRICAL SIGNS. GROUNDING & BONDING AS PER N.E.C. 250-90 & NEC 600-7

PRIMARIES AND FINAL CONNECTION TO SIGN BY: CERTIFIED ELECTRICIAN

Right Side Specs



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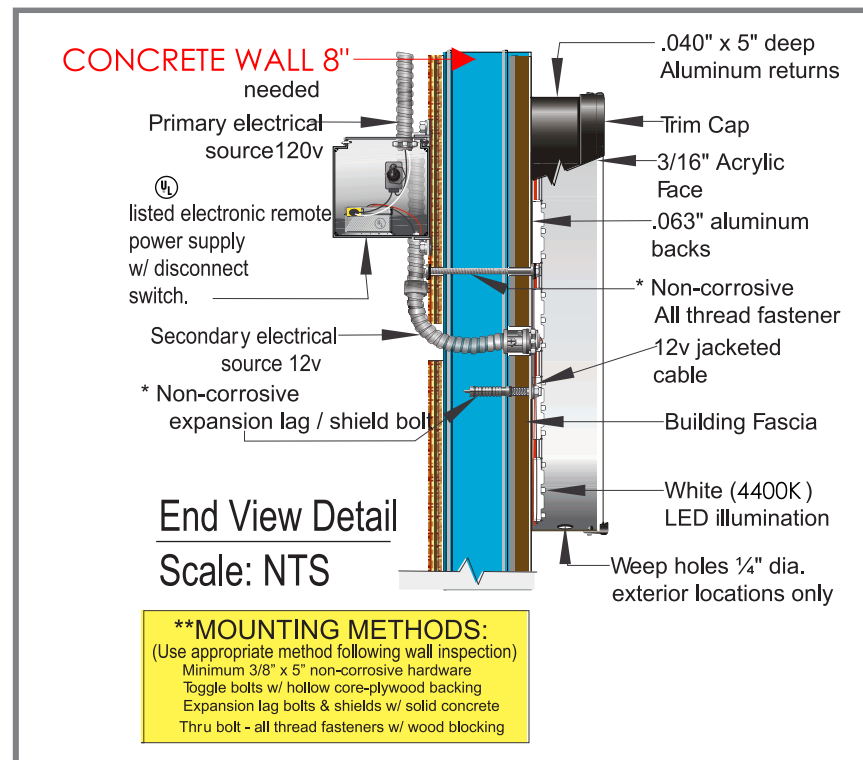
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PMS 187C	
PMS WHITE	3M 3630-70

