



Zoning Administrator

Regular Meeting **AGENDA**

Civic Center ♦ 300 Seminary Avenue, Conf. Rm. #3 ♦ Ukiah, CA 95482

To participate virtually, go to the following link: <https://us06web.zoom.us/j/83953823703>

**One tap mobile
+16694449171,,83953823703# US
+13462487799,,83953823703# US (Houston)**

**Meeting ID: 839 5382 3703
Find your local number: <https://us06web.zoom.us/j/83953823703>**

October 2, 2025 - 3:00 PM

1. CALL TO ORDER

2. VERIFICATION OF NOTICE

3. APPEAL PROCESS

All determinations of the Zoning Administrator regarding minor discretionary planning permits are final unless a written appeal, stating the reasons for the appeal, is filed with the City Clerk within ten (10) days of the date the decision was made. An interested party may appeal only if he or she appeared and stated his or her position during the hearing on the decision from which the appeal is taken. For items on this agenda, the appeal must be received by October 12, 2025 at 5:00 PM.

4. COMMENTS FROM AUDIENCE ON NON-AGENDA ITEMS

The Zoning Administrator (ZA) welcomes input from the audience that is within the subject matter jurisdiction of the ZA. In order for everyone to be heard, please limit your comments to three (3) minutes per person and not more than ten (10) minutes per subject. The Brown Act regulations do not allow action to be taken on audience comments.

5. APPROVAL OF MINUTES

5.a. Approval of the May 27, 2025, Zoning Administrator Meeting Minutes

Recommended Action: Staff Recommends Review & Approval of the May 27, 2025, Zoning Administrator Meeting Minutes

Attachments:

1. ZAM_05.27.25_Draft Minutes

6. SITE VISIT VERIFICATION

7. PUBLIC HEARING

- 7.a. Consideration of a Minor Site Development Permit for a Remodel at 1201 Airport Park Boulevard (APN 180-080-41), Including Interior and Exterior Updates Within the Existing Building Footprint and Use of Previously Approved Signage for Continued Restaurant Use. File No. 25-000969; Permit No. PA25-000015.

Recommended Action: Staff recommends that the City of Ukiah Zoning Administrator: 1) Conduct a public hearing; and 2) Approve the Minor Site Development Permit to remodel an existing commercial structure at 1201 Airport Park Boulevard (APN 180-080-41), in accordance with Ukiah City Code (UCC) §9261(b) based on the Findings in Attachment 1 and subject to the Conditions of Approval in Attachment 2.

Attachments:

1. Draft Findings
2. Draft Conditions of Approval
3. Application Materials
4. Agency Comments

8. ADJOURNMENT

Please be advised that the City needs to be notified 72 hours in advance of a meeting if any specific accommodations or interpreter services are needed in order for you to attend. The City complies with ADA requirements and will attempt to reasonably accommodate individuals with disabilities upon request. I hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda was posted on the bulletin board at the main entrance of the City of Ukiah City Hall, located at 300 Seminary Avenue, Ukiah, California, not less than 24 hours prior to the meeting set forth on this agenda.

Katherine Schaefer 9.26.25



**CITY OF UKIAH
ZONING ADMINISTRATOR MEETING MINUTES
Meeting Held in Person and Via Teleconference
May 20, 2025, at 11 A.M.
Continued to May 27, 2025, at 10 A.M.**

STAFF & PUBLIC PRESENT

Craig Schlatter, AICP: Zoning Administrator
Jesse Davis, AICP: Chief Planning Manager (Virtual)
Katherine Schaefer: Planning Manager
N. Leveille (Virtual)
Patrick Parks (In-Person)

1. CALL TO ORDER

On May 20, 2025, the meeting was called to order on May 20, 2025, at 11:00 a.m. by Zoning Administrator Craig Schlatter, AICP, presiding.

The public hearing was continued to a date and time certain, and the meeting was reconvened on May 27, 2025, at 10:00 a.m., at the Ukiah Civic Center, Conference Room 3.

2. VERIFICATION OF NOTICE

Staff verified proper notice of the meeting

3. APPEAL PROCESS

Staff reviewed the appeal process.

4. COMMENTS FROM AUDIENCE ON NON-AGENDA ITEMS

No Comments from Audience.

5. APPROVAL OF MINUTES

The Zoning Administrator reviewed and approved April 15, 2024 - Zoning Administrator Meeting Minutes as submitted.

6. SITE VISIT VERIFICATION

The Zoning Administrator noted that he was able to sufficiently access the project site at 1317 West Clay Street, Ukiah, CA (APN 001-242-02).

7. PUBLIC HEARING

Consideration of a Minor Variance to Allow for a Side Setback Reduction from 5 ft to 3 ft at 1317 W. Clay St. (APN 001-242-02); File No. 25-000323; Permit No. PA25-000009.

May 20, 2025 Session:

Planning Manager Katherine Schaefer presented the staff report.

The Zoning Administrator asked questions and received responses from Staff.

The public hearing was opened at 11:17 a.m.

Public comment was received from Patrick Parks, who responded to questions related to the project.

The public hearing was closed at 11:19 a.m.

The Zoning Administrator directed Staff to revise the draft findings and continued the public hearing to a date and time certain of Tuesday, May 27, 2025, at 10:00 a.m., to be held in person at the Ukiah Civic Center, Conference Room 3. The continuation was to allow additional time for staff to prepare and present revised findings in support of the requested Minor Variance.

May 27, 2025 Continued Session:

Planning Manager Katherine Schaefer presented the revised draft findings.

The Zoning Administrator asked questions and received responses from Staff.

The public hearing was re-opened at 10:18 a.m.

Public comment was received again from Patrick Parks.

The public hearing was closed at 10:19 a.m.

The Zoning Administrator approved the Minor Variance to Allow for a Side Setback Reduction from 5 ft to 3 ft at 1317 W. Clay St. (APN 001-242-02); File No. 25-000323; Permit No. PA25-000009

8. ADJOURNMENT

There being no further business, the meeting was recessed at 11:24 a.m. on May 20, 2025, and adjourned at 10:21 a.m. on May 27, 2025.

TO: Zoning Administrator, Craig Schlatter AICP

FROM: Katherine Schaefers, Planning Manager

DATE: October 2, 2025

SUBJECT: Consideration of a Minor Site Development Permit for a Remodel at 1201 Airport Park Boulevard (APN 180-080-41), Including Interior and Exterior Updates Within the Existing Building Footprint and Use of Previously Approved Signage for Continued Restaurant Use. File No. 25-000969; Permit No. PA25-000015.

I. PROJECT SUMMARY

Project Description:

On August 18, 2025, the City of Ukiah received an application from Rodeo Builders (Peyman Kohanbash) for a proposed remodel at 1201 Airport Park Boulevard. The project introduces a dual-branded restaurant concept that would incorporate an IHOP into the existing Applebee's.

The applicant is proposing a minor remodel with no changes to the building's footprint or seating layout. The planned updates are primarily cosmetic and include:

- Additional signage for IHOP branding, specifically adding a new can to the monument sign.
- No structural work proposed.
- New flooring finish.
- New paint and artwork.
- New furniture, including booths, tables, and chairs.
- New interior light fixtures (utilizing existing J-box connection).
- New exterior awning colors.
- New exterior paint.
- An ADA Survey (to be conducted by the owner) for phase or immediate compliance.
- Extension of the bar die wall and top.
- Reconfiguration of existing kitchen equipment, with the existing hood remaining.
- An ADA Survey is proposed, with plans for compliance with recommendations

Project Background:

The project site is currently developed with an existing 164-seat Applebee's restaurant, originally constructed and approved under Major Use Permit No. 01-04 on May 23, 2001. Subsequently, the structure received approval from the City of Ukiah Zoning Administrator on October 20, 2011, for a Minor Site Development Permit (File No. 11-15-SDP-ZA) to allow exterior modifications including new signage and new awnings.

Project Location:

The ±0.95-acre project site (APN 180-080-41) is located at 1201 Airport Park Boulevard, situated at the corner of Airport Park Boulevard and Commerce Drive within the Airport

Industrial Park Planned Development (AIP-PD), specifically within the Retail Commercial designation. The site is positioned in a well-established commercial area characterized by a mix of retail, restaurant, and visitor-serving businesses. Adjacent commercial enterprises include the Furniture Design Center, Michaels, and Staples. To the north, across Commerce Drive, lies Walmart, while Starbucks and other commercial establishments are located to the west, across Airport Park Boulevard (see Table 1 below).

TABLE 1: SURROUNDING USES AND ZONING		
Direction	Zoning	Use
North	PD-Commercial	Commerce Drive, Walmart
East	PD-Commercial	Parking Lot, Furniture Design Center, Michales, Staples
South	PD-Commercial	Parking Lot
West	PD-Commercial	Airport Park Blvd., Starbucks, Check into Cash

II. PROJECT ANALYSIS

The proposed Minor Site Development Permit for the remodel is evaluated within the planning framework established by the Ukiah 2040 General Plan, the Ukiah City Code (UCC), the Airport Industrial Park Planned Development (AIP-PD), the Ukiah Municipal Airport Land Use Compatibility Plan (UKIALUCP), and the 1992 Design Guidelines applicable to projects outside of the Downtown Design District.

Ukiah 2040 General Plan Consistency:

The project site is designated as Mixed Use: AIP-PD in the Ukiah 2040 General Plan and is located within the Retail Commercial designation. Policy LU-4.1 of the General Plan encourages distinctive, high-quality commercial building design and site planning that reflect the character of Ukiah.

The proposed remodel of an existing restaurant is consistent with the Retail Commercial designation, which permits restaurant uses subject to a Use Permit. While the project is limited to cosmetic improvements, the updated design enhances the visual character of the site through refreshed architectural elements (via new paint color) and coordinated signage. These improvements contribute to a higher standard of commercial design and support Policy LU-4.1 by reinforcing the aesthetic quality and identity of the area in a manner that reflects the character of Ukiah.

Ukiah City Code (UCC) Consistency:

Pursuant to UCC §9261(B) and §9261(D)(4), a Minor Site Development Permit was determined as the appropriate level of review for the proposed project. Given that the remodel primarily consists of interior and exterior cosmetic updates within the existing building envelope and does not involve significant structural changes or an expansion of the building's size, it falls under the purview of a "minor" site modification. Attachment 1 shows the specific findings that are required for Site Development Permit approval, along with staff consistency analysis pursuant to UCC §9263(D).

Development standards not specifically addressed by the AIP-PD regulations defer to the provisions outlined in Chapter 2 (Zoning), Division 9 of the Ukiah City Code. This includes general requirements for signage and parking. The proposed signage, as preliminarily analyzed below and conditioned in Attachment 2, complies with both the Ukiah City Code and the AIP-PD standards.

Airport Industrial Park Planned Development (AIP-PD) Consistency:

The Airport Industrial Park Planned Development (AIP-PD), adopted in 2021, establishes the regulatory framework for land use, development standards, and design guidelines within the Airport Industrial Park. The subject site is located within the Retail Commercial designation of the AIP-PD, which encompasses approximately 52.3 acres located south of Commerce Drive, bounded by Airport Park Boulevard to the west and Highway 101 to the east. The proposed project is evaluated below for consistency with the applicable provisions of the AIP-PD and remains in conformance with its intended land use and development standards.

Land Use

The property's designation as Retail Commercial allows for restaurant uses subject to a Use Permit. The proposed project involves a cosmetic renovation to an existing building for the continued operation of a restaurant, which is consistent with the permitted land use under this designation. No change in use is proposed, and the project remains in alignment with the intent of the zoning and General Plan policies applicable to the site.

Architectural Design

Buildings located along Airport Park Boulevard are subject to elevated design and site planning standards due to their high visibility from the public right-of-way. Architectural facades must be designed to reduce the appearance of height, bulk, and mass, with all four elevations incorporating appropriate architectural elements in a reasonable and feasible manner. The AIP-PD zoning standards require that dominant building colors be subdued, earth-toned, and compatible with surrounding structures, and explicitly prohibit the use of strong or loud colors as primary building hues. Exterior modifications to existing buildings must be designed to complement and harmonize with both the original structure and the surrounding development context. The applicant's proposed exterior façade and sign plan reflect a predominantly neutral color palette, with brand-specific accent colors, as discussed further under the 'Design Guidelines Consistency' subsection.

Signage

The proposed signage is generally consistent with the requirements of the Ukiah City Code. All signs must utilize colors, materials, and lighting that are restrained and visually harmonious with the building architecture and overall site design. A preliminary review indicates that the proposed signage, including the monument sign, conforms to the Ukiah City Code. The total proposed sign area is approximately 346.46 square feet, which includes both new and existing signage. Signage on the Airport Park Boulevard frontage totals less than 135 square feet, while signage on the Commerce Drive frontage amounts to approximately 48 square feet, not including any minor window signage.

According to the AIP-PD zoning regulations, which defer to the Ukiah City Code for signage standards, the subject parcel is permitted up to 454 square feet of signage on the Airport Park Boulevard frontage and 164.01 square feet on the Commerce Drive frontage, with a maximum combined total of 500 square feet for the site. A condition of approval has been added requiring submission and approval of a finalized sign plan prior to the issuance of any building permit for signage.

The monument sign will retain its existing size of 62.32 square feet and will be updated to feature a combination Applebee's/IHOP logo.

Landscaping, Parking and Access, Outdoor Storage and Service Areas and Pedestrian Access
Landscaping, parking and access, outdoor storage and service areas, and pedestrian access were previously reviewed and found to be in conformance under the 2011 Site Development Approval and the 2001 Use Permit Approval. No modifications to these elements are proposed as part of the current remodel. These features will remain consistent with the previously approved plans and conditions.

Lighting

Exterior lighting within the AIP-PD must be subdued, low wattage, and designed to enhance building aesthetics while providing adequate safety and security. Lighting is prohibited from spilling onto adjacent properties, causing glare, or being directed toward the night sky. The use of tall lighting fixtures for large areas is not permitted. The project proposes new interior light fixtures and illuminated elements on some exterior signage. Finalized signage and lighting details will be reviewed during the building permit process to ensure compliance with AIP-PD standards and applicable electrical regulations.

Ukiah Municipal Airport Land Use Compatibility Plan (UKIALUCP) consistency:

Regarding consistency with the Ukiah Municipal Airport Land Use Compatibility Plan (UKIALUCP), the proposed reuse of the existing structure aligns with the plan's guidelines. The subject parcel is located within Compatibility Zone 6 (Traffic Pattern), which experiences the lowest levels of airport-related impacts, primarily overflight annoyance and potential aircraft operation hazards. Zone 6 permits most urban development and commercial uses, provided they are not highly sensitive to noise or involve large outdoor gatherings. The reuse of the building is considered 'Normally Compatible' under UKIALUCP, subject to meeting intended criteria. This zone allows a maximum single-acre intensity of 1,200 people per acre.

Design Guidelines Consistency:

The City of Ukiah adopted Design Guidelines in 1992 to bridge the goals of the General Plan and the requirements of the Zoning Code. These guidelines apply to all commercial developments outside the Downtown Design District and are intended to implement the Community Design Element goals and policies by providing criteria that enhance community character and overall visual appeal. The proposed remodel for continued restaurant use, which seeks to create a cohesive design integrating each brand's colors and branding elements, is evaluated in light of these objectives to achieve high-quality design.

The guidelines specify that dominant building colors must be subdued and earth-toned; strong or loud colors are prohibited as primary hues. The proposed exterior paint and awning colors comply with this standard. The applicant's exterior facade and sign plan feature a predominantly neutral color palette, including Sherwin Williams' "Snowbound" and "Rare Gray," accented with brand-specific blue and red. The awnings will be re-skinned from "Applebee's Red" to "IHOP Blue." These colors are consistent with and complementary to the exterior colors of surrounding properties, such as the adjacent Walmart and Staples.

Checklist

The Design Guidelines for projects outside the Downtown Design District are evaluated in their entirety for conformance using the associated Project Review Checklist below. Items marked

as N/A indicate features that are not proposed for change with this application and were previously reviewed for conformance under prior project approvals.

TABLE 2			
COMMERCIAL PROJECTS OUTSIDE DOWNTOWN DESIGN DISTRICT			
Yes	No	N/A	
		X	Site Features: Site design is compatible with the natural environment, and incorporates the major existing features (<i>trees, landscaping, city creeks, riparian habitat, lot shape, size, relationship to surrounding area</i>).
		X	Coordination: Facilities are shared and coordinated with adjacent properties.
		X	Coordination: Setbacks are compatible with character of adjacent frontages.
		X	Coordination: Setbacks are minimized to enhance the pedestrian environment.
		X	Pedestrian Access: Site has pedestrian orientation, consistent with uses, design, and architecture.
		X	Pedestrian Access: Pedestrian elements are attractive and functional (<i>walkways link parking to building entrances and other walkways; planters, street furniture, outdoor seating, pedestrian oriented signs, low level lighting provided</i>).
		X	Pedestrian access: Parking areas with 12 or more stalls: defined sidewalk or marked pedestrian facilities in landscaped areas or separated from traffic lanes required.
		X	Parking lots: Decrease visual prominence and reduce heat island effect (<i>locate behind buildings, divide into smaller lots, avoid large unbroken expanses of paving; emphasize screening, shading, landscaping</i>).
		X	Landscaping: Scale and nature of landscape materials is appropriate to the site and structures.
		X	Landscaping: 20% of gross lot area landscaped / 50% live plantings; landscape redevelopment or reuse projects to extent feasible (<i>Plants are of type, spacing and sizing to reach maturity within reasonable time. Hardy, drought tolerant, low maintenance species adapted to Ukiah climate are emphasized, parking lots trees also withstand heat, pollutants. Deciduous trees used on south and west. Automatic irrigation required for new commercial development</i>
		X	Landscaping: Parking areas with 12 or more stalls: 1 tree per 4 stalls within continuous linear strips. Perimeter planting strips use trees and shrubs. Focus on deciduous trees achieving 50% shading within 10 years
		X	Landscaping: Parking lots generally: Perimeter planting strips, Street trees selected from Ukiah Master Tree List required
	X		Signs: Signs are compatible with architectural character of buildings (<i>signage does not dominate site, uses compatible colors and material, lighting is restrained and harmonious, sandwich boards are creative/subdued co/or/minimal copy</i>).

x			Lighting: Lighting harmonizes with site, building design, architecture and landscaping (<i>lighting form, function, character, fixture styles, design and placement; lighting does not interfere with pedestrian movement</i>).
		x	Energy Conservation: Active and passive solar and other renewable energy design and devices are used (<i>building orientation, landscaping, lighting, heating and cooling, photovoltaic system-ready or installed</i>).
		x	Energy Conservation: Devices are unobtrusive and complement design (<i>solar panels flush with roof</i>).
x			Visual Appearance: Buildings are visually cohesive, compatible and complementary (<i>scale, proportion, design, style, heights, mass, setbacks</i>).
x			Visual Appearance: Buildings exhibit variety and distinctiveness (<i>but avoid overly obtrusive or overly monotonous designs, or strong contrast with adjacent buildings, creative use of natural and recycled materials; metal discouraged unless creative and consistent with Guidelines</i>).
		x	Visual Appearance: Variety of architectural features encouraged tied to comprehensive design theme (<i>arches, raised parapets, cornices, eaves, windows, balconies, entry insets, roof angles and pitches, wall relief features</i>).
x			Visual Appearance: Building exteriors compatible with surrounding properties (<i>compatible materials, colors, quality, coordinated but not the same as surrounding properties, avoid strong or vivid colors unless they fit within local context, concrete block/exposed concrete on visible waifs finished in aesthetic manner</i>).
		x	Visual Appearance: Visible fences compatible with project and visually attractive (<i>compatible colors, materials, styles; wire fences, high barriers and use for advertising discouraged</i>).
x			Visual Appearance: Site and buildings are visually attractive from neighboring properties, traffic and corridors, and public spaces (<i>service areas and devices screened, integrated and compatible with site features; common mailboxes architecture consistent and located close to building; above criteria is applied to areas visible to public view; rear and side views are visually interesting, coordinated and well-maintained</i>).
x			Maintenance: Demonstrate consideration of site and building maintenance.
		x	Walkable and bikeable communities: The project provides connections for walkers and bicyclists to the surrounding community (<i>provides walking/biking facilities on the site, connects to nearby walking/biking facilities, provides shortcuts for walkers/bikers, project is located within ¼ or ½ of other places to walk</i>).
		x	Walkable and bikeable Communities: Sidewalks provide are convenient and safe access (<i>sidewalks sufficiently wide, without obstruction; curbs, shade, lighting provided; buffers between walkers and traffic provided; safe and direct street crossings for walkers</i>).
		x	Walkable and bikeable communities: Entrances provide convenient access (<i>entrances adjacent to street, minimal setback, routes and accessways are well marked, sidewalks provided uninterrupted access to entrances, safe bike parking is located close to entrances</i>).
		x	Green Building: Sustainable site

		<input checked="" type="checkbox"/>	Green Building: Water efficiency
		<input checked="" type="checkbox"/>	Green Building: Energy
		<input checked="" type="checkbox"/>	Green Building: Materials and resources
		<input checked="" type="checkbox"/>	Green Building: Indoor environmental quality
<input checked="" type="checkbox"/>			Visitability and Universal Design: The site and its elements are accessible to people at differing stages, ages and circumstances: accessible primary and interior entrance and routes, accessible kitchen and bath space and devices, for dwellings accessible bedroom, common room, and devices).

III. AGENCY REFERRAL

In September 2025, project referrals were sent to the following responsible or trustee agencies with jurisdiction over the Project (See Table 3 below). Comments from the City of Ukiah Electric Utility were received and are included in Attachment 4 and reflected in the Draft Conditions of Approval.

Table 3: Agency Responses	
Agency	Comment
City of Ukiah, Building Inspection	None
City of Ukiah, Public Works Department	None
City of Ukiah, Fire Prevention Division	None
City of Ukiah, Police Department	'No Comment' Response
City of Ukiah, Electrical Utility Department	Comment – Condition of Approval
Ukiah Municipal Airport Operations Manager	None
Mendocino County Environmental Health	None

IV. ENVIRONMENTAL DOCUMENTATION

The proposed project is subject to the California Environmental Quality Act (CEQA) and qualifies for a Categorical Exemption under CEQA Guidelines, Article 19, Class 1, Section 15301 (Existing Facilities). This exemption applies to minor interior or exterior alterations of existing structures within urbanized areas. The project consists of cosmetic renovations to an existing commercial building for continued restaurant use, with no changes to the building footprint, site grading, or disturbance of natural features.

Furthermore, the project is consistent with applicable zoning and planning regulations, including the Ukiah 2040 General Plan, Ukiah City Code, and other relevant local policies. It aligns with the City's established land-use framework for the site and will not adversely affect sensitive

environmental resources such as endangered species habitat, geologically sensitive areas, or sites of historical or archaeological significance.

V. NOTICE

Notice of the Public Hearing was provided in the following manner, in accordance with UCC §9264(b).

- Published in the Ukiah Daily Journal on September 21, 2025;
- Posted at the Project site and in the Civic Center (glass case) 72 hours prior to the public hearing; and
- Mailed to property owners within 300 feet of the project parcel on September 18, 2025.

VI. DESIGN REVIEW BOARD RECOMMENDATION

On September 25, 2025, the City of Ukiah Design Review Board (DRB) reviewed the proposed Site Development Permit for the renovation of the existing commercial structure. Following a presentation by City staff and discussion with the applicant, the DRB considered the project plans, including a revised signage plan submitted by the applicant on September 23, 2025. The revised plan reflected the elimination of the initially proposed red, illuminated outlining of the building, which is prohibited under UCC §3226(K).

The Board unanimously approved a motion recommending the project to the Zoning Administrator, without additional conditions.

VII. RECOMMENDATION

Staff recommends that the City of Ukiah Zoning Administrator:

1. Conduct a public hearing; and
2. Approve the Minor Site Development Permit to remodel an existing commercial structure at 1201 Airport Park Boulevard (APN 180-080-41), including interior and exterior updates within the existing building footprint and use of previously approved signage for continued restaurant use. File No. 25-000969; Permit No. PA25-000015.