COLOR LEGEND	
PMS/PAINT	VINYL
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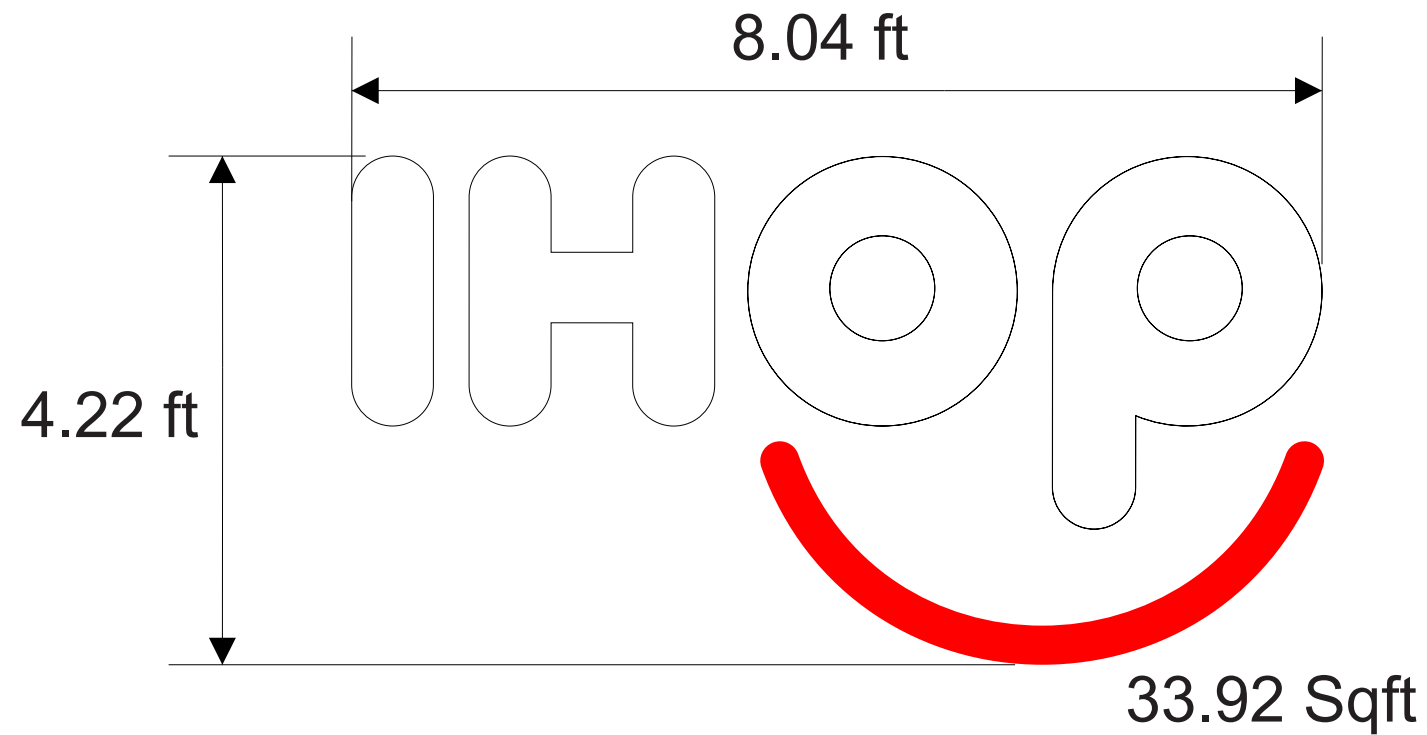
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PRIMARIES AND FINAL CONNECTION TO SIGN BY: CERTIFIED ELECTRICIAN

MAX LOAD: 120v / 2.2amps DEDICATED 20 AMP CIRCUIT REQUIRED



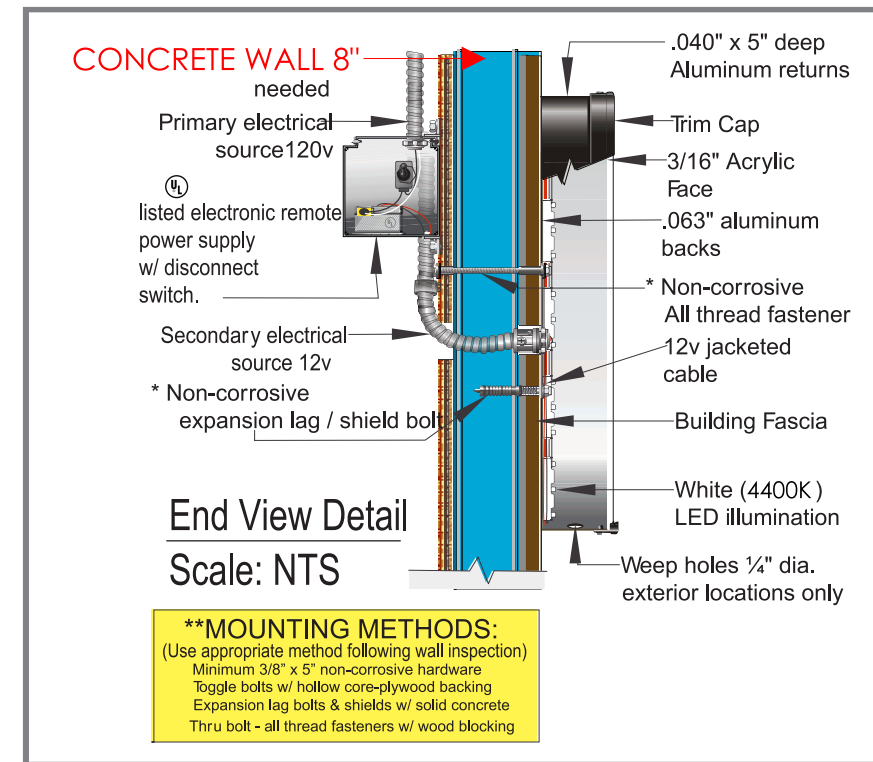
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LETTERS - TO BE ALUMINUM CONSTRUCTION WHITH 5" RETURN ILLIMINATION - WHITE LED



MAX LOAD: 120v / 2.2amps

DEDICATED 20 AMP CIRCUIT REQUIRED

MOUNTED TO THE WALL

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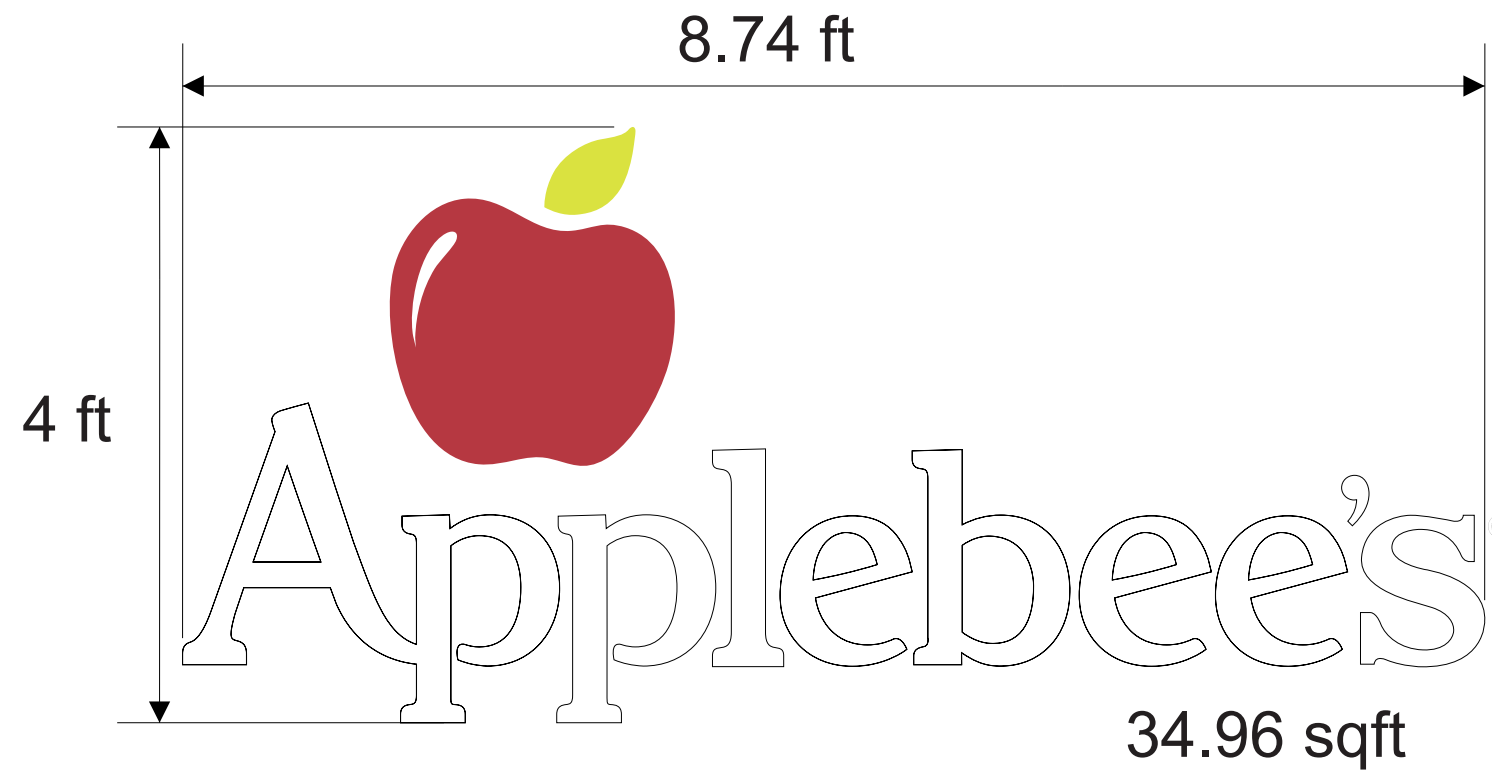
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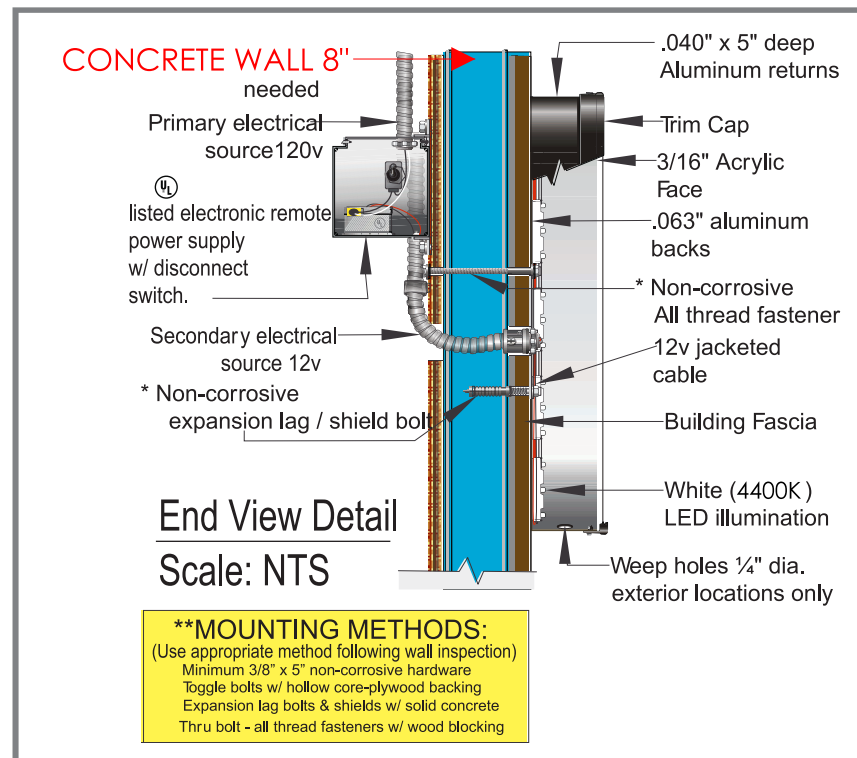
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****MOUNTING METHODS:**
(Use appropriate method following wall inspection)
Minimum 3/8" x 5" non-corrosive hardware
Toggle bolts w/ hollow core-plywood backing
Expansion lag bolts & shields w/ solid concrete
Thru bolt - all thread fasteners w/ wood blocking