ATTACHMENTS

1. Draft Findings
2. Draft Conditions of Approval
3. Application Materials: Project Description; Plot Plan, Sign Plan, Demolition Plan, Existing and Proposed Floor/Ceiling Plans, Architectural Details & Elevations; Prior Project Approvals
4. Agency Comments

**DRAFT FINDINGS
MINOR SITE DEVELOPMENT PERMIT
REMODEL OF AN EXISTING COMMERCIAL STRUCTURE
1201 AIRPORT PARK BLVD., UKIAH, CA; APN 180-080-41
FILE NO. 25-000969; PERMIT NO. PA25-000015**

Approved Project Description: The Applicant requests a Minor Site Development Permit to remodel an existing commercial structure at 1201 Airport Park Boulevard (APN 180-080-41), including interior and exterior updates within the existing building footprint and use of previously approved signage for continued restaurant use.

SITE DEVELOPMENT PERMIT FINDINGS

Pursuant to Zoning Ordinance §9261(B) and §9261(D)(4), staff has determined that a Minor Site Development Permit is the appropriate level of review. The required findings for approval, along with analysis of consistency, are provided below.

The proposal is consistent with the goals, objectives, and policies of the City General Plan.

The project site is designated Mixed Use: Airport Industrial Park Planned Development (AIP-PD), specifically within the Retail Commercial designation, under the Ukiah 2040 General Plan. The proposed project involves a minor remodel to accommodate continued restaurant use (Applebee's/IHOP dual brand) within the existing building footprint and seating layout. Restaurant uses are conditionally permitted within the Retail Commercial designation and were previously authorized under Major Use Permit No. 01-04, approved on May 23, 2001. Subsequent exterior modifications were approved under Minor Site Development Permit No. 11-15-SDP-ZA on October 20, 2011.

The proposed cosmetic upgrades do not alter the approved use or building envelope and are consistent with Ukiah 2040 General Plan Policy LU-4.1 that promotes high-quality design and site improvements. The Ukiah Municipal Airport Land Use Compatibility Plan (UKIALUCP), which serves as an implementing document of the General Plan, classifies "Eating/Drinking Establishments" as "Conditional" in Compatibility Zone 6, where the project is located. As a remodel of an existing, previously approved restaurant use, the project remains consistent with the General Plan and the UKIALUCP.

The location, size, and intensity of the proposed project will not create a hazardous or inconvenient vehicular or pedestrian traffic pattern.

The project is a cosmetic remodel within the existing building footprint, with no changes to the seating layout or approved use. The restaurant will continue to operate as a 164-seat establishment. No modifications are proposed to the existing off-street parking areas, vehicular access points, or pedestrian pathways.

The intensity of use, as defined in the Ukiah Municipal Airport Land Use Compatibility Plan (UKIALUCP) by the number of people per acre for non-residential uses, will remain unchanged from prior approvals. Vehicular and pedestrian traffic patterns associated with the site were originally reviewed and found acceptable during the 2001 Major Use Permit approval and were reaffirmed during the 2011 Minor Site Development Permit review.

The Ukiah 2040 General Plan Mobility Element supports safe and efficient multi-modal transportation. As the project does not alter traffic-generating characteristics or circulation patterns, it will not result in any new or increased hazards or inconveniences for vehicular or pedestrian traffic.

The accessibility of off-street parking areas and the relation of parking areas with respect to traffic on adjacent streets will not create a hazardous or inconvenient condition to adjacent or surrounding uses.

The project proposes no changes to the existing off-street parking areas or site access. These facilities were originally established and approved under Major Use Permit No. 01-04 in 2001 and remain in place without modification. As such, the existing parking layout and access points are considered an existing legal condition. The project does not alter the intensity of use or traffic circulation and will not introduce any new impacts. Therefore, the continued use of the existing parking areas will not result in hazardous or inconvenient conditions for adjacent or surrounding properties.

The proposed development will not restrict or cut out light and air on the property, or on the property in the neighborhood; nor will it hinder the development or use of buildings in the neighborhood or impair the value thereof.

The project involves a cosmetic remodel within the existing building footprint and does not propose any changes to the building's height, bulk, or massing. As a result, the project will not restrict access to light or air on the subject property or on adjacent properties. The proposed improvements, including interior remodeling, exterior repainting, and updated awning colors, are limited to aesthetic upgrades that will enhance the appearance of the building. These changes are expected to contribute positively to the character and value of the surrounding commercial area and will not hinder the use or development of neighboring properties.

The improvement of any commercial or industrial structure will not have a substantial detrimental impact on the character or value of an adjacent residential zoning district.

The project site is located within a commercially zoned and developed area, surrounded by retail and service-oriented uses. There are no residential zoning districts immediately adjacent to the site. As such, the proposed cosmetic improvements to the existing commercial structure will not have any substantial detrimental impact on the character or value of residential areas.

The proposed development will not excessively damage or destroy natural features, including trees, shrubs, creeks, and the natural grade of the site.

The project site is fully developed and located within a commercial center. The proposed remodel is limited to cosmetic improvements to the existing building and does not include any grading, site expansion, or disturbance of natural features. No trees, shrubs, waterways, or natural topography will be impacted as part of this proposal. Therefore, the project will not result in any damage to natural features on or near the site.

There is sufficient variety, creativity, and articulation to the architecture and design of the structure(s) and grounds to avoid monotony and/or a box-like uninteresting external appearance.

The proposed remodel incorporates a dual-brand concept combining IHOP and Applebee's through thoughtful cosmetic updates, including new exterior paint, awnings, and signage. The design approach seeks to create a cohesive visual integration of the two distinct brands, using complementary colors and branding elements that transition smoothly across the building's façades. This strategy introduces architectural articulation and visual interest, breaking up the building mass and preventing a monotonous or box-like appearance.

The proposed improvements are consistent with the City of Ukiah's Design Guidelines for Commercial Projects Outside the Downtown Design District, which encourage variety, distinctiveness, and cohesive design. The remodel reflects an effort to enhance the building's appearance while maintaining compatibility with surrounding commercial development.

CEQA FINDINGS

The proposed project is subject to the California Environmental Quality Act (CEQA) and qualifies for a Categorical Exemption under CEQA Guidelines, Article 19, Class 1, Section 15301 (Existing Facilities). This exemption applies to minor interior or exterior alterations of existing structures within urbanized areas. The project consists of cosmetic renovations to an existing commercial building for continued restaurant use, with no changes to the building footprint, site grading, or disturbance of natural features.

Furthermore, the project is consistent with applicable zoning and planning regulations, including the Ukiah 2040 General Plan, Ukiah City Code, and other relevant local policies. It aligns with the City's established land-use framework for the site and will not adversely affect sensitive environmental resources such as endangered species habitat, geologically sensitive areas, or sites of historical or archaeological significance.

PUBLIC NOTICE

Notice of the Public Hearing was provided in the following manner, in accordance with UCC §9264(b).

- Published in the Ukiah Daily Journal on September 21, 2025;
- Posted at the Project site and in the Civic Center (glass case) 72 hours prior to the public hearing; and
- Mailed to property owners within 300 feet of the project parcel on September 18, 2025.

**DRAFT CONDITIONS OF APPROVAL
MINOR SITE DEVELOPMENT PERMIT
REMODEL OF AN EXISTING COMMERCIAL STRUCTURE
1201 AIRPORT PARK BLVD., UKIAH, CA; APN 180-080-41
FILE NO. 25-000969; PERMIT NO. PA25-000015**

The following Conditions of Approval shall be binding on all current and future owners, lessees, and occupants of the subject property. These conditions constitute an integral component of the Site Development Permit and must be fully satisfied and maintained for the permit to remain effective.

Approved Project Description: The Applicant requests a Minor Site Development Permit to remodel an existing commercial structure at 1201 Airport Park Boulevard (APN 180-080-41), including interior and exterior updates within the existing building footprint and use of previously approved signage for continued restaurant use.

CITY OF UKIAH STANDARD CONDITIONS

1. **Permit Activation:** This approval is not effective until the 10-day appeal period applicable to this Planning permit has expired without the filing of a timely appeal. If a timely appeal is filed, the project is subject to the outcome of the appeal and shall be revised as necessary to comply with any modifications, conditions, or requirements that were imposed as part of the appeal.
2. **Project Conformance:** All use, construction and the location thereof, or occupancy, shall conform to the application and to any supporting documents submitted therewith, including any maps, sketches, or plans accompanying the application or submitted by applicant in support thereof.
3. **Standard Specifications:** Any construction shall comply with the "Standard Specifications" for such type of construction now existing or which may hereafter be promulgated by the Department of Public Works Department of Building Inspection Division of the City of Ukiah; except where higher standards are imposed by law, rule, or regulation or by action of the Zoning Administrator such standards shall be met.
4. **Permit Deadline:** Building permits shall be issued within two years after the effective date of the Planning Permit or same shall be null and void.
5. **Code Compliance:** In addition to any particular condition which might be imposed; any construction shall comply with all building, fire, electric, plumbing, occupancy, and structural laws, rules, regulations, and ordinances in effect at the time the Building Permit is approved and issued.
6. **Permit Verification:** The Applicant shall submit verification of all applicable permits or approvals in compliance with all local, state and federal laws to the Community Development Department prior to finalization of the Site Development Permit.
7. **Fee Payment:** All fees associated with the project planning permits and approvals shall be paid in full prior to occupancy.
8. **Permit Revocation:** As outlined in Article 20, Administration and Procedures, of the Zoning Code this planning permit may be revoked through the City's revocation process if the approved project related to this Permit is not being conducted in compliance with these stipulations and conditions of approval; or if the project is not established within two years of the effective date of this approval; or if the established use for which the permit was granted has ceased or has been suspended for 24 consecutive months.
9. **Archaeological Discovery:** In accordance with California Public Resource Code, in the event that

prehistoric archaeological features such as a concentration of flaked stone artifacts, or culturally modified soil (midden) or dietary shell are encountered at any time during preparatory grading or underground excavation to remove existing structures, all work should be halted in the vicinity of the discovery. A qualified archaeologist should be contacted immediately to make an evaluation and determine if the discovered material represents a definite cultural resource. If it is determined that a potentially significant feature has been revealed, a temporary suspension of earth disturbing activities should be enforced until an appropriate mitigation program can be developed and implemented to satisfy the Planning Division. An archaeological monitor shall observe all further work during construction activities that are located within or near an archaeological site area, and formal tribal consultation may be required.

SPECIAL CONDITIONS OF APPROVAL

10. A Final Sign Plan shall be submitted to and approved by the Community Development Director prior to the issuance of any building permit for illuminated signage. All signage shall comply with the applicable design and development standards of the Ukiah City Code and remain consistent with previous entitlements or approvals related to signage on the site.

ELECTRIC UTILITY DEPARTMENT

11. If there should be a Panel upgrade during this Planned Development, the contractor shall reach out to the Electric Department to provide:
 - a. Detailed one line drawings.
 - b. EUSERC numbers for the accepted panel or switchgear.
 - c. Load Calcs for future equipment.

If no panel upgrade occurs during this development but an upgrade is planned in the future, the contractor shall adhere to the same requirements prior to the upgrade.

AUTHORIZED AGENT

I, Siyavoush Soleimani, owner authorize Peyman Kohanbash to act on my behalf for this project and I have read and agree with all of the above. (Application must be signed by owner).

S. Soleimani

08/18/2025

PROPERTY OWNER SIGNATURE

DATE

I, Siyavoush Soleimani, am the owner / authorized agent of the property for which the development is proposed. The above information and attached documents are true and accurate to the best of my knowledge.

I have read and agree with all of the above.

I hereby authorize employees of the City of Ukiah, the City's authorized agents, and persons with review or decision making authority for the project to enter upon the subject property, as necessary, to inspect the premises, post notices, and process this application.

I understand that conditions of approval may be placed on my project by the city of Ukiah and it is my responsibility to fully understand the conditions and ask questions about them before action is taken on my planning permit.

S. Soleimani

08/18/2025

OWNER / AUTHORIZED AGENT

DATE

INDEMNIFICATION AGREEMENT

As part of this application, the applicant agrees to defend, indemnify, and hold harmless the City of Ukiah, its agents, officers, council members, employees, boards, commissions or Council from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void, or annul any approval of the application or related decision, or the adoption or certification of any environmental documents or negative declaration which relates to its approval. This indemnification shall include, but is not limited to, all damages, costs, expenses, attorney fees or expert witness fees that may be awarded to the prevailing party arising out of it or in connection with the approval of the application or related decision, whether or not there is concurrent, passive, or active negligence on the part of the City, its agents, officers, council members, employees, boards, commissions of Council. If for any reason, any portion of this indemnification agreement is held to be void or unenforceable by a court of competent jurisdiction, the remainder of the agreement shall remain in full force and effect.

The City of Ukiah shall have the right to appear and defend its interests in any action through its City Attorney or outside counsel. The applicant shall not be required to reimburse the City for attorney's fees incurred by the City Attorney of the City's outside counsel if the City chooses to appear and defend itself in the litigation.

I have read and agree to all of the above.

Siyavoush Soleimani

PROPERTY OWNER / AUTHORIZED AGENT

(PLEASE PRINT NAME)

S. Soleimani

08/18/2025

PROPERTY OWNER / AUTHORIZED AGENT

(SIGNATURE)

DATE

Revised 09/03/2019

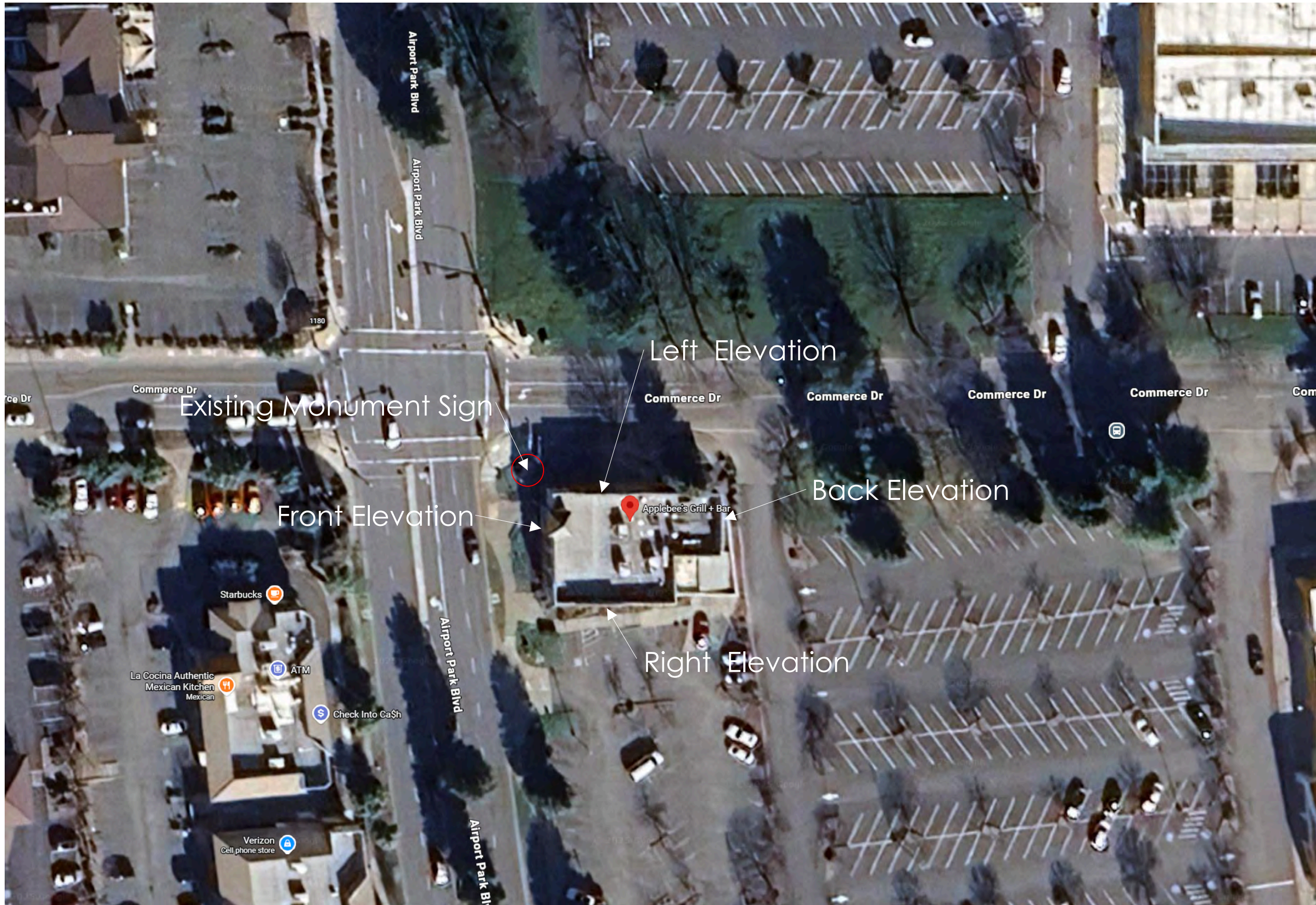
Here you go:

We are working on planning our Dual Brands Upgrades to our existing Applebee's in Ukiah, CA. Our brand is in the very exciting stage of delivering a Dual Brands Concept that combines our iconic concepts IHOP and Applebee's under one roof. While we are proposing a MINOR REMODEL it is important that we can deliver our design intent in order to stay true to the branding elements that make each concept recognizable in every household. Our Design & Architecture team, worked very hard on a cohesive design that would integrate each brands colors, and branding elements in a way they each complement each other, and transition smoothly from one side of the building to the other. It is important to us that we can in fact deliver this design intent.

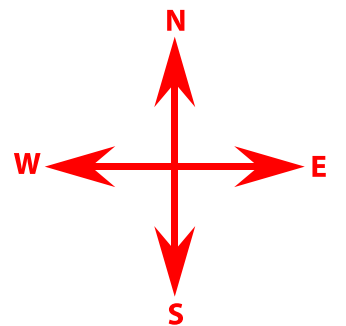
Applebee's adding IHOP - Minor Remodel

Scope of Work Includes:

- ADA Survey (By Owner) - phase or immediate compliance
- No structural work
- New finish of floor
- Paint walls / new artwork
- New furniture - booths, tables, chairs
- Building footprint and seating configuration remains the same
- Bar die wall and top extension
- New interior light fixtures - same J-box connection
- Exterior awnings to new color
- New exterior paint
- Additional signage for IHOP branding - adding a new can to monument/pole sign
- FS equipment - existing hood remains the same with equipment reconfigured

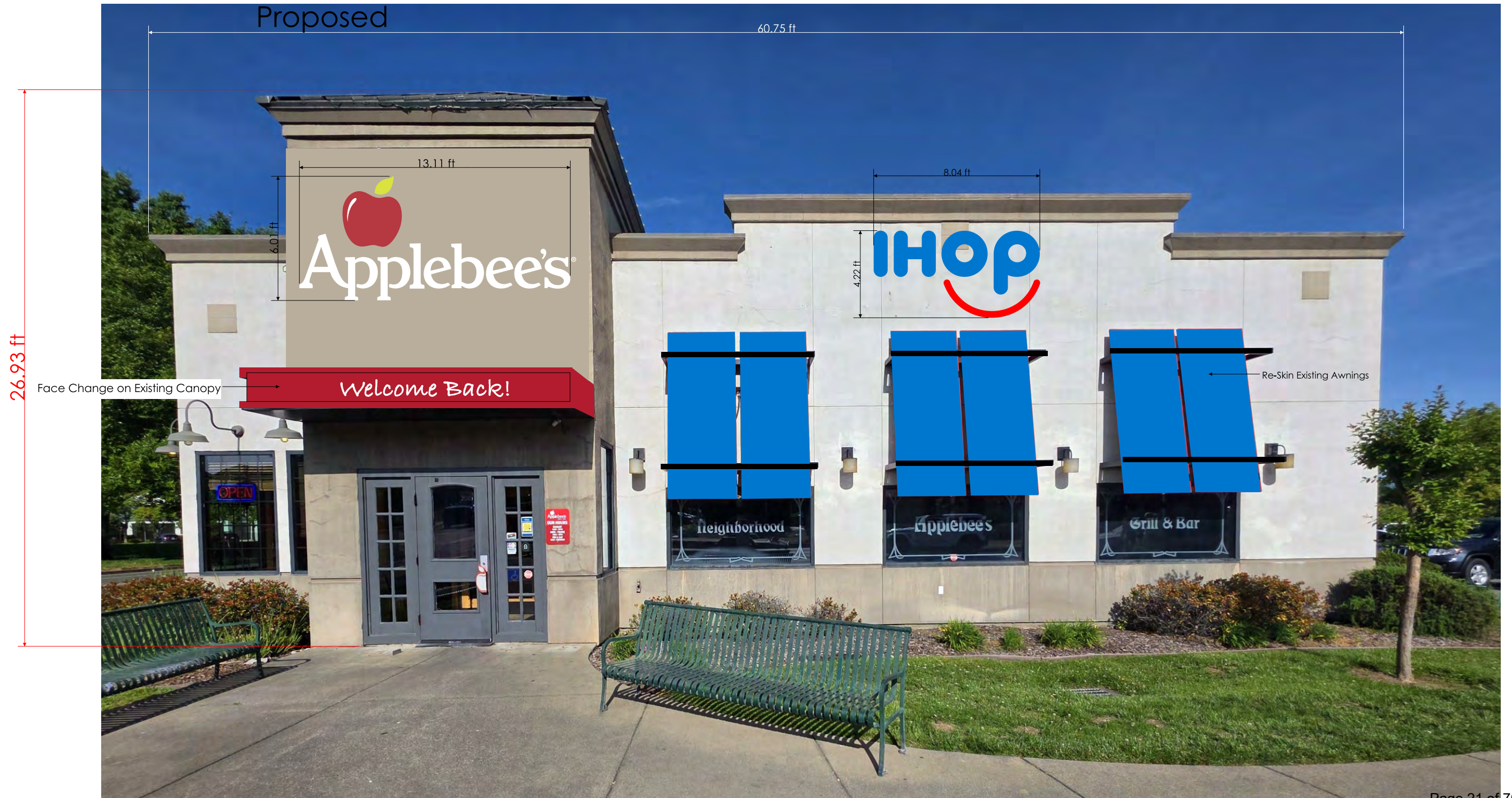


PLOT PLAN





Existing



Proposed

60.75 ft

13.11 ft

8.04 ft

6.01 ft

4.22 ft

26.93 ft

Face Change on Existing Canopy

Welcome Back!