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	PMS 187C	
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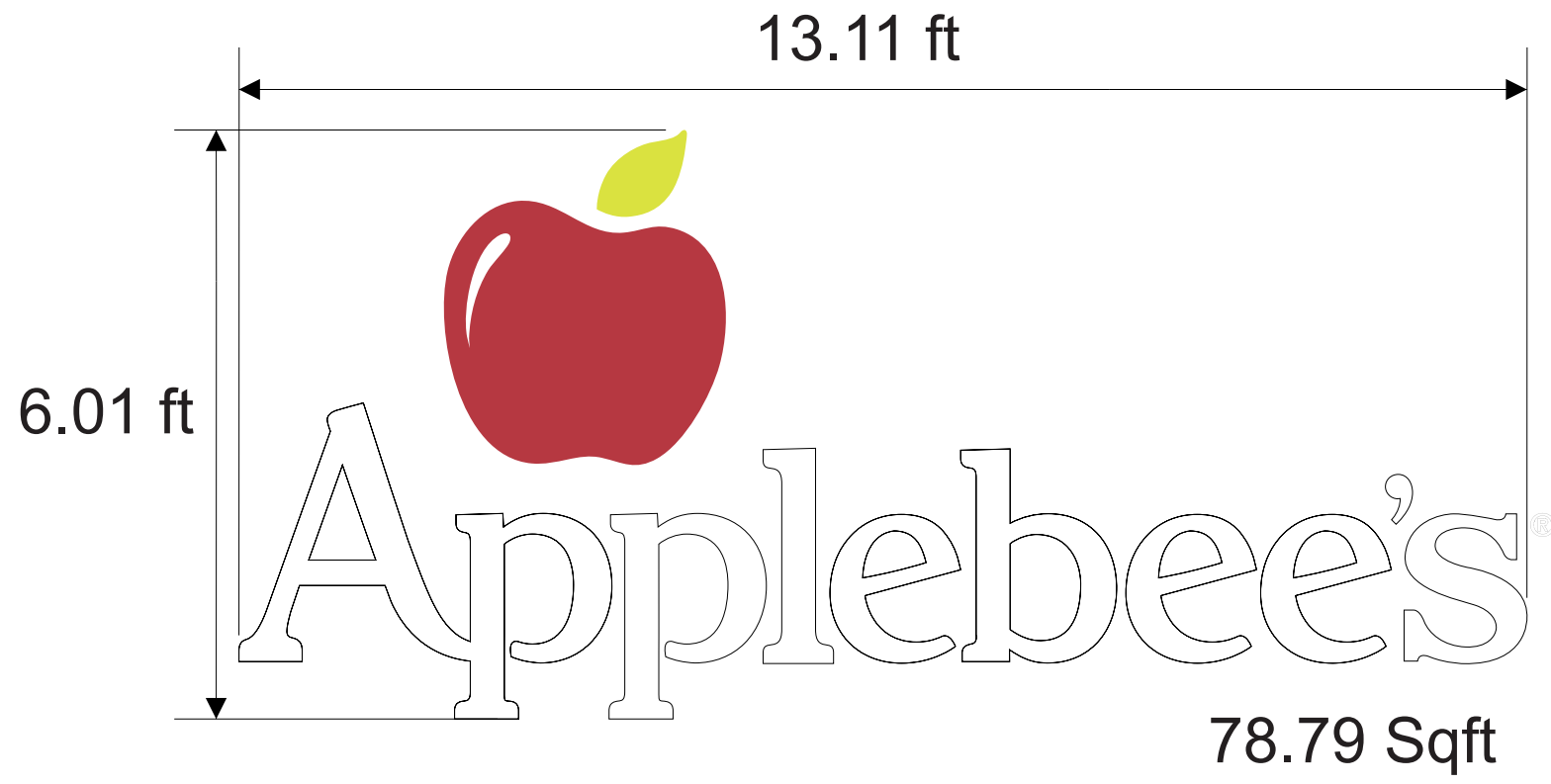
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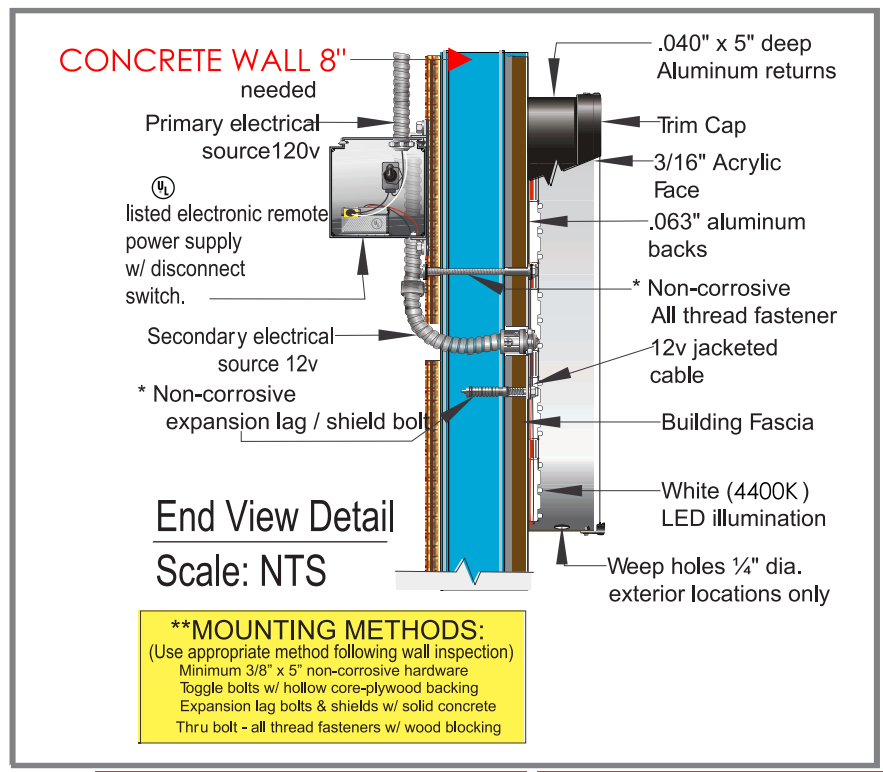
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LETTERS - TO BE ALUMINUM CONSTRUCTION WHITH 5" RETURN ILLIMINATION - WHITE LED