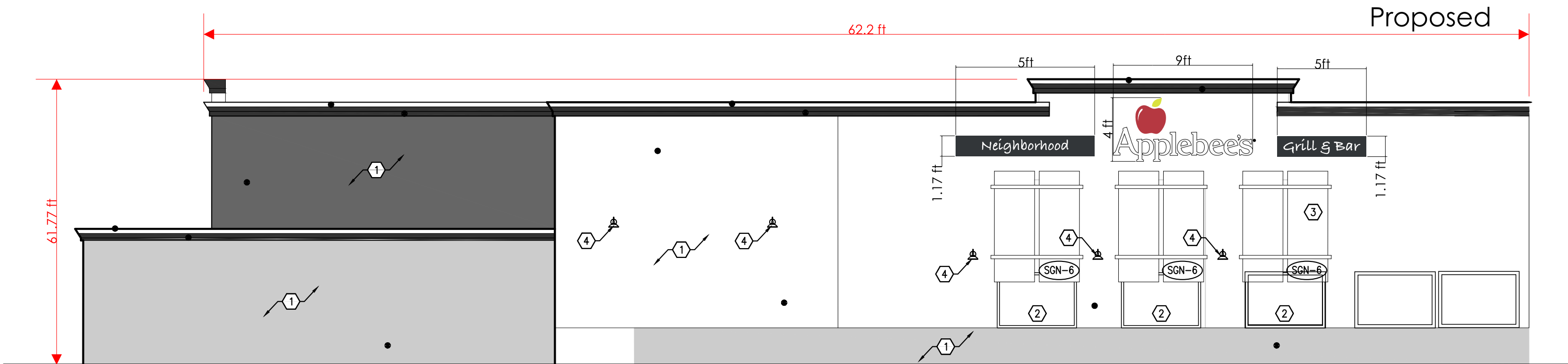
Re-Skin Existing Awnings

Existing



Proposed





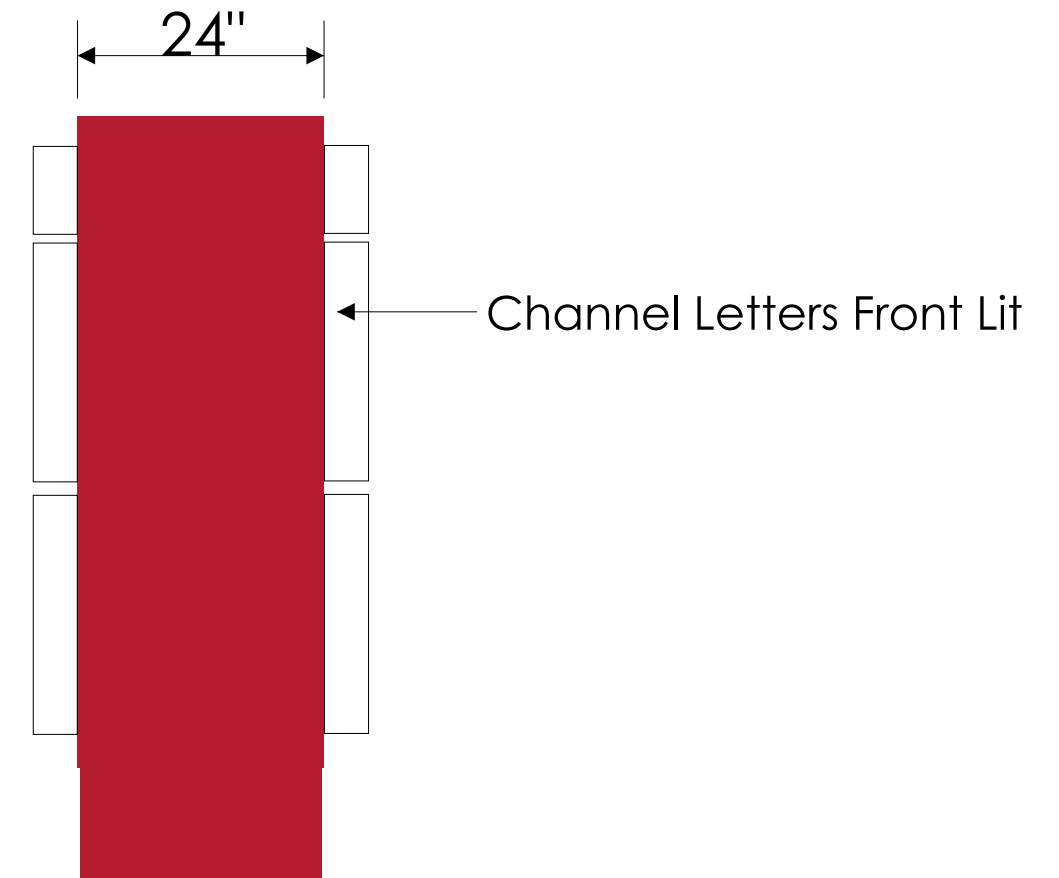
Existing



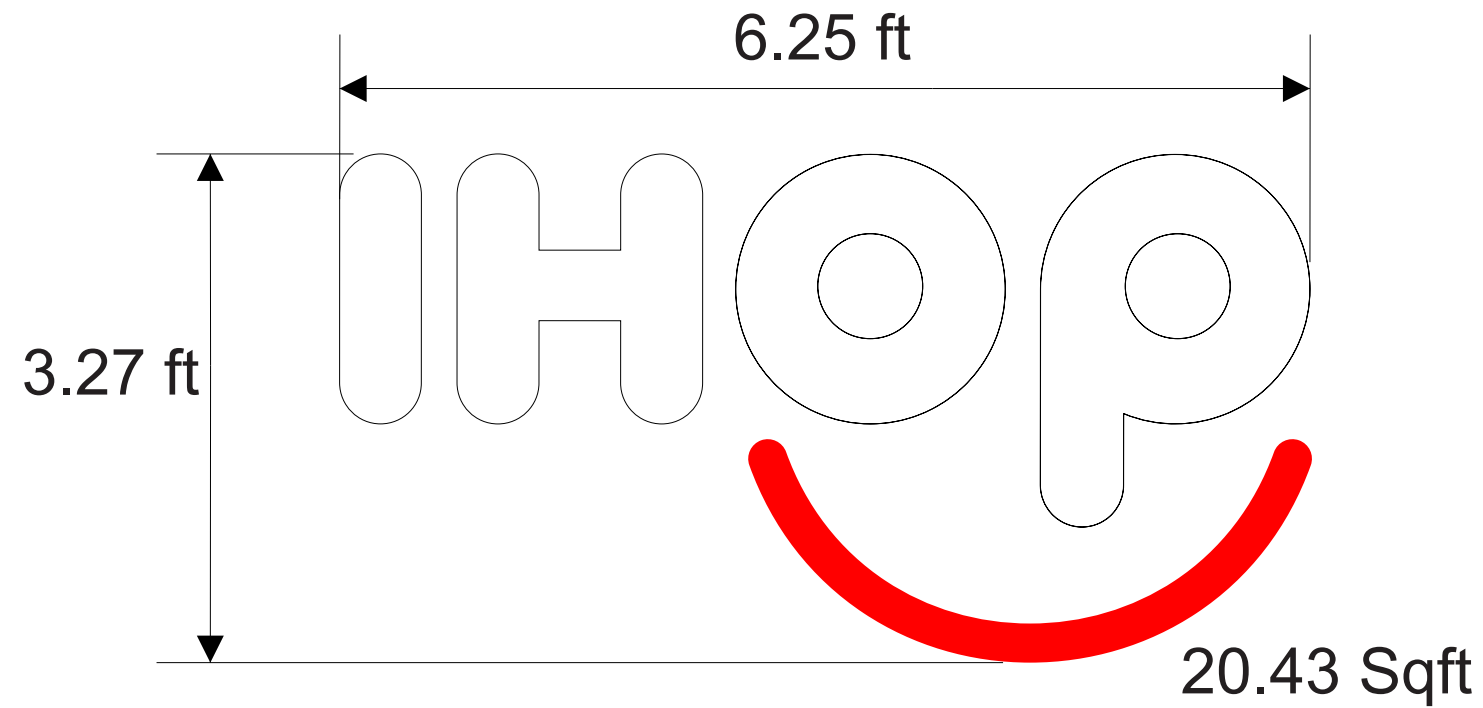
Proposed



Existing



Right Side Specs



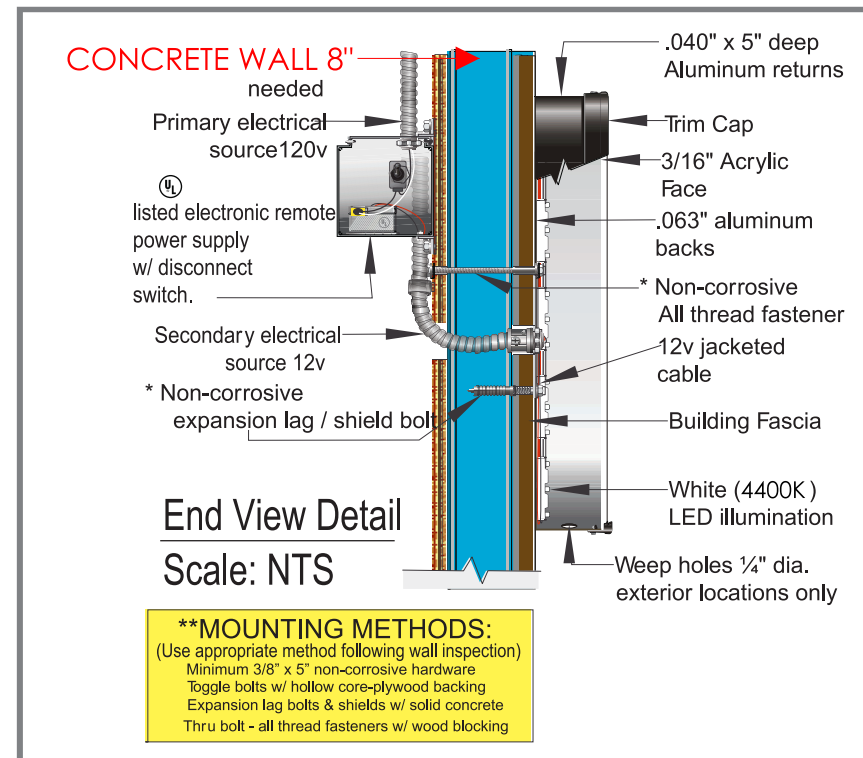
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THIS SIGN IS INENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHERS APPLICABLE LOCAL CODES.

**THIS INCLUDE PROPER GROUNDING AND BONDING OF THE SIGN.

LETTERS - TO BE ALUMINUM CONSTRUCTION WHITH 5" RETURN ILLIMINATION - WHITE LED



COLOR LEGEND		
	PMS/PAIN	VINYL
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COLOR LEGEND		
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	PMS 285 C	3M 3630-8246
	PMS 1795C	3M 3630-143
	PMS WHITE	3M 3630-70

SPECIFICATIONS:

Colors will be some red and blue

3M 3630-8246 BLUE
3M 3630-143 RED

MAX LOAD: 120v / 2.2amps DEDICATED 20 AMP CIRCUIT REQUIRED

MOUNTED TO THE WALL

24 HOUR PROGRAMMABLE TIMER installed to comply with the COT outdoor lighting code.

All signs and power supply components are UL listed.

All signs shall have UL sticker, manufacturer sticker & installer sticker, located on the exterior of the sign.

All dedicated sign circuits shall be labeled.

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SIGN TO BE U.L. LISTED AND SHALL MEET N.E.C. STANDARDS

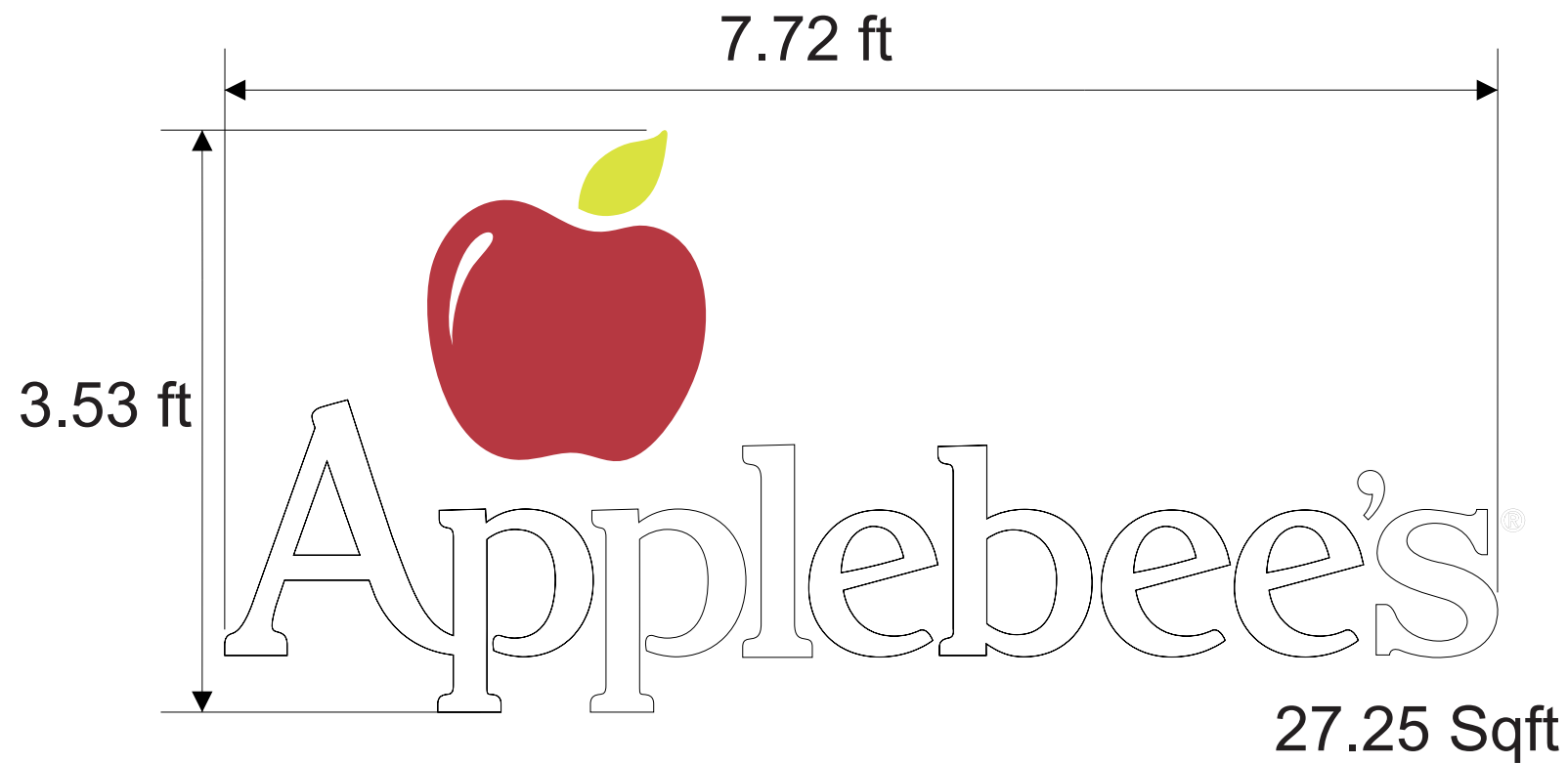
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PRIMARIES AND FINAL CONNECTION TO SIGN BY: CERTIFIED ELECTRICIAN

Right Side Specs



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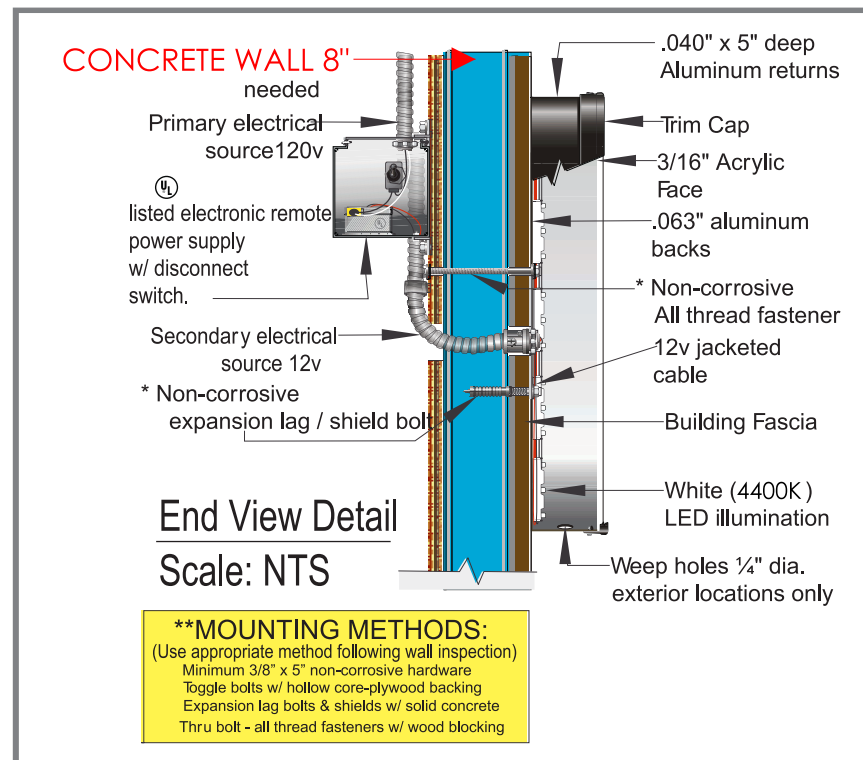
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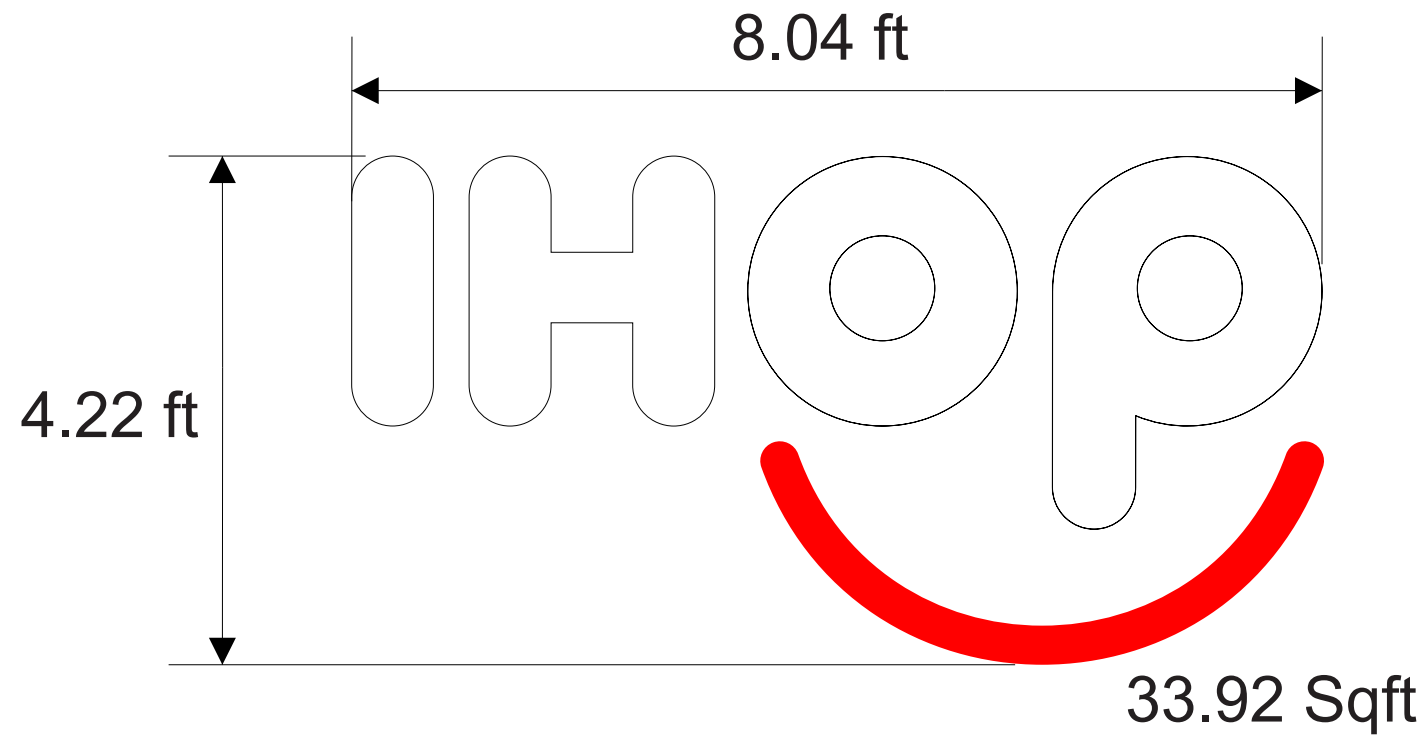
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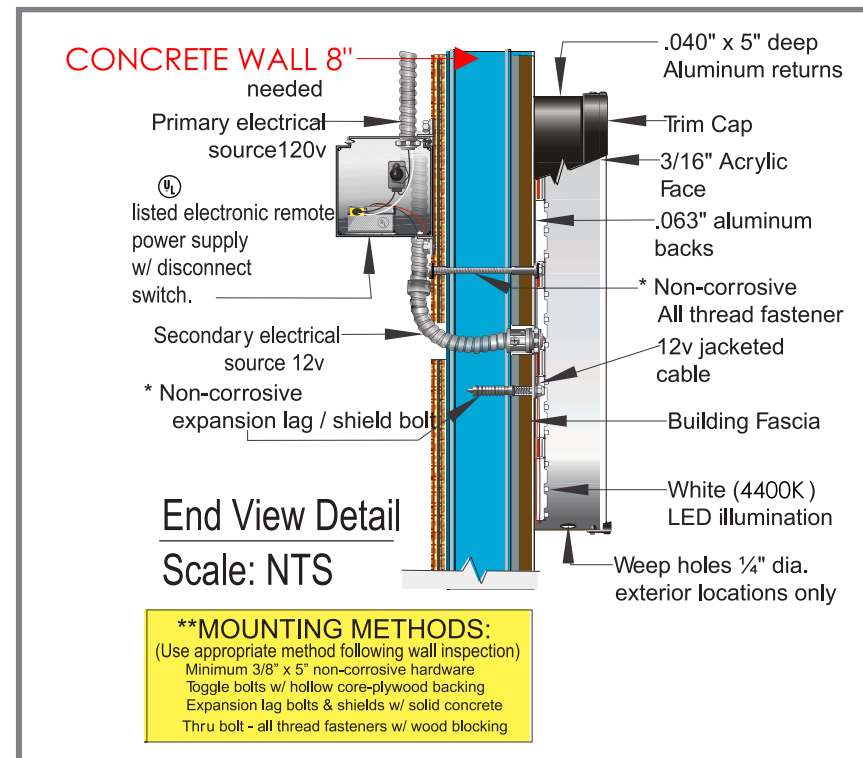