MOUNTED TO THE WALL

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SPECIFICATIONS:

Colors will be some red and blue

3M 3630-8246 BLUE
 3M 3630-143 RED

SIGN TO BE U.L. LISTED AND SHALL MEET N.E.C. STANDARDS

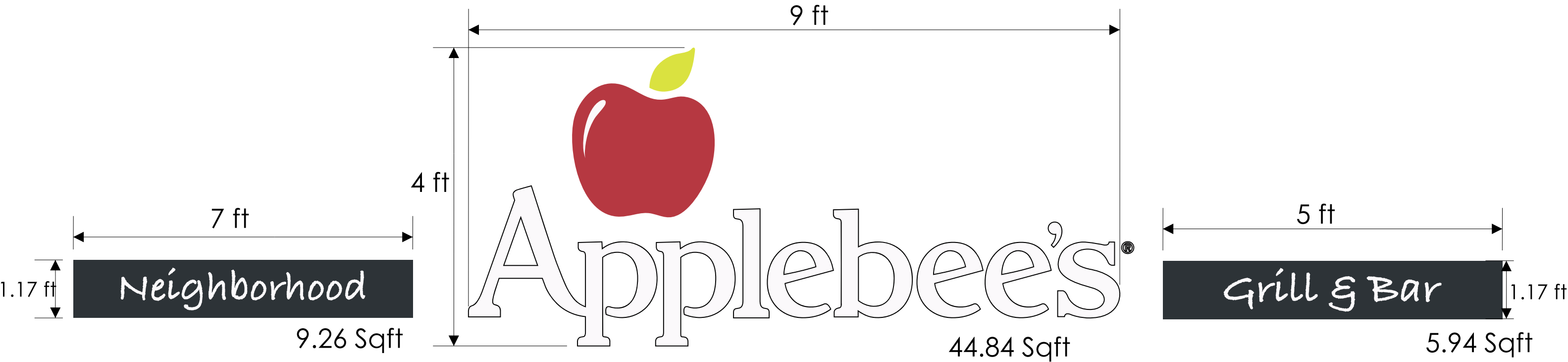
UL Underwriters Laboratories Inc. LISTED ELECTRIC SIGN

ALL ELECTRICAL COMPONENTS TO BE U.L. LISTED, APPROVED AND MARKED PER N.E.C. 600-4. ALL TO BE ELECTRICALLY GROUNDED PER N.E.C. 250. ALL POWER SUPPLIES TO BE FUSED PER U. L. 48, 28.2.1 GROUNDING AND BONDING PER N.E.C. 250-90, -92, -94, -96.

SIGN TO MEET N.E.C. AND U. L. 48 STANDARDS FOR ELECTRICAL SIGNS. GROUNDING & BONDING AS PER N.E.C. 250-90 & NEC 600-7

PRIMARIES AND FINAL CONNECTION TO SIGN BY: CERTIFIED ELECTRICIAN

MAX LOAD: 120v /2.2amps DEDICATED 20 AMP CIRCUIT REQUIRED



FABRICATED AND INSTALL ONE (1) SET OF HALO ILLUMINATED IHOP LETTERS.

LETTERS - TO BE ALUMINUM CONSTRUCTION WITH 5" RETURN ILLUMINATION - WHITE LED

MOUNTED TO THE WALL

24 HOUR PROGRAMMABLE TIMER installed to comply with the COT outdoor lighting code.

All signs and power supply components are UL listed.

All signs shall have UL sticker, manufacturer sticker & installer sticker, located on the exterior of the sign.

All dedicated sign circuits shall be labeled.

A safety lock out shall be provided for all signs where the shut off switch is not directly visible to the sign.

SIGN TO BE U.L. LISTED AND SHALL MEET N.E.C. STANDARDS

UL Underwriters Laboratories Inc. LISTED ELECTRIC SIGN

ALL ELECTRICAL COMPONENTS TO BE U.L. LISTED, APPROVED AND MARKED PER N.E.C. 600-4. ALL TO BE ELECTRICALLY GROUNDED PER N.E.C. 250. ALL POWER SUPPLIES TO BE FUSED PER U. L. 48, 28.2.1 GROUNDING AND BONDING PER N.E.C. 250-90, -92, -94, -96.

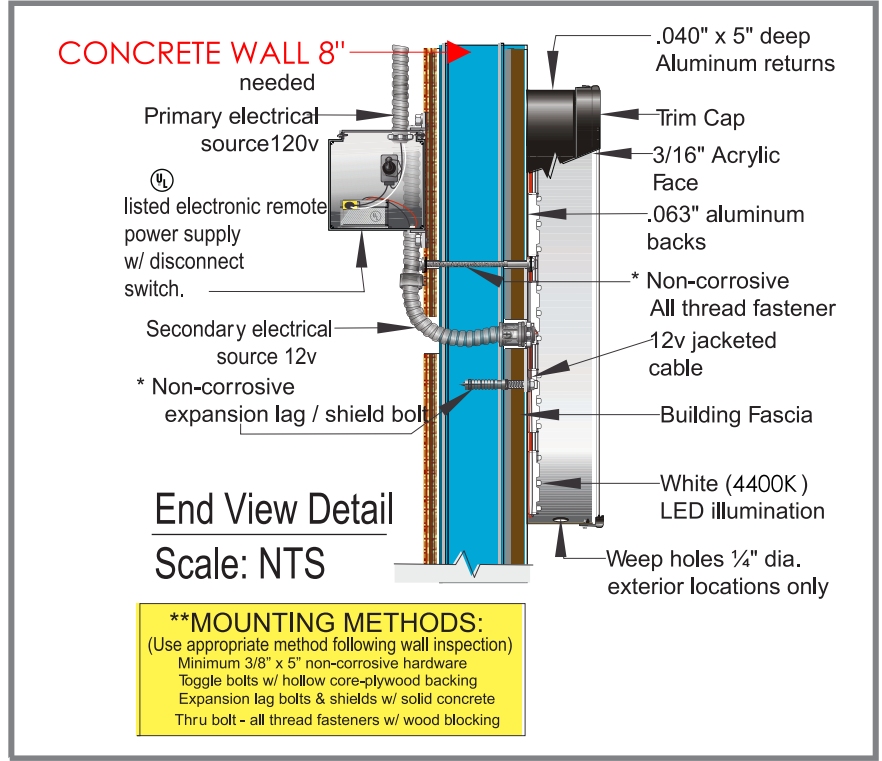
SIGN TO MEET N.E.C. AND U. L. 48 STANDARDS FOR ELECTRICAL SIGNS. GROUNDING & BONDING AS PER N.E.C. 250-90 & NEC 600-7

PRIMARIES AND FINAL CONNECTION TO SIGN BY: CERTIFIED ELECTRICIAN

THE FIELD ASSEMBLY OF THIS SECTIONAL SIGN IS SUBJECT TO THE ACCEPTANCE OF THE LOCAL INSPECTION AUTHORITY

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHERS APPLICABLE LOCAL CODES.

**THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



MAX LOAD: 120v / 2.2amps DEDICATED 20 AMP CIRCUIT REQUIRED

COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 187C	
	PMS WHITE	3M 3630-70

COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 285 C	3M 3630-8246
	PMS 1795C	3M 3630-143
	PMS WHITE	3M 3630-70

SPECIFICATIONS:

Colors will be some red and blue

3M 3630-8246 BLUE
3M 3630-143 RED

Exterior Facade Tagline



FABRICATED AND INSTALL ONE (1) SET OF HALO ILLUMINATED IHOP LETTERS.

LETTERS - TO BE ALUMINUM CONSTRUCTION WITH 5" RETURN ILLUMINATION - WHITE LED

MOUNTED TO THE WALL

24 HOUR PROGRAMMABLE TIMER installed to comply with the COT outdoor lighting code.

All signs and power supply components are UL listed.