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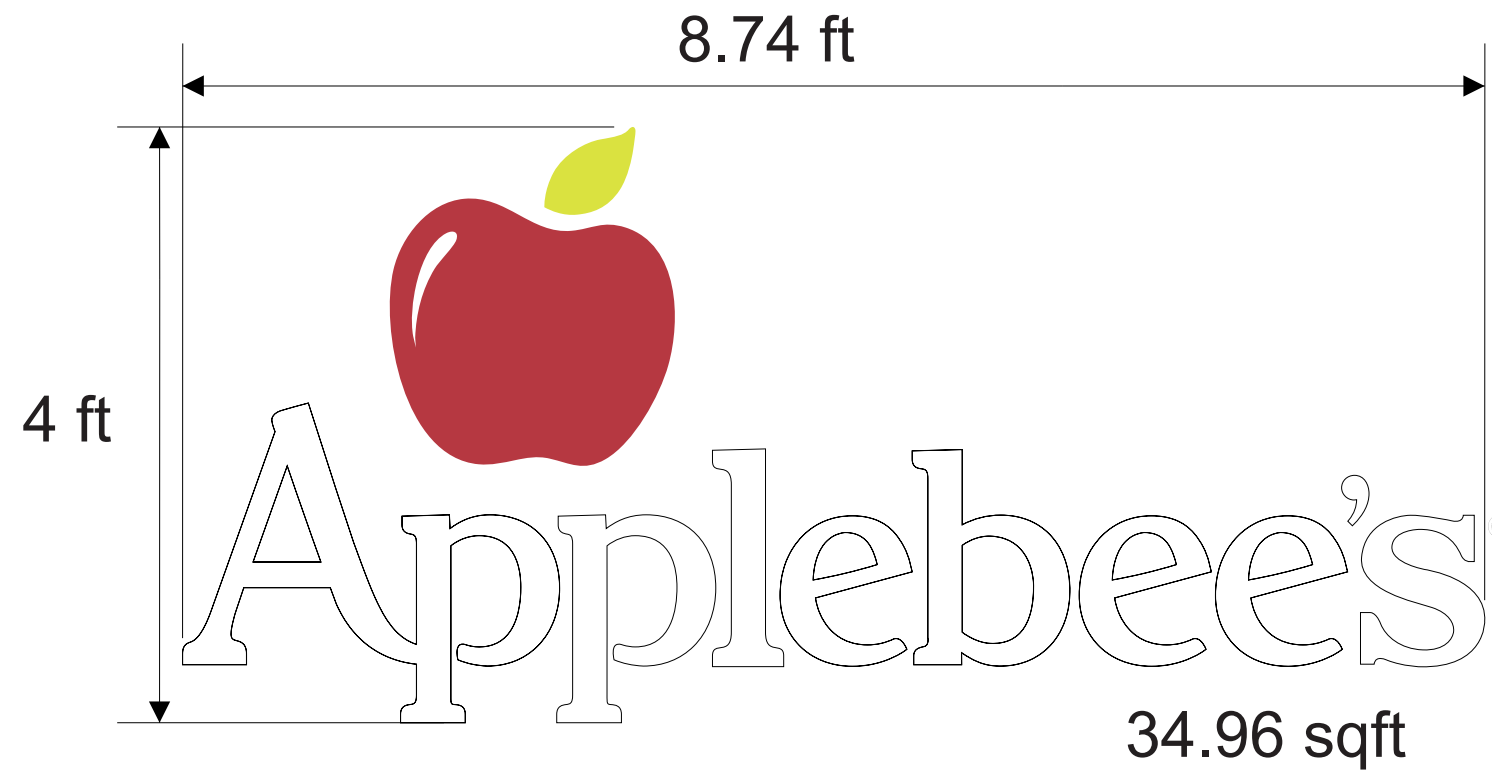
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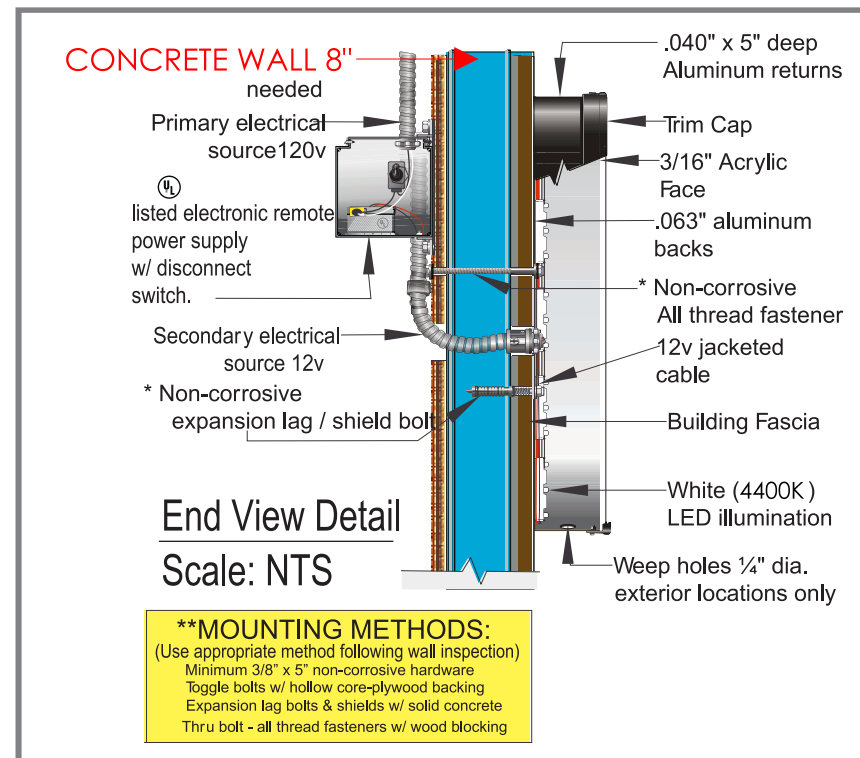


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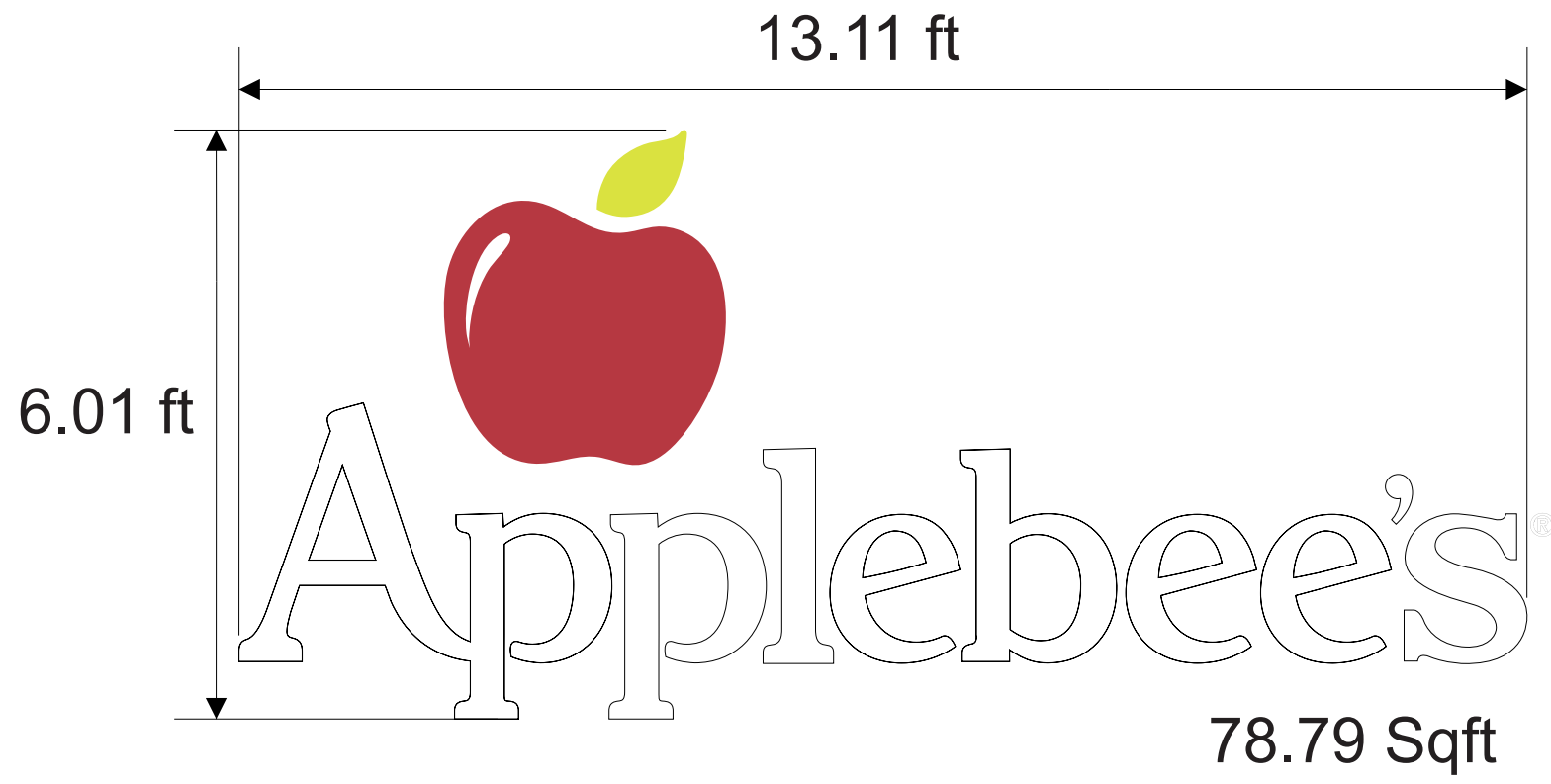
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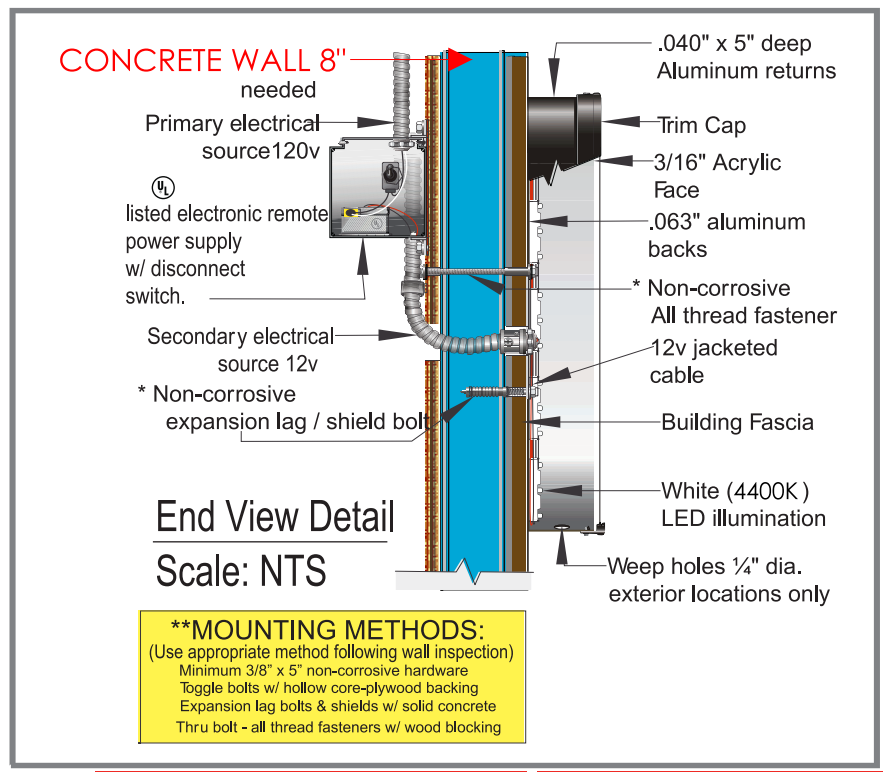
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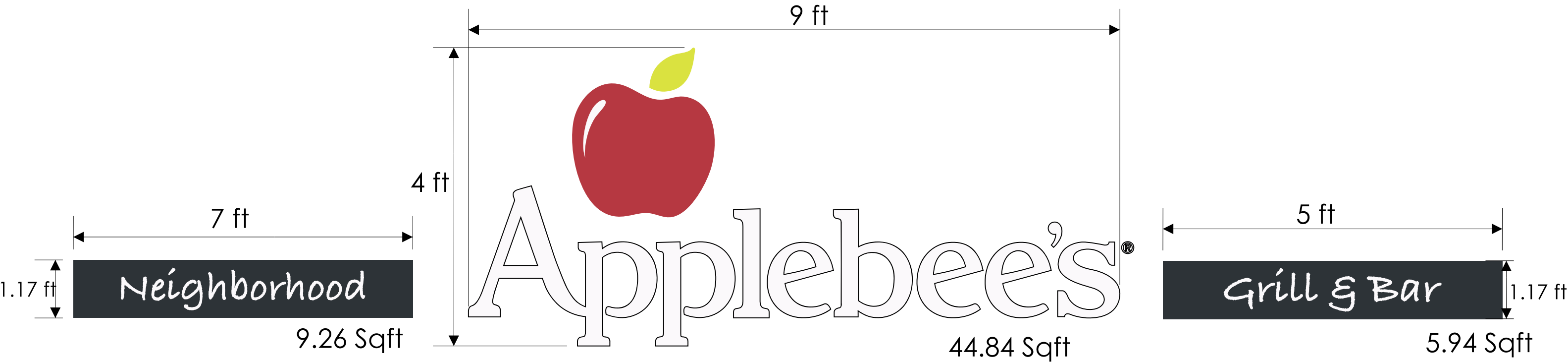
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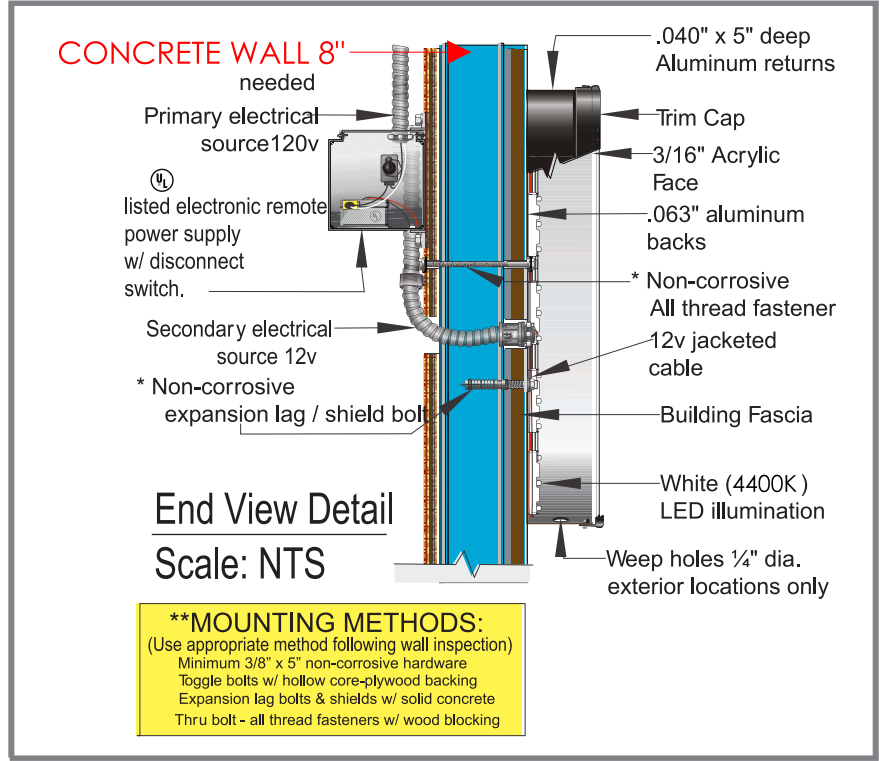
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****MOUNTING METHODS:**
(Use appropriate method following wall inspection)
Minimum 3/8" x 5" non-corrosive hardware
Toggle bolts w/ hollow core-plywood backing
Expansion lag bolts & shields w/ solid concrete
Thru bolt - all thread fasteners w/ wood blocking

MAX LOAD: 120v / 2.2amps DEDICATED 20 AMP CIRCUIT REQUIRED

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Exterior Facade Tagline



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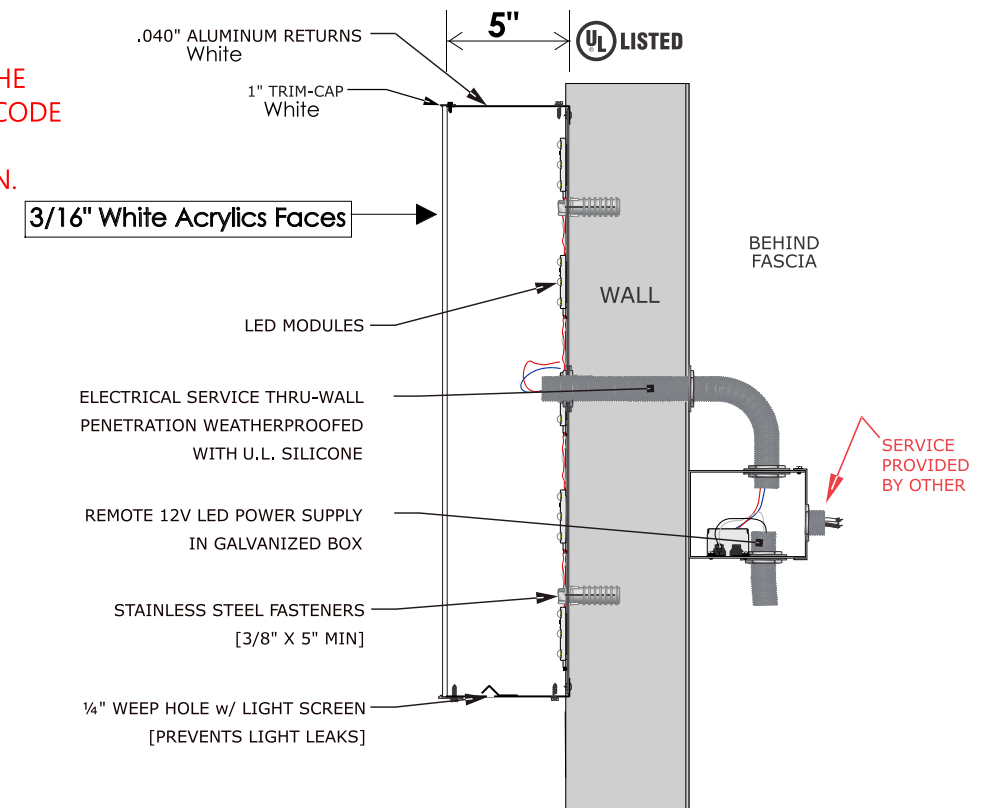
A safety lock out shall be provided for all signs where the shut off switch is not directly visible to the sign.

<p>SIGN TO BE U.L. LISTED AND SHALL MEET N.E.C. STANDARDS</p> <p>Underwriters Laboratories Inc. LISTED</p> <p>ELECTRIC SIGN</p> <p><small>PRIMARIES AND FINAL CONNECTION TO SIGN BY: CERTIFIED ELECTRICIAN</small></p>	<p>ALL ELECTRICAL COMPONENTS TO BE U.L. LISTED, APPROVED AND MARKED PER N.E.C. 600-4. ALL TO BE ELECTRICALLY GROUNDED PER N.E.C. 250. ALL POWER SUPPLIES TO BE FUSED PER U. L. 48, 28.2.1 GROUNDING AND BONDING PER N.E.C. 250-90, -92, -94, -96.</p>
	<p>SIGN TO MEET N.E.C. AND U. L. 48 STANDARDS FOR ELECTRICAL SIGNS. GROUNDING & BONDING AS PER N.E.C. 250-90 & NEC 600-7</p>

THE FIELD ASSEMBLY OF THIS SECTIONAL SIGN IS SUBJECT TO THE ACCEPTANCE OF THE LOCAL INSPECTION AUTHORITY

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHERS APPLICABLE LOCAL CODES.

**THIS INCLUDE PROPER GROUNDING AND BONDING OF THE SIGN.



COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 1795C	3M 3630-143
	PMS WHITE	3M 3630-70

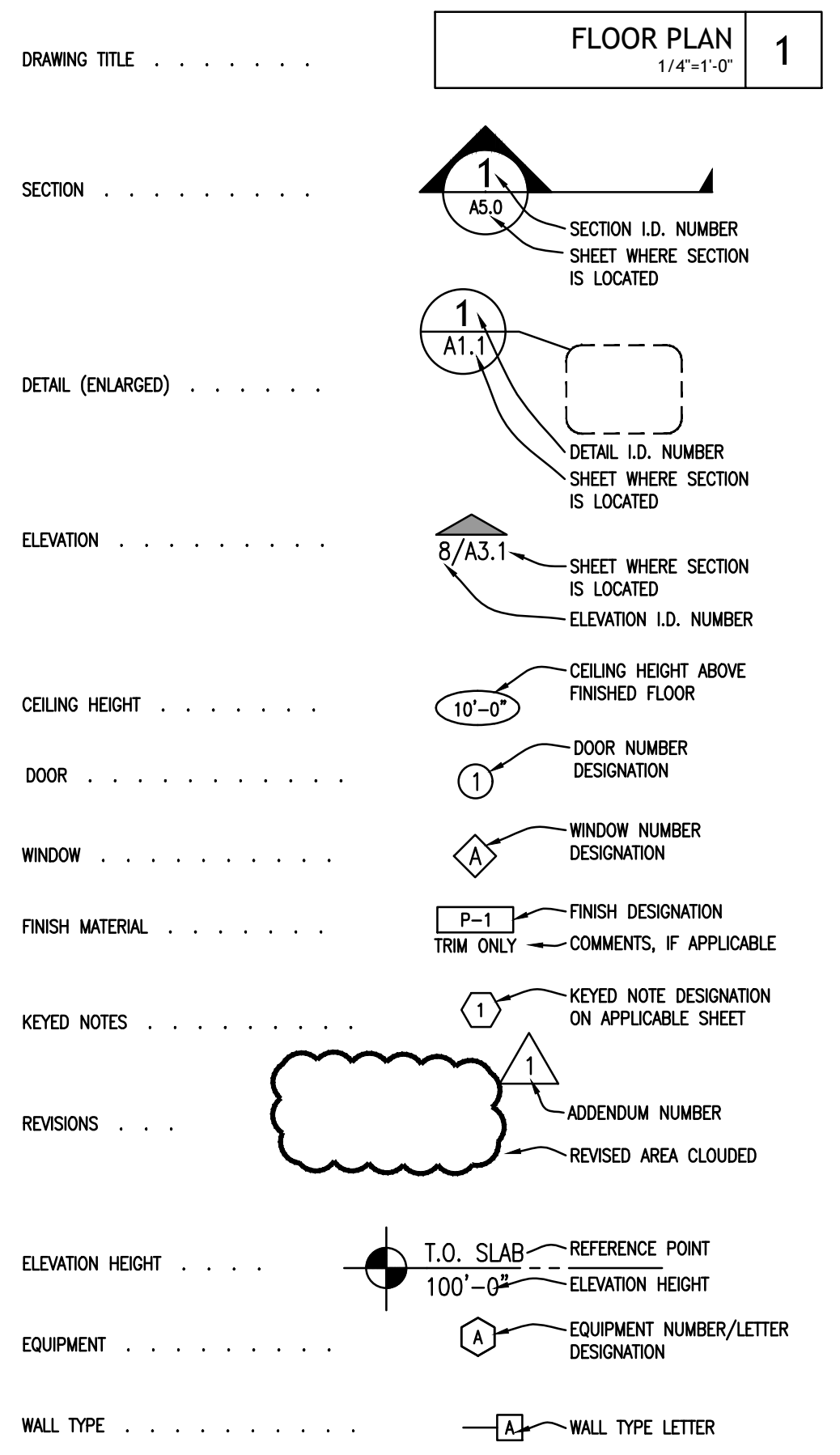
SPECIFICATIONS:

Colors will be some red and blue

3M 3630-8246 BLUE
3M 3630-143 RED

MAX LOAD: 120v / 2.2amps **DEDICATED 20 AMP CIRCUIT REQUIRED**

SYMBOL LEGEND



USE	SQUARE FOOTAGE	OCCUPANT LOAD FACTOR	OCCUPANCY AMOUNT
DINING (NET)	2276	15	152
VESTIBULE & WAITING	72	5	15
WAITING	16 FT OF BENCH	18 / OCC.	11
CIRCULATION	485	-	0
RESTROOMS	348	-	0
TOTAL	3181		178

OCCUPANCY	OCC. LOAD	# OF EXITS REQUIRED	# OF EXITS PROVIDED
A-2	178	2 (FROM DINING)	2 (FROM DINING)

RESTROOM REQUIREMENTS				
OCCUPANT LOAD: 178				
BREAKDOWN: 89 MEN / 89 WOMEN				
REQUIRED FACILITIES				
	WATER CLOSETS	LAVATORIES	URINALS	
MEN	1 PER 75	1 PER 200	N/A	
	2	1	0	
WOMEN	1 PER 75	1 PER 200	-	
	2	1	-	

PROVIDED FACILITIES				
	WATER CLOSETS	LAVATORIES	URINALS	
MEN	2	2	1	
WOMEN	3	2	-	

GENERAL PROJECT NOTES

- APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT SAME INFORMATION. CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF PLANS ON THE PREMISES IN GOOD CONDITION AT ALL TIMES. THIS SHALL INCLUDE ALL ADDENDA AND CHANGE ORDERS.
 - THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO STARTING ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS AND OWNER.
 - GENERAL CONTRACTOR TO REFER TO THESE DOCUMENTS AND SPECIFICATIONS FOR IDENTIFICATION OF ALL OWNER SUPPLIED ITEMS. ALL ITEMS NOT MARKED "BY OWNER" OR "N.I.C." (NOT IN CONTRACT) ARE TO BE SUPPLIED BY GENERAL CONTRACTOR. UNLESS NOTED OTHERWISE, ALL ITEMS ARE TO BE INSTALLED BY GENERAL CONTRACTOR.
 - THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.
 - BEFORE SUBMITTING A BID, THE CONTRACTOR SHALL VISIT THE PREMISES AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND THE EXTENT OF WORK REQUIRED TO COMPLETE THE PROJECT.
 - BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT, IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK AND SHALL BE RESPONSIBLE FOR SAME.
 - IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR MUST REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
 - THE ARCHITECT SHALL BE AVAILABLE TO VISIT THE SITE WHEN REQUESTED. IF A CONDITION EXISTS THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT OR ENGINEERS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT.
 - CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL INSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN. BEFORE COMMENCING WORK NOT SHOWN IN DOCUMENTS, BUT REQUIRED TO ACHIEVE FULL COMPLIANCE WITH CODES, CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT.
 - THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY AND COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/CONTRACTOR CONTRACT IS, AND SHALL BE, THE CONTRACTOR'S RESPONSIBILITY.
 - CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES AND SAFETY PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.
 - DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS FOR ALL MEASUREMENTS. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
 - OWNER SHALL PAY ALL TAXES, SECURE BUILDING PERMIT AND PAY ALL FEES INCURRED IN THE COMPLETION OF THE PROJECT, INCLUDING BUT NOT LIMITED TO BUILDING PERMITS, WATER, ELECTRIC AND TELEPHONE SERVICE CONNECTION, CERTIFICATE OF OCCUPANCY SURVEY'S AND INSPECTIONS.
 - SCOPE OF WORK. THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT, INCLUDING BUT NOT LIMITED TO SITE WORK, ARCHITECTURAL, ELECTRICAL, PLUMBING AND HVAC.
 - THE BID PRICES SHALL INCLUDE EVERYTHING NECESSARY OR PROPER FOR PERFORMING AND COMPLETING THE WORK REQUIRED AS INDICATED BY THE PLANS AND SPECIFICATIONS, TO PROVIDE FINISHED WORK. ANYTHING OMITTED THEREFROM WHICH IS CLEARLY NECESSARY FOR THE COMPLETION OF THE WORK OR ITS APPURTENANCES SHALL BE CONSIDERED A PORTION OF THE WORK ALTHOUGH NOT DIRECTLY SPECIFIED OR SHOWN ON THE DRAWINGS.
 - INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW, AND PUBLIC LIABILITY SHALL BE CARRIED BY THE CONTRACTOR.
 - GUARANTEE: THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS, AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS ATTENTION.
 - PROTECTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND THAT OF HIS SUBCONTRACTORS FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIAL USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS EMPLOYEES.
 - CONTRACTOR IS TO PROVIDE TO THE OWNER A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES.
 - THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUBCONTRACTORS. THE OWNER MAY ELECT TO CONTRACT DIRECTLY WITH A SUBCONTRACTOR FOR ANY PART OF THE WORK.
 - CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF WORK TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES. NOTIFY ARCHITECT IMMEDIATELY IF CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND NEW CONSTRUCTION. PATCH, REPAIR AND/OR REPLACE ALL ADVERSELY AFFECTED FINISHES AND SURFACES AS REQUIRED. UPON COMPLETION OF CONSTRUCTION, ALL PARKING AREA PAVEMENT AND NEW CONCRETE PADS SHALL TRANSITION SMOOTHLY.
- NATIONAL ACCOUNT
 "NATIONAL ACCOUNT"- OWNER HAS ENTERED NATIONAL ACCOUNT AGREEMENTS WITH VENDORS FOR SOME MATERIALS AND PRODUCTS. CONTRACTORS SHALL USE THESE VENDORS, WITHOUT SUBSTITUTION, FOR ALL PRODUCTS IDENTIFIED UNDER THE NATIONAL ACCOUNTS PROGRAM.
- DEFERRED SUBMITTAL**
 SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT WHO SHALL REVIEW THEM AND PROVIDE A NOTATION INDICATING THAT DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THESE SUBMITTAL ITEMS MUST THEN BE SUBMITTED TO THE BUILDING OFFICIAL. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. DEFERRED SUBMITTALS ARE AS FOLLOWS:
- a. SIGNAGE
- BUILDING SQUARE FOOTAGE**
 TOTAL RESTAURANT AREA: 4,908 SQ. FT.
 SCOPE OF WORK: 3,181 SQ. FT.
- SCOPE OF WORK**
 ALTERATION LEVEL 1 TO REMODEL AN EXISTING BUILDING SHELL AND INTERIORS FOR THE SAME OWNER. THERE IS ONLY A REPLACEMENT OF LIKE FINISHES AND FIXTURES. NO NEW FOOT PRINT OR ANY EXTERIOR ADDITIONS.
 EXISTING EGRESS PATHS, DOORS AND EMERGENCY LIGHTING TO REMAIN UNCHANGED.
- CODE INFORMATION**
 A. BUILDING CODE CRITERIA
 BUILDING CODE: 2019 CALIFORNIA EXISTING BUILDING CODE w/ LOCAL AMMEND.
 ELECTRICAL CODE: 2019 CALIFORNIA ELECTRICAL CODE w/ LOCAL AMMEND.
 MECHANICAL CODE: 2019 CALIFORNIA MECHANICAL CODE w/ LOCAL AMMEND.
 PLUMBING CODE: 2019 CALIFORNIA PLUMBING CODE w/ LOCAL AMMEND.
 ENERGY CODE: 2019 CALIFORNIA ENERGY EFFICIENCY CODE w/ LOCAL AMMEND.
 ACCESSIBILITY CODE: 2019 TITLE 24 ACCESSIBILITY STANDARDS w/ LOCAL AMMEND.
 OCCUPANCY: A-2 (EXISTING AND PROPOSED, NO CHANGE)
 CONSTRUCTION TYPE: II-B, SPRINKLERED (EXISTING)
 STORIES: ONE
 ANSUL HOOD: EXISTING-UNCHANGED
 SPECIAL INSPECTIONS: NO SPECIAL INSPECTIONS REQUIRED.
- EXISTING ACCESSIBILITY NOTE**
 SCOPE OF WORK TO INCLUDE REMODEL FOR AN EXISTING BUILDING SHELL AND INTERIORS. ANY SITE IMPROVEMENTS TO BE COMPLETED UNDER SEPARATE PERMIT. DRAWINGS ASSUME EXISTING CONDITIONS COMPLY WITH THE BUILDING AND ACCESSIBILITY CODE REQUIREMENTS FOR ACCESSIBILITY FOR PATHS OF TRAVEL FROM A PUBLIC WAY AND ACCESSIBLE PARKING STALL TO THE ACCESSIBLE BUILDING ENTRANCE. BUILDING UPGRADES MUST BE MADE IN ACCORDANCE WITH TITLE 24 ACCESSIBILITY STANDARDS.

APPLEBEE'S-IHOP
 DUAL BRAND RESTAURANT
 1201 AIRPORT PARK BLVD.
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SITE LOCATION MAP



SHEET INDEX:

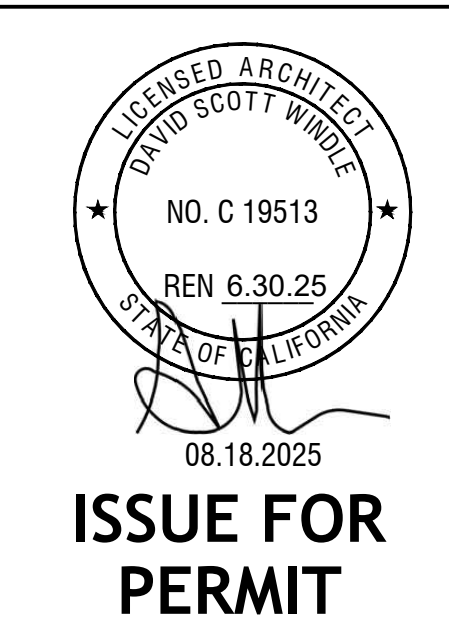
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8.18.2025	1	ISSUE FOR PERMIT

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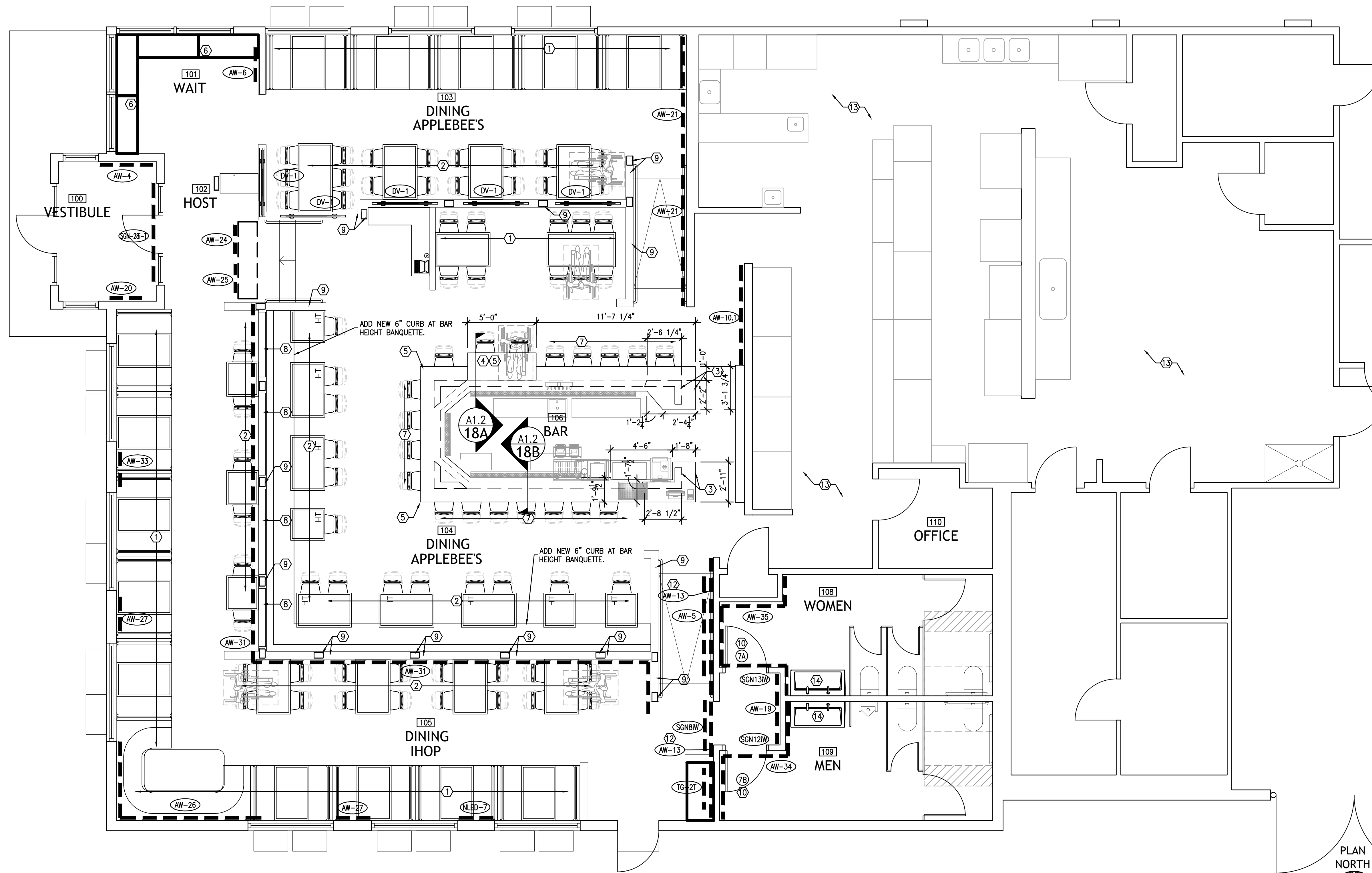
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SHEET TITLE:
COVER SHEET

SHEET NUMBER:
T1.0

PROJECT NUMBER:
IHF25018



- GENERAL NOTES**
- A REFER TO FINISH SCHEDULE, PLAN AND ELEVATIONS FOR FINISH SPECS.
 - KEY NOTES:**
 - 1 NEW BOOTHS PER FURNITURE PLAN, BY MILLWORK
 - 2 NEW TABLES AND CHAIRS PER FURNITURE PLAN, BY MILLWORK
 - 3 EXTEND BAR TOP AND WALL AND PROVIDE PLUMBING AND ELECTRICAL AS REQUIRED FOR NEW EQUIPMENT. RE: FOOD SERVICE DRAWINGS
 - 4 MODIFY BAR TOP AND WALL TO PROVIDE ADA BAR SEATING. PROVIDE PLUMBING AND ELECTRICAL AS REQUIRED FOR NEW EQUIPMENT.
 - 5 NEW BAR COUNTER, RE: FS FOR EQUIPMENT ELECTRICAL AND PLUMBING
 - 6 NEW BENCH SEATING PER FURNITURE PLAN, BY MILLWORK
 - 7 NEW BAR SEATING PER FURNITURE PLAN, BY MILLWORK
 - 8 IHOP CALIFORNIA HERITAGE DECOR SHELVING UNIT
 - 9 STRIP, PREP AND STAIN WALL CAP AND PLASTERS ST-1 ONYX
 - 10 NEW RESTROOM DOORS AS SCHEDULED
 - 11 ROLLER WINDOW SHADE - BL-1
 - 12 PREPARE EXISTING WALLS FOR NEW FINISHES
 - 13 CLEAN EXISTING FINISHES, REPAIR/REPLACED DAMAGED MATERIALS WITH MATCHING, REFER TO A1.0 KITCHEN EQUIPMENT PLAN FOR BOH AREA
 - 14 NEW 2 FAUCET LAVATORY SINK. MERIDIAN WASH BASIN. MERIDIAN EDGE, SERIES 3802 WHITE, CORTERRA 48" LENGTH. PROVIDE TELSLSO POLISHED CHROME TOUCHLESS FAUCET BY TOTO OR APPROVED EQUAL
 - 15 NEW HAND RAILS TO COMPLY WITH 505.10.1

- DECOR SCHEDULE:**
- AW-4 APPLEBEE'S LOGO WOOD BLOCK
 - AW-5 APPLEBEE'S CUTTING BOARD ARTWORK
 - AW-6 APPLEBEE'S "POURING SINCE" GRAPHIC
 - AW-13 BRAND WALL PAPER; TO GO GRAPHIC RED OR SEPIA TONE
 - AW-19 APPLEBEE'S STATE MAP GRAPHIC ART
 - AW-20 LOCALIZED WALL MURAL (VINYL WALL COVERING)
 - AW-21 APPLEBEE'S OUR TEAMS -OR- HERE'S TO THE REGULARS
 - AW-24 IHOP LOGO SIGN ON BEAM
 - AW-25 APPLEBEE'S LOGO SIGN ON BEAM
 - AW-26 IHOP LARGE FORMAT COLLAGE MURAL
 - AW-27 IHOP LIFESTYLES FRAMED ARTWORK
 - AW-28 IHOP FIXED SHUTTERS
 - AW-31 IHOP ZIG-ZAG GRAPHIC AT FACE OF DROP SOFFIT
 - AW-33 IHOP CALIFORNIA HERITAGE POSTER
 - AW-34 MENS RESTROOM WALL GRAPHIC
 - AW-35 WOMENS RESTROOM WALL GRAPHIC
 - AW-81-W "RESTROOM" WALL SIGN
 - SGN-121-W MENS RESTROOM DOOR SIGN
 - SGN-131-W WOMENS RESTROOM DOOR SIGN
 - SGN-281-T LOCAL CITY DIMENSIONAL NEON SIGN BY SIGN COMPANY
 - SGN-25 APPLEBEE'S CROPPED APPLE STENCIL
 - NLED-7 30X30 NEON WALL ART - IHOP (PROVIDE POWER IN WALL)

SCHEDULE LEGEND

TAG	ITEM	MANUFACTURER - SUPPLIER
FLOOR		
FL-5	DESIGN: ART - GEOMETRIC GRAY	EMSER
FL-7	PORCELAIN TILE COTTO MEDLEY BLUE	CREATIVE MATERIALS CORP. DOUG SALATINO 518.713.5371
FL-8	IRON GREY PORCELAIN TILE	DALTILE
FL-10	WILLOW BEND TILE (APPLEBEE'S)	DALTILE
FL-12	OAK TRAIL TILE (IHOP SIDE)	DALTILE
DM-1	DOOR MAT - DARK BROWN	MATTERS INC.
BASE		
B-1A	6" RUBBER BASE-BURNT UMBER	JOHNSONITE
TS-7	SCHLUTER COVE BASE PROFILE	SCHLUTER
TRANSITION STRIPS		
TS-3	SCHLUTER SCHIENE	SCHLUTER
WAINSCOT AND WALLS		
TL-1	ARCTIC WHITE	DALTILE
TL-2	PALOMINO STACKED	DALTILE
SS	STAINLESS STEEL PANELS	BY K.E.C.
PL-1	CHOCOLATE MALT LAMINATE	PANOLAM 612.618.4757 TRICIA RONGITSCH
PL-2	STANDARD FRP - WHITE	MARLITE
PL-5	IVORY BIRCH LAMINATE	WILSONART
INTERIOR PAINT		
PT-1	HEARTHROB (LATEX SATIN)	SHERWIN WILLIAMS
PT-3	RARE GRAY (LATEX SATIN)	SHERWIN WILLIAMS
PT-5	BLACK OF NIGHT (LATEX SATIN)	SHERWIN WILLIAMS
PT-6	HIGH REFLECTIVE WHITE (LATEX SATIN)	SHERWIN WILLIAMS
PT-7	TRICORN BLACK (LATEX SATIN)	SHERWIN WILLIAMS
PT-8	URBANE BRONZE (LATEX SATIN)	SHERWIN WILLIAMS
PT-9	SNOWBOUND (LATEX SATIN)	SHERWIN WILLIAMS
PT-14	FIREWEED (LATEX SATIN)	SHERWIN WILLIAMS
PT-16	FAUX CEMENT PAINT	SHERWIN WILLIAMS
MISC. INTERIOR		
BL-1	WINDOW SHADE BLACK/BLACK	ROLL-A-SHADE
SS-1	CORIAN BAR COUNTER TOP	CORIAN
SS-2	SILESTONE COUNTER TOP	SILESTONE
ST-1	WOOD STAIN - ONYX	MINWAX
TS-4	FINE CORNER BEAD	SCHLUTER
TS-5	TERMINATION SET CAP	LONGBOARD ARCHITECTURAL PRODUCT
TS-6	CORNER SET CAP	LONGBOARD ARCHITECTURAL PRODUCT
RR-1	PARTITION PANELS CHARCOAL GRAY	SCRANTON - BARRY BRYANT 800.459.7099
WC-1	WALL COVERING - GREENERY	MUTUM VEGETAL
FURNITURE/MILLWORK FINISHES		
PL-4	MAPLE WOODLINE LAMINATE	FORMICA
ST-2	WOOD STAIN - WEATHERED OAK	FURNITURE/MILLWORK
ST-5	WOOD STAIN - DARK BROWN	FURNITURE/MILLWORK
ST-6	WOOD STAIN - DARK BISTRO	LOCAL TIMBER SUPPLIER
ST-7	WOOD STAIN - DARK WALNUT	LOCAL TIMBER SUPPLIER
ST-8	WOOD STAIN - GRIZZLY GRAY	LOCAL TIMBER SUPPLIER
WD-10	NATURAL OAK WOOD	LOCALLY SUPPLIED



NOTED FLOOR PLAN 1/4"=1'-0" 1

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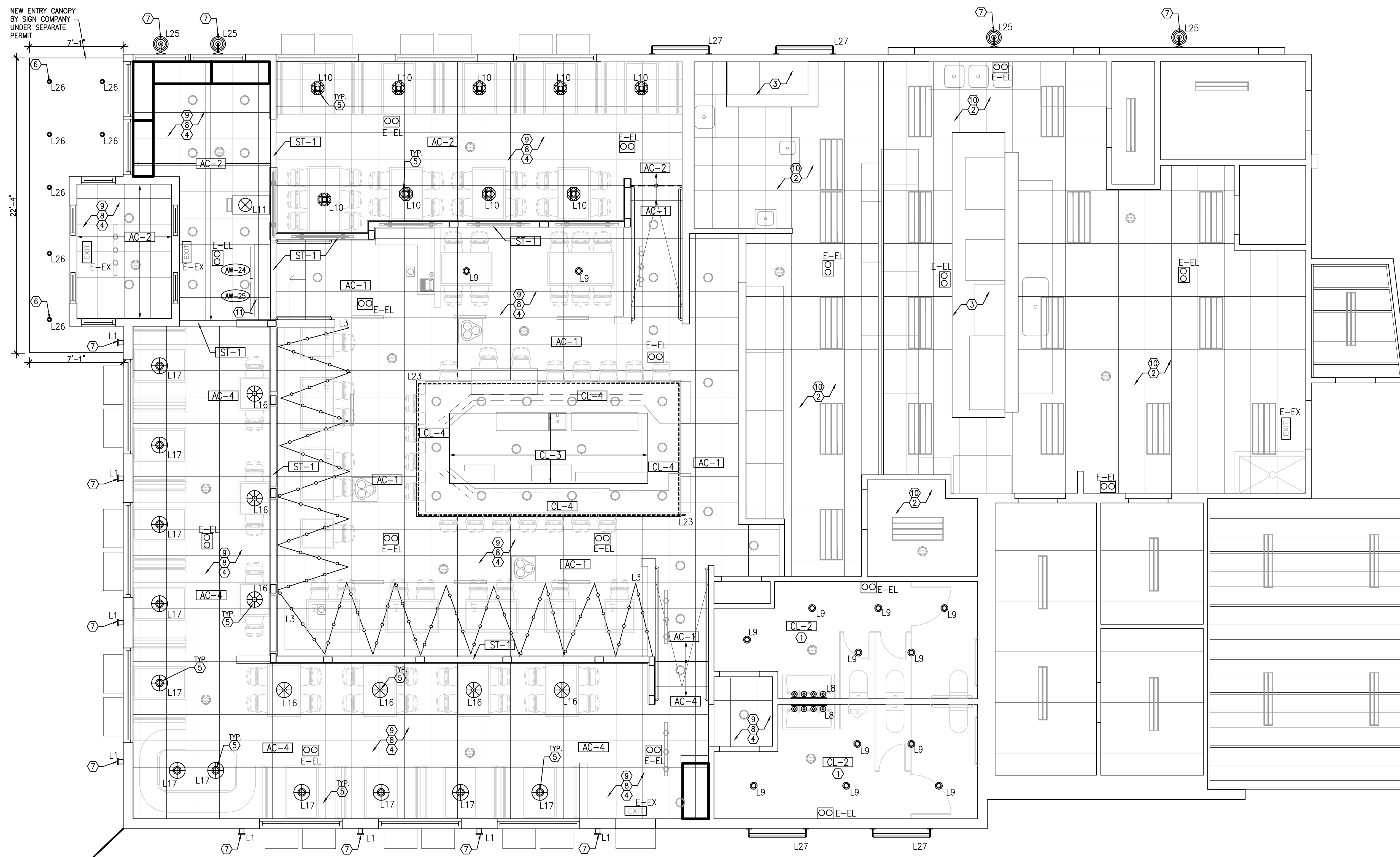


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NOTED FLOOR PLAN

SHEET NUMBER:
A1.1

PROJECT NUMBER:
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LIGHTING LEGEND