All signs shall have UL sticker, manufacturer sticker & installer sticker, located on the exterior of the sign.

All dedicated sign circuits shall be labeled.

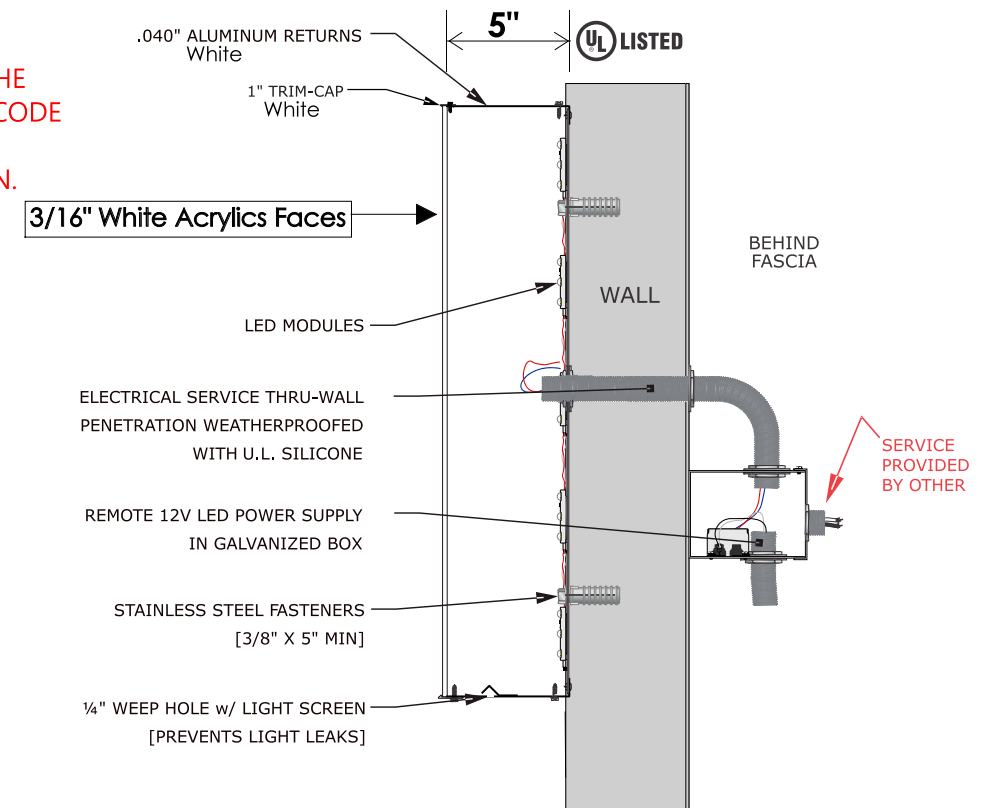
A safety lock out shall be provided for all signs where the shut off switch is not directly visible to the sign.

<p>SIGN TO BE U.L. LISTED AND SHALL MEET N.E.C. STANDARDS</p> <p>Underwriters Laboratories Inc. LISTED</p> <p>ELECTRIC SIGN</p> <p><small>PRIMARIES AND FINAL CONNECTION TO SIGN BY: CERTIFIED ELECTRICIAN</small></p>	<p>ALL ELECTRICAL COMPONENTS TO BE U.L. LISTED, APPROVED AND MARKED PER N.E.C. 600-4. ALL TO BE ELECTRICALLY GROUNDED PER N.E.C. 250. ALL POWER SUPPLIES TO BE FUSED PER U. L. 48, 28.2.1 GROUNDING AND BONDING PER N.E.C. 250-90, -92, -94, -96.</p>
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**THIS INCLUDE PROPER GROUNDING AND BONDING OF THE SIGN.



COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 1795C	3M 3630-143
	PMS WHITE	3M 3630-70

SPECIFICATIONS:

Colors will be some red and blue

- 3M 3630-8246 BLUE
- 3M 3630-143 RED

MAX LOAD: 120v / 2.2amps **DEDICATED 20 AMP CIRCUIT REQUIRED**