INDOOR				
SYMBOL	TAG	LIGHT TYPE	MANUF/MODEL	VENDOR
	L-3	DECORATIVE GARLAND LIGHT	AMERICAN LIGHTING FIVE SWITCH RECESSED SPRING LIGHT COLOR: COLOR CHANGING MODEL: NO. CL-PLS2-MS-24-48-BK	CITY LIGHTING
	L-8	DECORATIVE MIRROR LAMP	CHAWARRI LIGHTING BATHROOM VANITY 4 LAMP MODEL: NO. IVL752A4MBKW	CITY LIGHTING
	L-9	RECESSED DOWNLIGHT	ELITE LED LIGHTING 8" DOWNLIGHT MODEL: NO. LDR-AT-DIMTR-120-RL-66-90X-DIMTR-120-27K-80-90-WWH	CITY LIGHTING
	L-10	DECORATIVE CORD MOUNT PENDANT	HILITE MANUFACTURING CUSTOM PENDANT MODEL: NO. H-CL-PF-RD CAGE LIGHT DIMMABLE COLOR: BLACK	CITY LIGHTING
	L-11	DECORATIVE CORD MOUNT RED DRUM PENDANT	PRENTALUX PDL-RTD-144390 ABOVE HOIST STAND	CITY LIGHTING
	L-16	DECORATIVE CORD MOUNT PENDANT	HILITE MANUFACTURING CUSTOM PENDANT MODEL: NO. H-CL-PF-RD-1	CITY LIGHTING
	L-17	DECORATIVE CORD MOUNT PENDANT	HILITE MANUFACTURING CUSTOM PENDANT MODEL: NO. H-CL-PF-RD-2	CITY LIGHTING
	L-22	TRACK AND TRACK HEADS	WAC LIGHTING BLACK TRACK HEADS MODEL: NO. HTR-720-BK	CITY LIGHTING
	L-23	TAPE LIGHT	GM LIGHTING SWIFT MODEL: NO. LTR-P-3.0W-30K-16	CITY LIGHTING
	E-EX	DIRECTIONAL EXIT SIGN	EXISTING TO REMAIN	---
	E-EL	EMERGENCY LIGHTING	EXISTING TO REMAIN	---

OUTDOOR

	L-1	WALL SCONCE	UPDOWN EXTERIOR WALL SCONCE COLOR: BRONZE SUPPLIER: WAC Lighting MODEL: WS16481482ZT	
	L-24	RED LED STRIP	RED 3000°K IP65	
	L-25	GOOSENECK FIXTURE	WALL FIXTURE VINTAGE BARN WHITE FINISH (HOP TERRACE) BLACK FINISH (TO GO ENTRANCE) SUPPLIER: WAC Lighting MODEL: WS16481482ZT	
	L-26	DAMP RATED RECESSED DOWNLIGHT	APOGEE LIGHTING 8" DOWNLIGHT MODEL: NO. IP600-4-30-18-STD PROVIDE 1/8" OPTION AT ENTRY DOOR	CITY LIGHTING
	L-27	LED LINEAR FIXTURE	BARTCO BC816-4-50-RNW-R-L-A-WBR-SN-ESS-MODGLARE	RESTAURANT LIGHTING CONCEPTS

GENERAL NOTES

- A ALL A/C GRILLS, SPEAKERS, ETC. TO BE PAINTED TO MATCH ADJACENT CEILING.
- B REFER TO LIGHT FIXTURE SCHEDULE FOR ALL NEW LIGHT FIXTURES.
- ① **KEY NOTES:**
 - 1 EXISTING GYP. BD. PAINT AS SCHEDULED
 - 2 EXISTING LAY IN CEILING, CLEAN TILES IF POSSIBLE, REPLACE ANY DAMAGED TILES AND GRID AS REQ'D
 - 3 EXISTING EXHAUST HOOD
 - 4 NEW CEILING TILES AS SCHEDULED, PAINT GRID TO MATCH
 - 5 NEW PENDANT LIGHT FIXTURE AS SCHEDULED
 - 6 NEW CAN LIGHT FIXTURE AS SCHEDULED
 - 7 NEW EXTERIOR WALL SCONCE FIXTURE AS SCHEDULED
 - 8 CLEAN EXISTING HVAC DEVICES, TYP.
 - 9 EXISTING LIGHT FIXTURE. RELAMP AS REQUIRED AND ENSURE PROPER FUNCTION, TYP.
 - 10 CEILING TILES THIS AREA TO BE VINYL FACED, FOOD SERVICE APPROVED, COLOR TO MATCH ADJACENT CEILING TILES AS SCHEDULED
 - 11 GC BUILT SIGN ON LEDGE BEAM SUSPENDED FROM STRUCTURE ABOVE.

FINISH SCHEDULE

INTERIOR PAINT

PT-1	HEARTHROB (LATEX SATIN)	SHERWIN WILLIAMS
PT-3	RARE GRAY (LATEX SATIN)	SHERWIN WILLIAMS
PT-5	BLACK OF NIGHT (LATEX SATIN)	SHERWIN WILLIAMS
PT-6	HIGH REFLECTIVE WHITE (LATEX SATIN)	SHERWIN WILLIAMS
PT-7	TRICORN BLACK (LATEX SATIN)	SHERWIN WILLIAMS
PT-8	URBANE BRONZE (LATEX SATIN)	SHERWIN WILLIAMS
PT-9	SNOWBOUND (LATEX SATIN)	SHERWIN WILLIAMS
PT-14	FIREWEED (LATEX SATIN)	SHERWIN WILLIAMS
PT-16	FAUX CEMENT PAINT	SHERWIN WILLIAMS
PT-22	MAJOR BLUE (LATEX SATIN)	SHERWIN WILLIAMS

CEILING

AC-1	LAY-IN CEILING-FROST FLAT BLACK	LOCAL USC DISTRIBUTOR 877-874-4200
AC-2	LAY-IN CEILING-FROST CHARCOAL	LOCAL USC DISTRIBUTOR 877-874-4200
AC-4	LAY-IN CEILING-FROST WHITE	LOCAL USC DISTRIBUTOR 877-874-4200
CL-2	PTD GYP CLG-SNOWBOUND PT-9	SHERWIN WILLIAMS
CL-3	PTD GYP CLG-WHITE PT-6	SHERWIN WILLIAMS
CL-4	PTD GYP CLG - RED PT-14	SHERWIN WILLIAMS

NOTE: EXISTING EGRESS PATHS, DOORS AND EMERGENCY LIGHTING SYSTEMS TO REMAIN UNCHANGED.

ARCHITECT:
DAVID SCOTT WINDLE, AIA

6201 CAMPUS CIRCLE DRIVE E
IRVING, TX 75063
PHONE: 972.870.1288
E-MAIL: ksterling@fusion-ae.com

CLIENT:
APPLE AB ENTERPRISES, INC.
7006 SUNSET BLVD.
HOLLYWOOD, CA 90028
www.yourhop.com

LICENSED ARCHITECT
DAVID SCOTT WINDLE
NO. C 19513
REN 6.30.25
STATE OF CALIFORNIA
08.18.2025
ISSUE FOR PERMIT

APPLEBEE'S - IHOP
UKIAH, CA
1201 AIRPORT PARK BLVD.
UKIAH, CA 95482

APPLEBEE'S AB ENTERPRISES, INC.
7006 SUNSET BLVD.
HOLLYWOOD, CA 90028

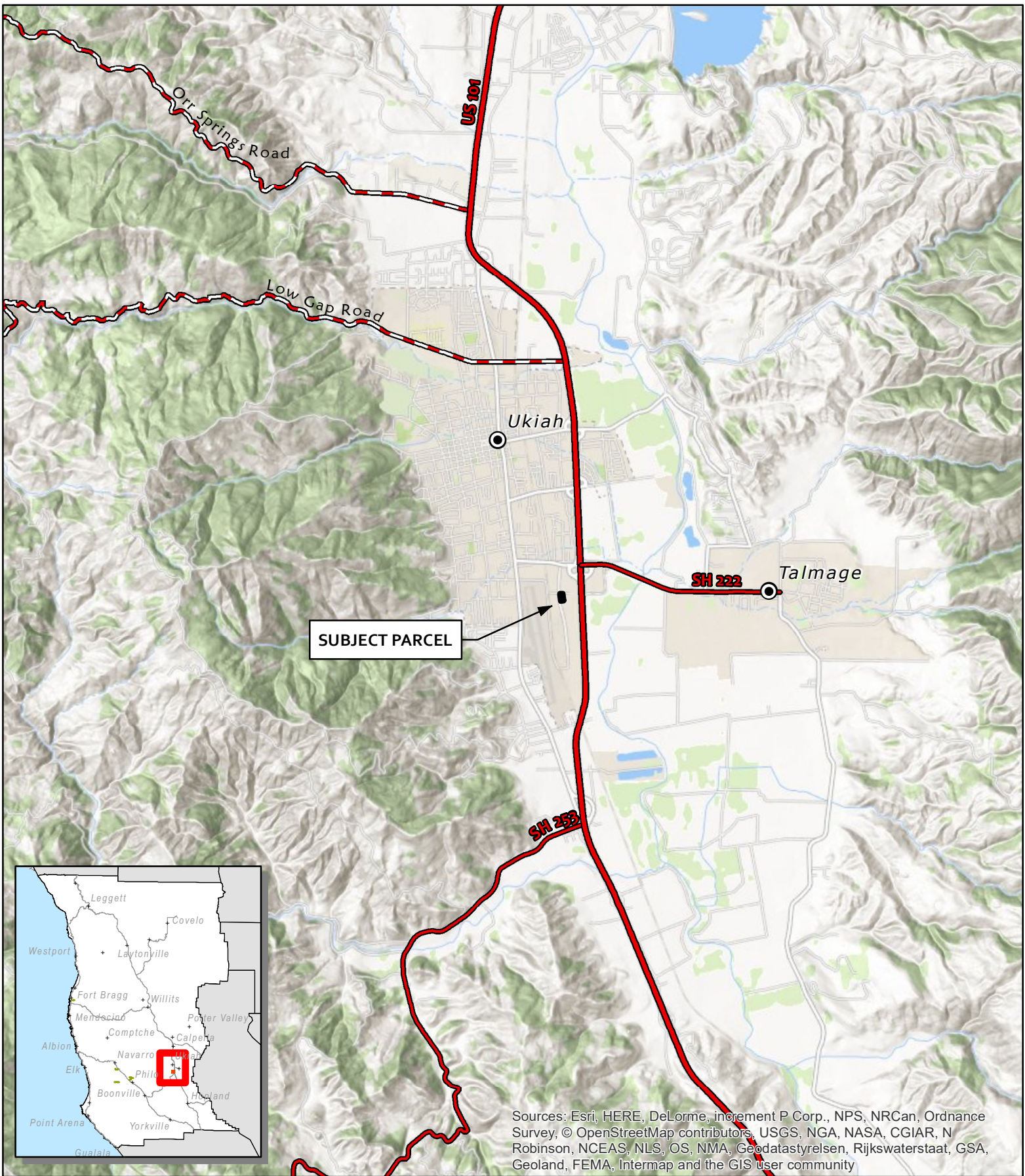
Applebee's
GRILL + BAR
ihop

DATE	DESCRIPTION
08.18.25	ISSUE FOR PERMIT

SHEET TITLE:
NOTED REFLECTED CEILING PLAN

SHEET NUMBER:
A1.4

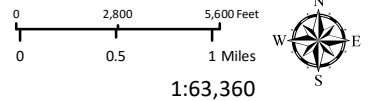
PROJECT NUMBER:
IHF25018



Sources: Esri, HERE, DeLorme, increment P Corp., NPS, NRCAn, Ordnance Survey, © OpenStreetMap contributors, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community

CASE:
OWNER: APPHOP 2 CA LLC
APN: 180-080-41
APLCT:
AGENT:
ADDRESS: 1201 Airport Park Blvd.

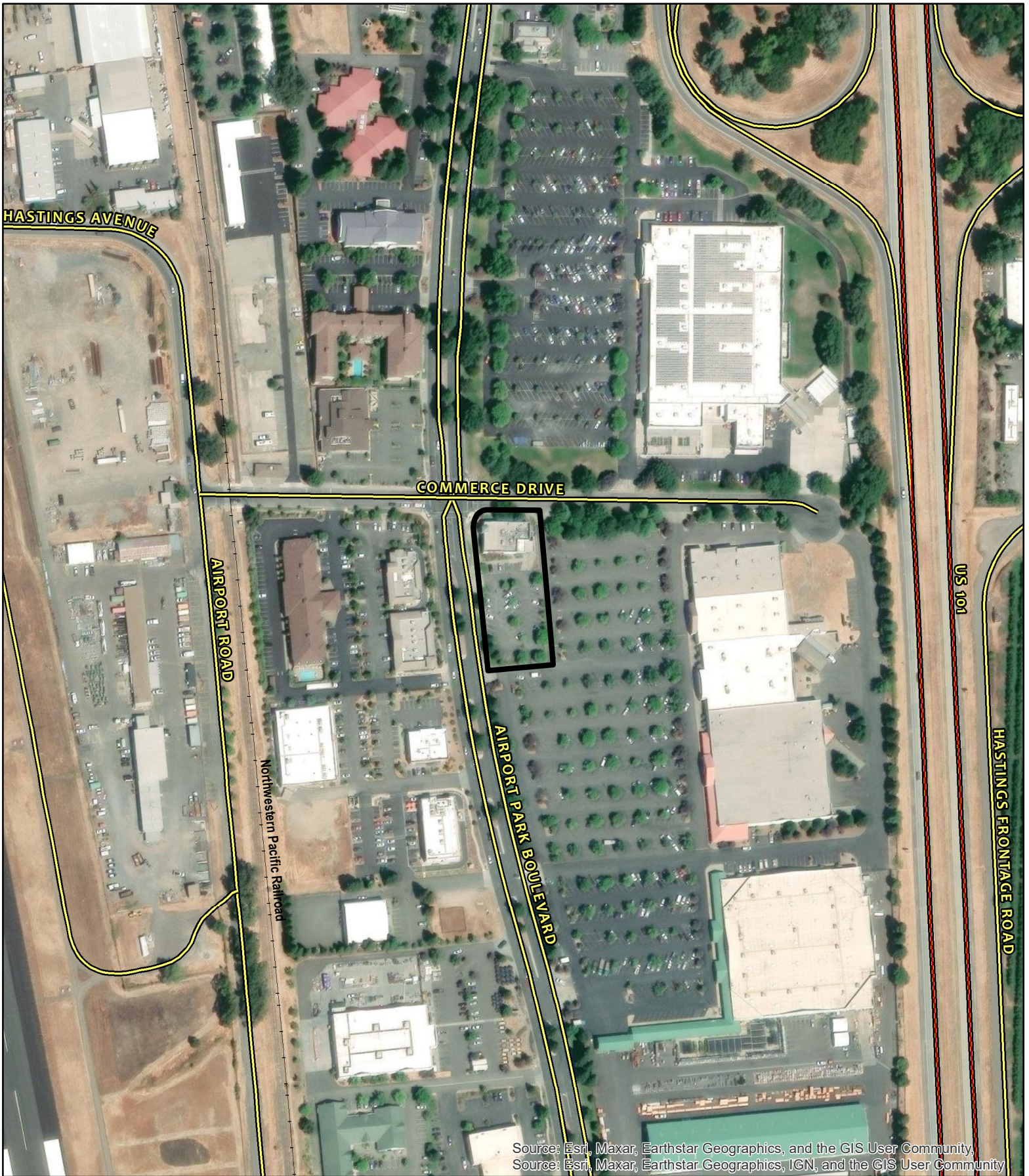
-  Major Towns & Places
-  Highways
-  Major Roads



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
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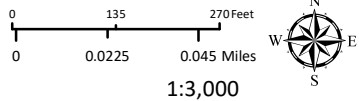
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 Source: Esri, Maxar, Earthstar Geographics, IGN, and the GIS User Community

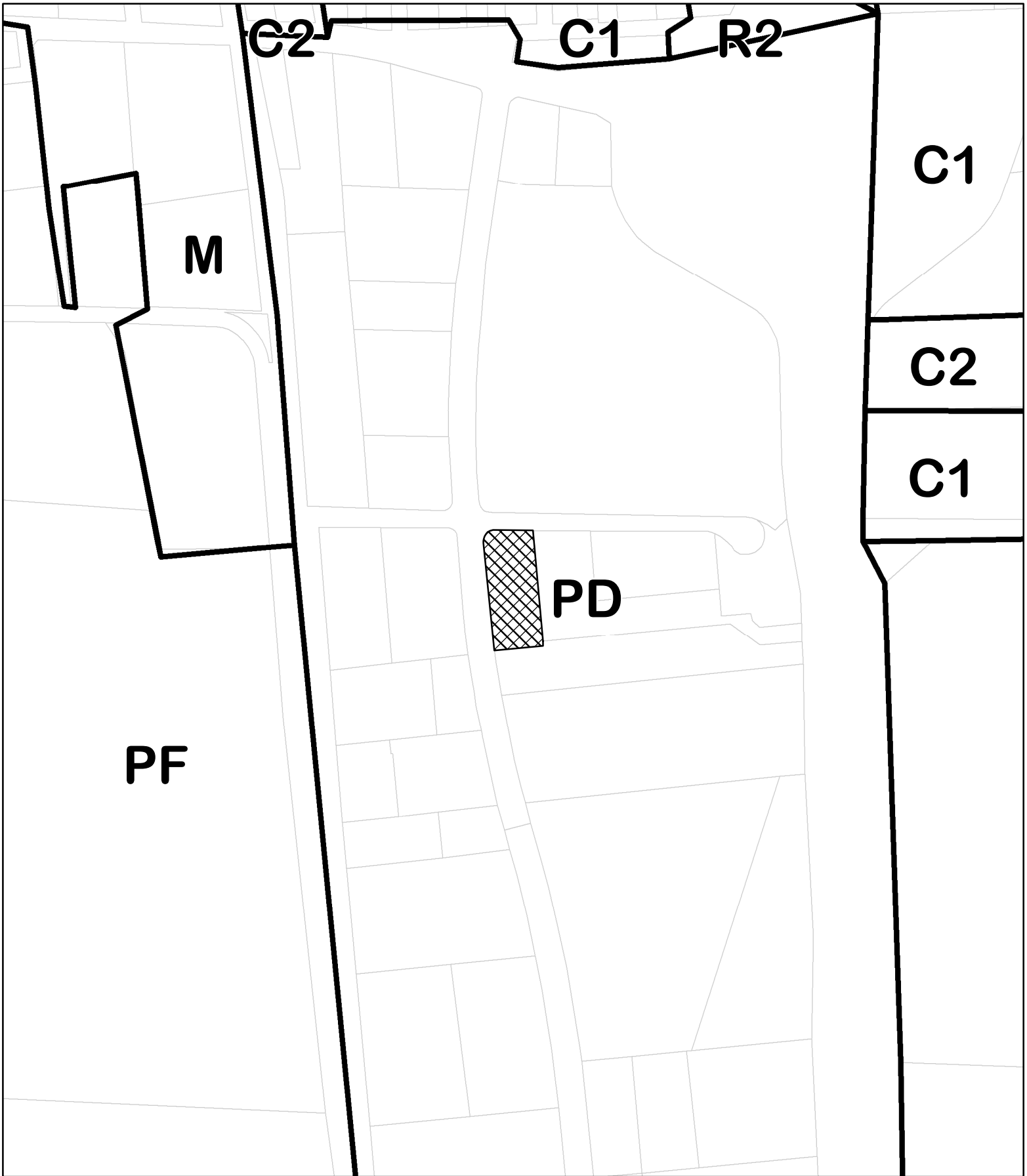
CASE:
OWNER: APPHOP 2 CA LLC
APN: 180-080-41
APLCT:
AGENT:
ADDRESS: 1201 Airport Park Blvd.

-  Highways (2017)
-  Public Roads
-  Railroads




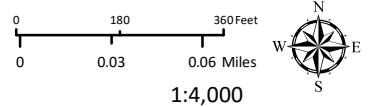
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AERIAL IMAGERY

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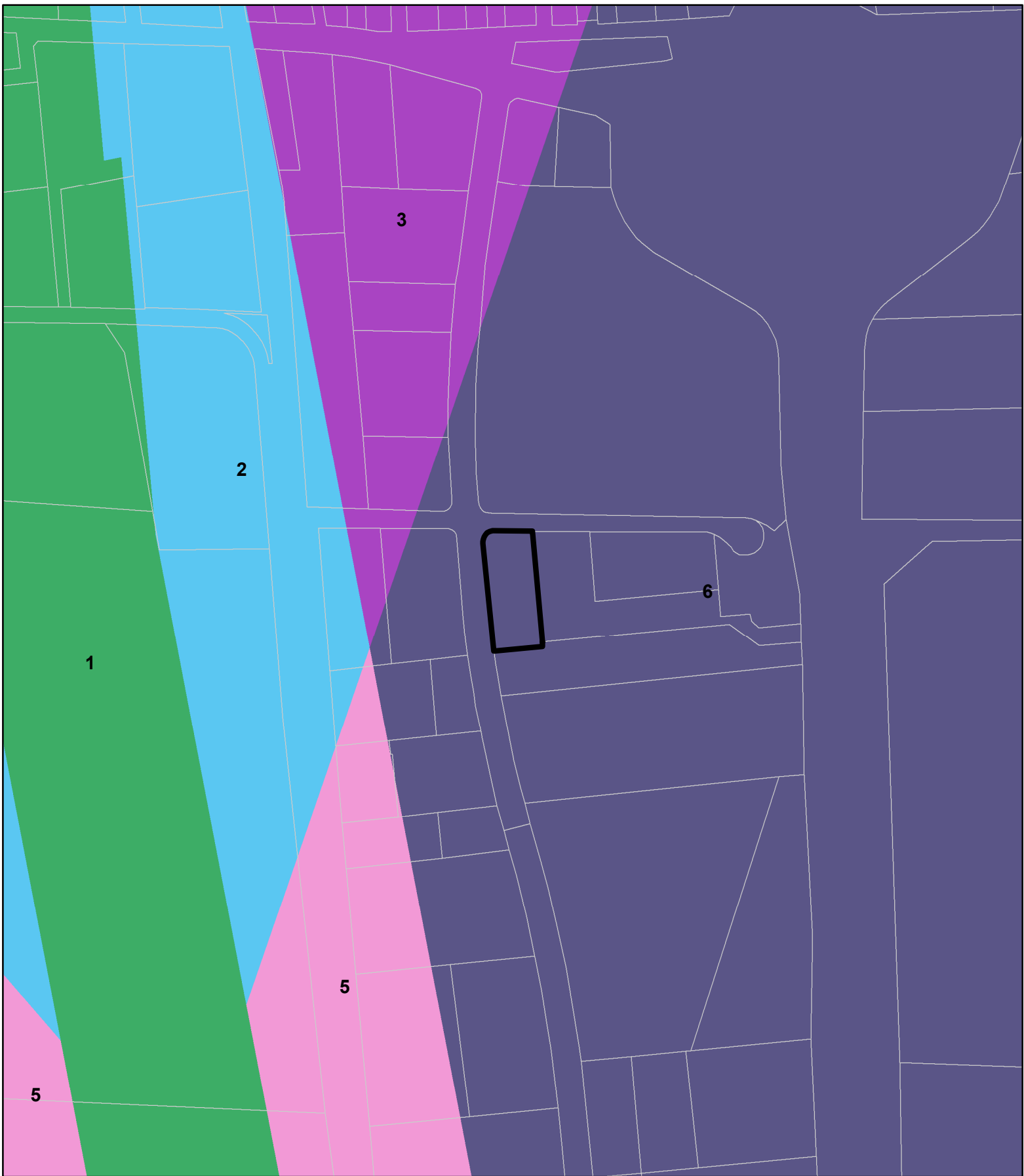
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OWNER: APPHOP 2 CA LLC
APN: 180-080-41
APLCT:
AGENT:
ADDRESS: 1201 Airport Park Blvd.

 Assessor's Parcels

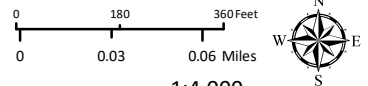


ZONING

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CASE:
OWNER: APPHOP 2 CA LLC
APN: 180-080-41
AGENT:
ADDRESS: 1201 Airport Park Blvd.




1:4,000
AIRPORT ZONES

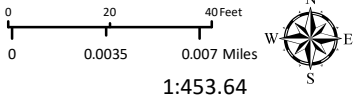
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CASE:
OWNER: APPHOP 2 CA LLC
APN: 180-080-41
APLCT:
AGENT:
ADDRESS: 1201 Airport Park Blvd.

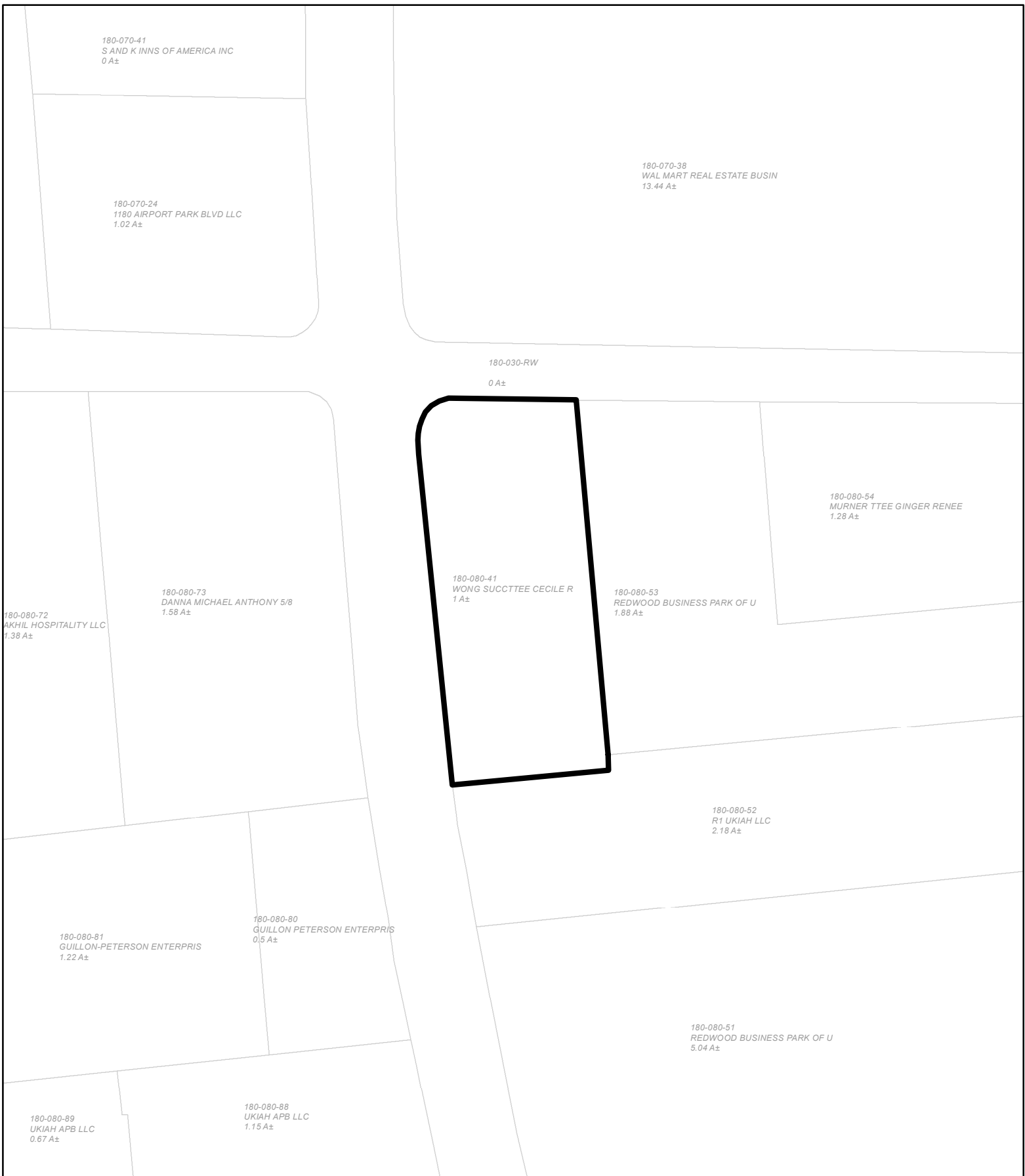
 Public Roads




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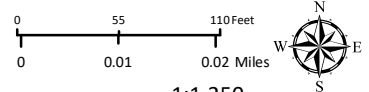
AERIAL IMAGERY

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CASE:
OWNER: APPHOP 2 CA LLC
APN: 180-080-41
APLCT:
AGENT:
ADDRESS: 1201 Airport Park Blvd.

 Assessors Parcels



1:1,250

ADJACENT PARCELS

**THIS MAP AND DATA ARE PROVIDED WITHOUT WARRANTY OF ANY KIND.
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October 24, 2011

Cory Tunnell
Entera Branding
1200 Entera Drive
Panama City, FL 32401

Re: Applebee's 1201 Airport Park Blvd., Ukiah
File No. 11-15-SDP-PC

Dear: Mr. Tunnell,

The Zoning Administrator on October 20, 2011, reviewed your request for approval of a Site Development Permit to allow exterior modifications to the existing Applebee's at 1201 Airport Park Boulevard. The modifications include new awnings and new signage. It was the action of the Zoning Administrator to approve the project subject to the following findings and conditions.

SITE DEVELOPMENT PERMIT FINDINGS TO ALLOW EXTERIOR MODIFICATIONS AND SIGN MODIFICATIONS TO THE APPLEBEE'S RESTAURANT AT 1201 AIRPORT PARK BOULEVARD, APN 180-080-41

The following findings are supported by and based on information contained in this staff report, the application materials and documentation, and the public record.

1. The proposed project, as conditioned, is consistent with the goals and policies of the General Plan as described in the staff report.
2. The proposed project, as conditioned, is consistent with the uses allowed in the Retail Commercial designation of the Airport Industrial Park Planned Development. The existing restaurant received a use permit in 2001 (File No. 01-04) and the proposed project will not change the use.
3. The proposed project, as conditioned, is consistent with the development standards for the Airport Park Industrial Park Planned Development as shown in Table 1 of the Staff Report.

1201 Airport Park Blvd.
APN 180-080-41
File No. 11-15-SDP-ZA

4. The proposed project site is currently developed and the existing footprint of the building and the site configuration will not change as a result of this project. Therefore the project will not create a hazardous or inconvenient vehicular or pedestrian traffic pattern
5. The accessibility of the existing off-street parking and driveway will not change as a result of the proposed project therefore no hazardous or inconvenient conditions will be created on adjacent streets.
6. The site contains landscaping which was required with the original use permit when the building was constructed. The landscaping is well maintained and no new landscaping is proposed as part of this project.
7. The existing footprint will not change as a result of the proposed modifications therefore the project will not restrict or cut out light and air on the property, or on the property in the neighborhood; nor will it hinder the development or use of buildings in the neighborhood, or impair the value thereof.
8. The site is not located in or adjacent to a residential zoning district.
9. The site is located in a commercial area developed with an existing restaurant and parking area, no water courses, wildlife, wildlife habitat, floodway or flood plain or other environmentally sensitive areas are present.
10. The proposed exterior modifications are consistent with the development standards of the Airport Park Industrial Park Planned Development. The new awning structures and signs will add articulation and variety to the building while adding visual interest to the neighborhood
11. The proposed project is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Article 19 Section 15311, Class 11, construction or replacement of minor structures accessory to existing commercial facilities and Class 11 (a) replacement of on-premise signs based on the following:
 - A. The proposed project involves modifications to on-premise signs and awnings;
 - B. The project is not located within an environmentally sensitive area in that the site is located in an urban area that includes existing commercial uses.
 - C. The project site is located in an area where all public services and facilities are available.
12. Notice of the proposed project was provided in the following manner as required by the Zoning Ordinance:
 - A. posted in three places on the project site on October 6, 2011;
 - B. mailed to property owners within 300 feet of the project site on October 6, 2011;

1201 Airport Park Blvd.

APN 180-080-41

File No. 11-15-SDP-ZA

C. published in the Ukiah Daily Journal on October 9, 2011.

**SITE DEVELOPMENT PERMIT CONDITIONS OF APPROVAL TO ALLOW EXTERIOR
MODIFICATION AND SIGN MODIFICATIONS TO THE APPLEBEE'S RESTAURANT AT
1201 AIRPORT PARK BOULEVARD, APN 180-080-41**

1. Approval is granted to make exterior modifications to the existing Applebee's Restaurant based on the project description submitted to the Planning and Community Development Department and as shown on the site plan date stamped September 26, 2011, except as modified by the following conditions of approval.
2. Application for and approval of a building permit is required prior to installation of the awnings and signs.
3. Application for and approval of a sign permit from the Planning and Community Development Department is required prior to installation of signs.
4. Any landscaping damaged during construction of project shall be replaced in kind prior to building permit final.
5. On plans submitted for building permit these conditions of approval shall be included as notes on the first sheet.

Standard City Conditions of Approval

6. Construction hours are limited to the hours of 7:00 a.m. to 7:00 p.m. Monday through Saturday.
7. The property owner shall obtain and maintain any permit or approval required by law, regulation, specification or ordinance of the City of Ukiah and other Local, State, or Federal agencies as applicable. All construction shall comply with all fire, building, electric, plumbing, occupancy, and structural laws, regulations, and ordinances in effect at the time the Building Permit is approved and issued.
8. All conditions of approval that do not contain specific completion periods shall be completed prior to building permit final.
9. Building, Grading or other required Permits shall be issued within two years after the effective date of the Site Development Permit, or the discretionary actions granted by the permit shall expire. In the event the required Permits cannot be issued within the stipulated period from the project approval date, a one year extension may be granted by the Director of Planning if no new circumstances affect the project which otherwise would render the original approval inappropriate or illegal. It is the applicant's

1201 Airport Park Blvd.

APN 180-080-41

File No. 11-15-SDP-ZA

responsibility in such cases to propose the one-year extension to the Planning Department prior to the two-year expiration date.

10. Except as otherwise specifically noted, the Site Development Permit shall be granted only for the specific purposes stated in the action approving the Site Development Permit and shall not be construed as eliminating or modifying any building, use, or zone requirements except to such specific purposes.
11. The approved Site Development Permit may be revoked through the City's revocation process if the approved project related to the Site Development Permit is not being conducted in compliance with the stipulations and conditions of approval; or if the project is not established within two years of the effective date of approval; or if the established land use for which the permit was granted has ceased or has been suspended for twenty four (24) consecutive months.
12. No permit or entitlement shall be deemed effective unless and until all fees and charges applicable to this application and these conditions of approval have been paid in full.
13. This approval is contingent upon agreement of the applicant and property owner and their agents, successors and heirs to defend, indemnify, release and hold harmless the City, its agents, officers, attorneys, employees, boards and commissions from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void or annul the approval of this application. This indemnification shall include, but not be limited to, damages, costs, expenses, attorney fees or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in connection with the City's action on this application, whether or not there is concurrent passive or active negligence on the part of the City. If, for any reason any portion of this indemnification agreement is held to be void or unenforceable by a court of competent jurisdiction, the remainder of the agreement shall remain in full force and effect.

Decisions of the Zoning Administrator, including the imposition of Conditions of Approval, may be appealed to the City Council no later than October 31, 2011 provided the interested party attended the hearing and stated his or her position on the project appealed. Decisions of the City Council are final in terms of City of Ukiah administrative review or relief. However, pursuant to §1094.6 of the California Code of Civil Procedure, an individual may have the right to a review of the City Council's decision by a court of law.

As acknowledgement of receipt of your project's Conditions of Approval please sign and return a copy of this letter.

1201 Airport Park Blvd.

APN 180-080-41

File No. 11-15-SDP-ZA

If you have any questions, please feel free to contact me at (707) 463-6206 or jfaso@cityofukiah.com.

Sincerely,


Jennifer Faso
Associate Planner

I _____, the Applicant/Owner have read and agree to the above Conditions of Approval.

Applicant/Owner Signature

Date

C: Zach Sylvia, 930 Executive Way, Suite 200, Redding, CA 96002

1201 Airport Park Blvd.

APN 180-080-41

File No. 11-15-SDP-ZA



**CITY OF UKIAH
ZONING ADMINISTRATOR
PUBLIC HEARING
Conference Room 1
October 20, 2011
2:00 PM**

AGENDA

1. CALL TO ORDER **CONFERENCE ROOM # 1, UKIAH CIVIC CENTER
300 SEMINARY AVENUE, UKIAH, CALIFORNIA**

2. SITE VISIT VERIFICATION

3. APPROVAL OF MINUTES
October 13, 2011

4. APPEAL PROCESS
All determinations of the Zoning Administrator regarding minor discretionary planning permits are final unless a written appeal, stating the reasons for the appeal, is filed with the City Clerk within ten (10) days of the date the decision was made. An interested party may appeal only if he or she appeared and stated his or her position during the hearing on the decision from which the appeal is taken. For matters heard at this meeting, the City Clerk will accept appeals no later than 5:00 PM on October 31, 2011.

5. VERIFICATION OF NOTICE

6. PUBLIC HEARING

A. Minor Site Development Permit 11-15-SDP-ZA, 1201 Airport Park Boulevard, APN 180-080-41. Request for approval of Site Development Permit to allow modifications to the exterior of the building. The request includes change to the exterior paint, modifications to the signs and new awnings that include LED lighting.

7. ADJOURNMENT

The City of Ukiah complies with ADA requirements and will attempt to reasonably accommodate individuals with disabilities upon request. If possible, please contact the City of Ukiah (707) 463-6200 at least 72 hours prior to the meeting time.



Community Development and Planning Department
300 Seminary Avenue
Ukiah, CA 95482
planning@cityofukiah.com
(707)463-6203

DATE: October 20, 2011
TO: Zoning Administrator
FROM: Jennifer Faso, Associate Planner *JF*
SUBJECT: Request for approval of a Site Development Permit to allow modifications to the exterior of the existing Applebee's Restaurant
1201 Airport Park Boulevard, APN 180-080-41
File No. 11-15-SDP-ZA

RECOMMENDATION

Staff recommends that the Zoning Administrator approve this request for a minor site development permit based on the draft findings and subject to the draft conditions of approval (see attachments 1 & 2).

BACKGROUND

In 2001 the Planning Commission approved a use permit (File No. 01-04) to allow the construction and operation of the Applebee's Restaurant at 1201 Airport Park Boulevard. The approval included a sign program and exterior paint color.

PROJECT DESCRIPTION

An application has been received from Entera Branding on behalf of Applebee's for a site development permit to allow exterior modifications to the existing restaurant located at 1201 Airport Park Boulevard, APN 180-080-41. The proposed modifications include:

- New Exterior paint color;
- New "Applebee's" channel letter wall signs on each elevation;
- New "Neighborhood" and "Bar & Grill" cabinet signs on the left and right elevation;
- New entrance canopy on the front elevation over the entry;
- New LED illuminated window awnings on front, left and right elevations; and
- New monument sign utilizing the existing base.

1 SETTING

2
3 The subject property is located at 1201 Airport Park Boulevard which is on the southeast corner
4 of Commerce Drive and Airport Park Boulevard. The project site is flat and contains an existing
5 4,062 square foot restaurant with associated parking and landscaping. The property is zoned
6 Planned Development, is part of the Airport Park Industrial Planned Development and is
7 surrounded by commercial uses.

8
9 STAFF ANALYSIS

10
11 **GENERAL PLAN.** The General Plan land use designation for the subject property is Master Plan
12 Area (MPA). This designation allows for a diversity of commercial land uses. The specific uses
13 that may occur are determined by the adopted Airport Industrial Park Planned Development
14 Ordinance. The proposed changes to the exterior of the building and signs will not change the
15 existing commercial use on the site and therefore will continue to be consistent with the General
16 Plan land use designation.

17
18 The project is also consistent with Economic Development Goal ED-1 to *support a strong local*
19 *economy* in that the project will continue to promote local business by allowing an existing
20 business to update their building which in turn may result in new and return business.

21
22 **ZONING.** The project site is zoned Planned Development (PD) and is located in the Airport
23 Industrial Park in an area identified as Retail Commercial. This zoning designation requires
24 approval of a Use Permit for restaurants. As previously noted Applebee's received Planning
25 Commission approval of a use permit in 2001 (File No. 01-04).

26
27 The table below summarizes the proposed and existing awnings and signs:
28

Table 1. Sign Analysis and Awning Description-- Proposed and Existing			
Sign Type	Location	Existing	Proposed
Awnings			
Awning Signs , Apple Graphic	Front Elevation Left Elevation Right Elevation	10.5 square feet	56.5 square feet per elevation Total of 169.5 square feet of apple graphic on awning counted towards sign area
Awning, no graphic	Front Elevation Left Elevation Right Elevation	The existing awning do not contain graphics.	330. 57 square feet of awning area that does not contain sign area.
Signs			
"Applebee's" channel letter wall sign	Front Elevation Left Elevation Right Elevation Rear Elevation	42.26 square feet per elevation Total 169.04 square feet	33.7 square feet per elevation Total 134.8 square feet
"Neighborhood" "Grill & Bar" cabinet sign	Left Elevation Right Elevation	26.6 square feet Total 53.2 square feet	21.24 square feet per elevation Total 42.48 square feet
Entry canopy	Front Elevation	N/A	6.13 square feet

"Neighborhood Bar and Grill "			Total 6.13 square feet
Monument Sign	Front	68.75 square feet	62.32 square feet
Total sign area		328.09 square feet	415.23 square feet
Total Sign Area Allowed - Airport Park Boulevard Commerce Drive		454 square feet 164 square feet	454 square feet 164 square feet
Total sign area allowed is based on one and one-half (½) square feet of sign area for every linear foot of parcel frontage. On corner lots the maximum allowable number of square footage is allowed for each street frontage. Z.O.Section2772 (1) (2).			
Total Sign Area allowed for entire parcel		618 square feet	618 square feet

1
2 The proposed project involves 748 square feet of modifications to the exterior of the building this
3 includes change to the signs and the awnings. The proposed change to the exterior paint color
4 is not included in the square footage because based on the original Use Permit's conditions of
5 approval discretionary review was not required to change the paint color. A Site Development
6 Permit, discussed below, is required to made the proposed changes to the signs and awnings.
7
8 **AIRPORT INDUSTRIAL PARK PLANNED DEVELOPMENT (AIP).** The development and design
9 requirements of the AIP are included in Ordinance 1098. Staff's analysis of the applicable AIP
10 standards and sign requirements is included below.
11
12

Table 2. Airport Industrial Park	
Zoning Regulations Per Ordinance 1098	Staff Analysis
Use	
Retail Commercial Designation : Restaurants are permitted uses and require a Use Permit	The existing use of the site is Applebee's Restaurant. A use permit was approved in 2001. The use of the site will not change as a result of this project.
AIP Development Standards	
The Airport Industrial Park Planned Development includes development standards for setbacks, building height, site area, and yard setbacks. Per the AIP Ordinance 1098 (page 9) the size and amount of signs shall generally comply with the requirements of the Ukiah Municipal Code.	The project site is developed with an existing restaurant The existing building footprint will not change as a result of this project. <u>Wall Signs:</u> The total amount of existing signs on the building is 259.34 square feet. The amount of sign area proposed for the new signs, including the apple logo on the awnings is 352.71 sq. ft. Based on the AIP, standards which defaults to the UMC, the subject parcel is allowed to have 454 square feet of sign area on the Airport Park Boulevard frontage and 164.01 square feet on the Commerce Drive frontage. However per the sign ordinance the total sign area for any frontage cannot exceed 500 square feet. The proposed signs included with this request are within the allowable sign area. <u>Monument Sign :</u> The proposed new monument sign will utilize the existing base. The new sign area of the monument sign will be 62.32 square feet as opposed to the existing 68.75 sq. ft.

3
Applebee's
1201 Airport Park Boulevard
Site Development Permit
File No. 11-15-SDP-ZA

Table 2. Airport Industrial Park

	<p>sign. The height of the new sign would be 5'-8" which is slightly shorter than the existing 6'-3" sign. The proposed height of the new sign is consistent with the requirements of the AIP and sign height previously approved by the Planning Commission for this site.</p> <p>See table above for analysis of proposed and existing sign area.</p>
<p>Per the AIP Ordinance 1098 (page 19) building modifications are allowed if the exterior modifications are designed to complement and harmonize with the design of the existing structure and surrounding development.</p> <p><u>Awnings:</u> New awnings are proposed for the front, left and right elevations.</p> <p><u>Entrance Canopy :</u> New canopy is proposed over the front door entrance.</p>	<p>The following Sherwin-Williams exterior paint colors are proposed:</p> <p>Main Wall – SW 7029 : Agreeable Gray” Accents- SW 7032 “Warm Stone” Metal Trim, Greenhouse Hood, Caps and Doors – SW 7048 “Urbane Bronze”</p> <p>The proposed colors are consistent with other exterior paint colors on surrounding properties. Specifically they are similar and will complement the following adjacent building: Branches, Sears, Walmart and Ukiah Retail Center.</p> <p><u>Awnings:</u> The awnings would be red and made of an ultra-matte flex material (an example of the material will be available at the hearing). There would be an apple graphic shown on the awnings that will be illuminated with LED lighting (See attachment 5, example photos).</p> <p>The total amount of new awnings proposed is 500.7 square feet, 169.5 square feet of the awning will be counted as sign area because this include the total amount of area used for the apple graphic which represents Applebee's.</p> <p>LED lighting would be installed on the front awning frame cross bar which is located 3" in front of the awning and will be directed towards the awning and building (see attachment 4) .</p> <p><u>Entrance Canopy:</u> A new entrance canopy is proposed to replace the existing awning over the front entrance. The canopy will extend out 3 feet and will note " Neighborhood Grill and Bar"</p>
<p>Lighting (Page 10) : Exterior lighting shall be subdued and of low wattage and shall enhance the building design.</p>	<p>The LED lighting associated with the awnings will be low wattage and directed at the awnings. The placement of the lights will not have an adverse impact on the adjacent neighbors because the lights will be directed towards the project site, not towards the sky or other properties.</p>

1
 2 **Site Development Permit.** The Airport Industrial Park Planned Development Ordinance 1098
 3 requires that all substantial exterior building modifications go through a Site Development
 4 Permit as prescribed in Article 20 of the Ukiah Municipal Code. Article 20 states that
 5 commercial projects that involve changes that are more than 150 square feet but less than
 6 1,000 square feet shall be reviewed by the Zoning Administrator. This project involves a total of
 7 748 square feet of modifications to the building. In order to approve a Site Development Permit,
 8 the findings included in Zoning Ordinance section 9263 (E) are required to be made. The
 9 required findings and staffs analysis are included in the table below:

4
 Applebee's
 1201 Airport Park Boulevard
 Site Development Permit
 File No. 11-15-SDP-ZA

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3

Table 2: Site Development Permit Analysis	
Site Development Permit Findings	Staff Analysis
<i>The proposed project is consistent with the goals and policies of the City General Plan.</i>	The proposed project is consistent with the General Plan as described in the General Plan section above.
<i>The location, size and intensity of the proposed project will not create a hazardous or inconvenient vehicular or pedestrian traffic pattern.</i>	The proposed project site is currently developed. The existing footprint of the building and the site configuration will not change as a result of this project. Therefore the project will not create a hazardous or inconvenient vehicular or pedestrian traffic pattern.
<i>The accessibility of off-street parking areas and the relation of parking areas with respect to traffic on adjacent street will not create a hazardous or inconvenient condition to adjacent or surrounding uses.</i>	Not Applicable The accessibility of the existing off-street parking and driveway will not change as a result of the proposed exterior modifications and new signs. Therefore no hazardous or inconvenient conditions will be created on adjacent streets.
<i>Sufficient landscaped areas have been reserved for purposes of separating or screening the proposed structure(s) from the street and adjoining building sites, and breaking up and screening large expanses of paved areas.</i>	Not Applicable The existing landscaping will not change as a result of the proposed modifications.
<i>The proposed development will not restrict or cut out light and air on the property, or on the property in the neighborhood; nor will it hinder the development or use of buildings in the neighborhood, or impair the value thereof.</i>	Not Applicable The existing footprint will not change as a result of the proposed modifications therefore the adjacent properties will not be hindered.
<i>The improvement of any commercial or industrial structure will not have a substantial detrimental impact on the character or value of an adjacent residential zoning district.</i>	Not Applicable The site is not located in or adjacent to a residential zoning district.
<i>The proposed development will not excessively damage or destroy natural features, including trees, shrubs, creeks, and the natural grade of the site.</i>	The site is located in a commercial area developed with an existing building and parking area, no water courses, wildlife, wildlife habitat, floodway or flood plain or other environmentally sensitive areas are present.
<i>There is sufficient variety, creativity, and articulation to the architecture and design of the structure(s) and grounds to avoid monotony and/or a box-like uninteresting external appearance.</i>	The proposed exterior modifications are consistent with the development standards of the Airport Park Industrial Park Planned Development Ordinance. The new awning structures and signs will add articulation and variety to the building while adding visual interest to the neighborhood.

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Based on the analysis included above and with the draft conditions of approval included in attachment 2, the project is consistent with the findings required for approval of a site development permit as included in attachment 1.

1 ENVIRONMENTAL REVIEW

2
3 The proposed project is exempt from the provisions of the California Environmental Quality Act
4 (CEQA) pursuant to Section 15311, Class 11, construction or replacement of minor structures
5 accessory to existing commercial facilities and Class 11 (a) replacement of on-premise signs
6 based on the following:

- 7
8 • The proposed project involves modifications to on-premise signs and awnings;
9 • The project is not located within an environmentally sensitive area in that the site is
10 located in an urban area that includes existing commercial uses.
11 • The project site is located in an area where all public services and facilities are available.

12 PUBLIC NOTICE

13 A notice of public hearing was provided in the following manner as required by the Ukiah
14 Municipal Code.

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18 • posted in three places on the project site on October 6, 2011;
19 • mailed to property owners within 300 feet of the project site on October 6, 2011; and
20 • published in the Ukiah Daily Journal on October 9, 2011.

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22 As of the writing of this staff report, staff has received no written correspondence in regards to
23 this project

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26 DECISION TIMELINE

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28 The proposed project is subject to the requirements of the Permit Streamlining Act (PSA). The
29 PSA requires that a decision be made on the project within 60 days of the application being
30 deemed complete. This application was submitted to the Planning and Community Development
31 Department on September 26, 2011 and was deemed complete on October 6, 2011. As such, a
32 decision must be made on the project no later than December 5, 2011. The applicant may
33 request a onetime extension of the decision timeline

34 **Attachments**

- 35
36 1. Draft Minor Site Development Permit Findings
37 2. Draft Minor Site Development Permit Conditions of Approval
38 3. Project Description submitted by applicant date stamped September 21, 2011
39 4. Plans submitted by applicant date stamped, September 26, 2011
40 5. Photos that show examples of similar awnings with LED lighting.

FINDINGS – SITE DEVELOPMENT PERMIT FINDINGS

**DRAFT SITE DEVELOPMENT PERMIT FINDINGS TO ALLOW EXTERIOR MODIFICATION
AND SIGN MODIFICATIONS TO THE APPLEBEE'S RESTAURANT AT 1201 AIRPORT
PARK BOULEVARD, APN 180-080-41**

The following findings are supported by and based on information contained in this staff report, the application materials and documentation, and the public record.

1. The proposed project, as conditioned, is consistent with the goals and policies of the General Plan as described in the staff report.
2. The proposed project, as conditioned, is consistent with the uses allowed in the Retail Commercial designation of the Airport Industrial Park Planned Development. The existing restaurant received a use permit in 2001 (File No. 01-04) and the proposed project will not change the use.
3. The proposed project, as conditioned, is consistent with the development standards for the Airport Park Industrial Park Planned Development as shown in Table 1 of the Staff Report.
4. The proposed project site is currently developed and the existing footprint of the building and the site configuration will not change as a result of this project. Therefore the project will not create a hazardous or inconvenient vehicular or pedestrian traffic pattern.
5. The accessibility of the existing off-street parking and driveway will not change as a result of the proposed project therefore no hazardous or inconvenient conditions will be created on adjacent streets.
6. The site contains landscaping which was required with the original use permit when the building was constructed. The landscaping is well maintained and no new landscaping is proposed as part of this project.
7. The existing footprint will not change as a result of the proposed modifications therefore the project will not restrict or cut out light and air on the property, or on the property in the neighborhood; nor will it hinder the development or use of buildings in the neighborhood, or impair the value thereof.
8. The site is not located in or adjacent to a residential zoning district.
9. The site is located in a commercial area developed with an existing restaurant and parking area, no water courses, wildlife, wildlife habitat, floodway or flood plain or other environmentally sensitive areas are present.

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- 10. The proposed exterior modifications are consistent with the development standards of the Airport Park Industrial Park Planned Development. The new awning structures and signs will add articulation and variety to the building while adding visual interest to the neighborhood

- 11. The proposed project is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Article 19 Section 15311, Class 11, construction or replacement of minor structures accessory to existing commercial facilities and Class 11 (a) replacement of on-premise signs based on the following:
 - A. The proposed project involves modifications to on-premise signs and awnings;
 - B. The project is not located within an environmentally sensitive area in that the site is located in an urban area that includes existing commercial uses.
 - C. The project site is located in an area where all public services and facilities are available.

- 12. Notice of the proposed project was provided in the following manner as required by the Zoning Ordinance:
 - A. posted in three places on the project site on October 6, 2011;
 - B. mailed to property owners within 300 feet of the project site on October 6, 2011;
 - C. published in the Ukiah Daily Journal on October 9, 2011.

DRAFT CONDITIONS OF APPROVAL – SITE DEVELOPMENT PERMIT

**DRAFT SITE DEVELOPMENT PERMIT FINDINGS TO ALLOW EXTERIOR MODIFICATIONS
AND SIGN MODIFICATIONS TO THE APPLEBEE'S RESTAURANT AT 1201 AIRPORT
PARK BOULEVARD, APN 180-080-41**

1. Approval is granted to make exterior modifications to the existing Applebee's Restaurant based on the project description submitted to the Planning and Community Development Department and as shown on the site plan date stamped September 26, 2011, except as modified by the following conditions of approval.
2. Application for and approval of a building permit is required prior to installation of the awnings and signs.
3. Application for and approval of a sign permit from the Planning and Community Development Department is required prior to installation of signs.
4. Any landscaping damaged during construction of project shall be replaced in kind prior to building permit final.
5. On plans submitted for building permit these conditions of approval shall be included as notes on the first sheet.

Standard City Conditions of Approval

6. Construction hours are limited to the hours of 7:00 a.m. to 7:00 p.m. Monday through Saturday.
7. The property owner shall obtain and maintain any permit or approval required by law, regulation, specification or ordinance of the City of Ukiah and other Local, State, or Federal agencies as applicable. All construction shall comply with all fire, building, electric, plumbing, occupancy, and structural laws, regulations, and ordinances in effect at the time the Building Permit is approved and issued.
8. All conditions of approval that do not contain specific completion periods shall be completed prior to building permit final.
9. Building, Grading or other required Permits shall be issued within two years after the effective date of the Site Development Permit, or the discretionary actions granted by the permit shall expire. In the event the required Permits cannot be issued within the stipulated period from the project approval date, a one year extension may be granted by the Director of Planning if no new circumstances affect the project which otherwise would render the original approval inappropriate or illegal. It is the applicant's responsibility in such cases to propose the one-year extension to the Planning Department prior to the two-year expiration date.

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10. Except as otherwise specifically noted, the Site Development Permit shall be granted only for the specific purposes stated in the action approving the Site Development Permit and shall not be construed as eliminating or modifying any building, use, or zone requirements except to such specific purposes.
11. The approved Site Development Permit may be revoked through the City's revocation process if the approved project related to the Site Development Permit is not being conducted in compliance with the stipulations and conditions of approval; or if the project is not established within two years of the effective date of approval; or if the established land use for which the permit was granted has ceased or has been suspended for twenty four (24) consecutive months.
12. No permit or entitlement shall be deemed effective unless and until all fees and charges applicable to this application and these conditions of approval have been paid in full.
13. This approval is contingent upon agreement of the applicant and property owner and their agents, successors and heirs to defend, indemnify, release and hold harmless the City, its agents, officers, attorneys, employees, boards and commissions from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void or annul the approval of this application. This indemnification shall include, but not be limited to, damages, costs, expenses, attorney fees or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in connection with the City's action on this application, whether or not there is concurrent passive or active negligence on the part of the City. If, for any reason any portion of this indemnification agreement is held to be void or unenforceable by a court of competent jurisdiction, the remainder of the agreement shall remain in full force and effect.



1200 Bell Avenue
Panama City, FL 32401

P: 800-868-0284
F: 850-872-8584

www.enterabranding.com

September 21, 2011

RE: Applebee's, 1201 Airport Blvd., Ukiah, CA 95482

To whom it may concern,

Please allow this letter to serve as a description of the scope of work for the above referenced project. Please also refer to the included artwork. This exterior remodel will consist of:

- 1.) Painting of entire restaurant using the following Sherwin-Williams colors:
 Accents – SW 7032 "Warm Stone"
 Main Wall – SW 7029 "Agreeable Gray"
 Metal Trim, Greenhouse Roof, Caps & Doors – SW 7048 "Urbane Bronze"
- 2.) New "Applebee's" channel letter wall signs on each elevation.
- 3.) New "Neighborhood" and "Grill & Bar" cabinet signs on the left and right elevations.
- 4.) A new entrance canopy over the entry on the front elevation.
- 5.) New LED illuminated window awnings on front, left and right elevations.
- 6.) A new monument sign replacing utilizing existing base.

Sincerely,

Cory A. Tunnell
Program Manager

RECEIVED
Sept 26 2011
CITY OF UKIAH
PLANNING DEPT.

Cory Tunnell | Program Manager
850.392.0779 (direct phone) | 850.392.0679 (direct fax)
cory.tunnell@enterabranding.com



CITY OF UKIAH

*original
applebee's
approval*

MAJOR USE PERMIT
APPROVAL AGREEMENT

Project Title: **Major Use Permit No. 01-04**
Project Applicant: **Applebee's Restaurant**
Project Location: **1201 Airport Park Boulevard, Ukiah, County of Mendocino, CA**

Pursuant to Ukiah Municipal Code §9262, Major Use Permit No. 01-04 was reviewed and approved by the City Planning Commission on May 23, 2001, with the attached Conditions of Approval being made components of the project's design and development. The applicant understands that all of the approved Conditions of Approval must be implemented in order to comply with the terms of the Planning Commission's approval, and that failure to satisfy such terms constitutes justification for the City withholding the final Building Permit and/or initiating revocation of the Major Use Permit.

Decisions of the Planning Commission, including the imposition of Conditions of Approval, may be appealed to the City Council no later than 5:00 p.m. on June 4, 2001, provided the interested party attended the hearing and stated his or her position on the project appealed. Decisions of the City Council are final in terms of City of Ukiah administrative review or relief. However, pursuant to §1094.6 of the California Code of Civil Procedure, an individual may have the right to a review of the City Council's decision by a court of law.

Accordingly, the City of Ukiah hereby grants the applicant the subject Use Permit, as conditioned, with the understanding that, notwithstanding referral to a court, the project will be developed according to the approved set of plans and the approved Conditions of Approval.

Issued by: City of Ukiah Planning Department
Date: May 29, 2001
Issuing Agent of the City: Associate Planner Brian Keefer

Signature of Issuing Agent

c: Code Enforcement Officer

**Conditions of Approval for
Major Use Permit Agreement No. 01-04**

CONDITIONS OF APPROVAL: The following Conditions of Approval shall be made a permanent part of Major Use Permit #01-04, shall remain in force regardless of property ownership, and shall be implemented in order for this entitlement to remain valid:

1. All use, construction, or occupancy shall conform to the application approved by the Planning Commission, and to any supporting documents submitted therewith, including maps, sketches, renderings, building elevations, landscape plans, and alike.
2. Any construction shall comply with the "Standard Specifications" for such type of construction now existing or which may hereafter be promulgated by the Engineering Department of the City of Ukiah; except where higher standards are imposed by law, rule, or regulation or by action of the Planning Commission.
3. In addition to any particular condition, which might be imposed, any construction shall comply with all building, fire, electric, plumbing, occupancy, and structural laws, regulations and ordinances in effect at the time the Building Permit is approved and issued.
4. Applicant shall be required to obtain any permit or approval, which is required by law, regulation, or ordinance, be it required by Local, State, or Federal agency.
5. Building Permits shall be issued within two years after the effective date of the Use Permit approval, or it shall be subject to the City's permit revocation process and procedures. In the event the Building Permit cannot be issued within the stipulated period, a one year extension may be granted by the Planning Director if no new circumstances affect the project which otherwise would render the original approval inappropriate or illegal. It is the applicant's responsibility in such cases to propose the one-year extension to the Planning Department prior to the two-year expiration date.
6. The approved Use Permit may be revoked through the City's revocation process if the approved project related to the Use Permit is not being conducted in compliance with the stipulations and conditions of approval; or if the project is not established within two years of the effective date of approval; or if the established land use for which the permit was granted has ceased or has been suspended for twenty four (24) consecutive months.
7. Except as otherwise specifically noted, the Use Permit shall be granted only for the specific purposes stated in the action approving the Use Permit and shall not be construed as eliminating or modifying any building, use, or zone requirements except as to such specific purposes.
8. An Encroachment Permit from the Public Works Department is required to perform all work within the street right-of-way.
9. Sewer, water, and electric service shall conform to the specifications of the City Public Utilities and Public Works Departments, and to the applicable written comments submitted on Feb. 20 and April 23, 2001 by the Electric Division (attached), and on Feb. 21, and March 2, 2001 by the Public Works Department (attached).

10. Gas service shall conform to the specifications of Pacific Gas and Electric Company and the written comments submitted by PG&E on Feb. 7, 2001 (attached).
11. Any roof-mounted air conditioning, heating, and/or ventilation equipment shall be aesthetically screened from view consistent with the architecture of the building upon which it is located.
12. Any outdoor refuse/recycle containers shall be aesthetically screened from view; garbage shall not be visible outside the enclosures.
13. Street trees shall be incorporated into the planters adjacent to Airport Park Boulevard and Commerce Drive. These trees shall be planted in accordance with the approved Landscape Plan, unless the Planning Director and City Engineer/Director of Public Works approve alternate locations, species, size, or planting methods.
14. A Final Landscaping and Lighting Plan shall be submitted by the project applicant and approved by the Director of Planning prior to the issuance of a Building Permit. This plan shall include, but not be limited to the following:
 - a) A planting legend that includes the names, location, coverage area, and canopy cover of proposed vegetation, including the location of street trees;
 - b) The proposed tree planting details and methods;
 - c) A planting schedule for all vegetation installed on the site;
 - d) A maintenance schedule for existing or proposed vegetation, including a watering schedule and irrigation system design; and
 - e) A lighting plan for any proposed exterior lighting installed or otherwise used on the site. All exterior lighting shall be subdued and directed away from surrounding land uses and the night sky.
 - f) More appropriate substitute tree species for the Crape Myrtle Trees and the Deodar Cedars shown on the submitted plan.
15. Landscaping shall be installed prior to the issuance of a Certificate of Occupancy for the restaurant unless the Director of Planning approves an alternate schedule. Landscaping shall be maintained and may not be removed or substantially altered unless the Director of Planning reviews and approves the removal or replacement of vegetation determined to be diseased, unstable, hazardous, or poorly located on the site. Any vegetation removed from the site shall be replaced with similar vegetation approved by the Planning Director.
16. All conditions that do not contain a specific date or time period for completion shall be completed prior to the issuance of a Certificate of Occupancy.
17. All signs must comply with and are limited to the approved sign program. The Planning Director must approve any additional signs or deviations from the approved signs. In addition, the monument sign including the foundation must be placed a minimum of 13 feet from the face of curb on the adjacent streets for a minimum four-foot setback from the joint trench. Monument sign shall not exceed the height of 6'-7 ½" (six feet, seven and one half inches).
18. Prior to the issuance of a building permit, an On-Site Grading and Drainage Plan that includes an Erosion and Sediment Control Component shall be submitted. This report shall be prepared by a licensed civil engineer and shall be approved by the City Engineer.
19. All on-site paving shall be a minimum of 2" (inches) of asphalt concrete with a 6" (inch) aggregate base, or, alternatively, any option approved by the City Engineer.

20. All reports and plans submitted to the City Engineer for review and approval shall address required mitigation outlined in the certified Airport Industrial Park Environmental Impact Report (EIR).
21. Capital improvement fees (traffic) in the amount of \$5,974.31 if paid by June 30, 2001 for the parcel comprising the project site shall be paid in accordance with City Resolution No. 2000-13 prior to the issuance of a Building Permit. If these fees are paid following June 30, 2001, the fees will be incrementally raised quarterly based on the discount factor rate for each quarter.
22. Prior to the commencement of construction activities, the applicants shall submit a Storm Water Pollution Prevention Plan to the Regional Water Quality Control Board (RWQCH) and secure a General Construction Activity Permit if required by law.
23. The applicants shall participate in a *Transportation Management Association* if and when it is formed.
24. Prior to the commencement of site preparation and construction activities, the applicants shall submit a detailed Geotechnical Report of the site conducted by a registered engineering geologist or geological engineer. Field and laboratory data should be analyzed to provide the following geotechnical information:
 - a. A description of the soil and geologic conditions observed, including faulting and landsliding.
 - b. Site grading recommendations.
 - c. Recommended foundation types and design criteria.
 - d. Retaining wall design criteria, as necessary.
 - e. Recommendations for slab-on-grade construction, as applicable.
 - f. Geotechnical engineering drainage recommendations.
 - g. The applicants shall construct the project per the recommendations contained in the geotechnical investigation.
25. All proposed Structures/facilities shall comply with current seismic design standards contained in the Uniform Building Code.
26. Every attempt shall be made to keep all construction areas swept and clear of mud and debris to reduce the creation of fugitive dust.
27. Construction activities shall be limited to 7:00 a.m. to 5:00 p.m. on weekdays and 8:00 a.m. to 5:00 p.m. on Saturdays, unless alternative hours are approved by the Planning Director.
28. Construction equipment shall be properly muffled and maintained to limit adverse air quality impacts.
29. The detailed construction plans submitted for a building permit shall include water conservation devices on toilets, urinals, and faucets.

30. The applicants shall pay the required sewer/water connection fees at the time of application for service.
31. Sewage collectors for the project shall be sized and constructed according to the requirements of the Ukiah Valley Sanitation District.
32. The Applicants shall employ construction activity management techniques, such as; extending construction period; reducing the number of pieces of equipment used simultaneously; increasing the distance between emission sources; reducing or changing the hours of construction; and scheduling activity during off-peak hours as a means to reduce potential adverse impacts to air quality.
33. The applicants shall keep all inactive soil piles completely covered to avoid the transportation of dust.
34. All construction vehicles shall be limited to a maximum speed of 15 miles per hour while on the site.
35. Prior to the issuance of a building permit, the applicants shall pay the required Ukiah School district fees applicable to commercial development.
36. Prior to the final inspection of the building, and issuance of a certificate of occupancy, the applicants shall submit a Recycling Plan for all recyclable materials, if any, the restaurant will generate during its operation.
37. If, during site preparation and grading activities, any archaeological resources are discovered, all work shall be halted, and the Planning department notified of the discovery. The applicant shall be responsible for funding the services of a professional archaeologist to assess the discovered resources, and for any measures developed by the archaeologist to protect the resources.
38. The painted arrow for the exit at the frontage of Airport Park Boulevard shall be painted to indicate a right-turn only.

PROJECT REVIEW REFERRAL
Please provide comments by: September 19, 2025

The City of Ukiah Community Development Department is soliciting input on the project described below for use in the staff analysis, CEQA document, and public hearing documents. Please identify any questions you have or missing information you need to complete your review, as well as suggested Conditions of Approval.

TO:	
<input type="checkbox"/> City Community Development Director	<input checked="" type="checkbox"/> Ukiah Valley Fire Authority
<input checked="" type="checkbox"/> City Building Inspection Division	<input type="checkbox"/>
<input checked="" type="checkbox"/> City Public Works Department	<input type="checkbox"/>
<input checked="" type="checkbox"/> City Fire Prevention Division	<input type="checkbox"/>
<input checked="" type="checkbox"/> City Police Department	<input type="checkbox"/>
<input type="checkbox"/> City Code Enforcement Division	<input type="checkbox"/>
<input checked="" type="checkbox"/> City Electric Utility Department	<input type="checkbox"/>
<input checked="" type="checkbox"/> Ukiah Municipal Airport Operations Manager	<input type="checkbox"/>
<input type="checkbox"/> Airport Land Use Commission	<input type="checkbox"/>
<input type="checkbox"/> Mendocino County Air Quality Mgmt District	<input type="checkbox"/>
<input checked="" type="checkbox"/> Mendocino County Environmental Health	<input type="checkbox"/>
<input type="checkbox"/> City Manager's Office	<input type="checkbox"/> Other:
FROM PROJECT PLANNER: Katherine Schaefer, Planning Manager	

PROJECT INFORMATION:	
Project Name & Permit #:	Dual-Branded Restaurant – Applebee's/IHOP File No. 25-000969; Permit No. PA25-000015
Site Address & APN:	1201 Airport Park Blvd; APN 180-080-41
General Plan:	Mixed-Use (AIP-PD) - Retail Commercial
Zoning:	Planned Development (PD - Commercial)
Airport Compatibility Zone:	6 - Traffic Pattern Zone
Date Filed:	8/18/25
Resubmittal:	
Date Referred:	09/10/25
Prev. Projects on Site (include file #)	MaUP No. 01-04; MiSDP No. 11-15
Applicant/Agent Name:	Rodeo Builders (Peyman Kohanbash)
Phone:	310-407-9262
Email:	info@rodeobuilders.com
Project Summary: 'Dual Brands Concept' incorporating an IHOP into an existing Applebee's.	

Please indicate whether you have comments and sign and date below. Return this Project Referral Form by the date noted above to the Project Planner listed.

Name and Affiliation/Department (please print) MAX BRAZILL / UKIAH POLICE DEPT

- No Comment
 Comments / Conditions of Approval Attached

Max Brazill
Signature

9/11/25
Date

PROJECT REVIEW REFERRAL
Please provide comments by: September 19, 2025

The City of Ukiah Community Development Department is soliciting input on the project described below for use in the staff analysis, CEQA document, and public hearing documents. Please identify any questions you have or missing information you need to complete your review, as well as suggested Conditions of Approval.

TO:			
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<input checked="" type="checkbox"/>	City Fire Prevention Division	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	City Police Department	<input type="checkbox"/>	
<input type="checkbox"/>	City Code Enforcement Division	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	City Electric Utility Department	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	Ukiah Municipal Airport Operations Manager	<input type="checkbox"/>	
<input type="checkbox"/>	Airport Land Use Commission	<input type="checkbox"/>	
<input type="checkbox"/>	Mendocino County Air Quality Mgmt District	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	Mendocino County Environmental Health	<input type="checkbox"/>	
<input type="checkbox"/>	City Manager's Office	<input type="checkbox"/>	Other:
FROM PROJECT PLANNER: Katherine Schaefers, Planning Manager			

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General Plan:	Mixed-Use (AIP-PD) - Retail Commercial
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Applicant/Agent Name:	Rodeo Builders (Peyman Kohanbash)
Phone:	310-407-9262
Email:	info@rodeobuilders.com
Project Summary:	‘Dual Brands Concept’ incorporating an IHOP into an existing Applebee’s.

Please indicate whether you have comments and sign and date below. Return this Project Referral Form by the date noted above to the Project Planner listed.

Name and Affiliation/Department (please print) City of Ukiah Electric Department

- No Comment
 Comments / Conditions of Approval Attached



Digitally signed by Scott Bozzoli
Date: 2025.09.11 09:50:01 -07'00'

Signature

Date

Comments / Conditions of Approval:

If there should be a Panel upgrade during this Planned Development, the contractor shall reach out to the Electric Department to provide:

- Detailed one line drawings.
- EUSERC numbers for a accepted panel or switchgear.
- Load Calcs for future equipment.

If there is no upgrade, and there is an upgrade planned in the future, the same rules apply.