



Regular Meeting
AGENDA

(to be held both at the physical and virtual locations below)

Civic Center Council Chamber ♦ 300 Seminary Avenue ♦ Ukiah, CA 95482

To participate or view the virtual meeting, go to the following link: <https://us06web.zoom.us/j/83128884939>

Or you can call in using your telephone only:

- Call (toll free) 1-888-788-0099
- Enter the Access Code: 831 2888 4939
- To Raise Hand enter *9
- To Speak after being recognized: enter *6 to unmute yourself

Alternatively, you may view the meeting (without participating) by clicking on the name of the meeting at www.cityofukiah.com/meetings.

December 10, 2025 – ~~6:00~~ 5:15 PM

1. **CALL TO ORDER**

2. **ROLL CALL**

3. **PLEDGE OF ALLEGIANCE**

4. **AB 2449 NOTIFICATIONS AND CONSIDERATIONS**

5. **APPROVAL OF MINUTES**

5.a. Approval of the Minutes of November 12, 2025, a Regular Meeting.

Recommended Action: Approve the Minutes of November 12, 2025, a Regular Meeting.

Attachments:

1. 2025-11-12 PC Draft Minutes

6. **APPEAL PROCESS**

All determinations of the Planning Commission regarding major discretionary planning permits are final unless a written appeal stating the reasons for the appeal is filed with the City Clerk within ten (10) days of the date the decision was made. An interested party may appeal only if he or she appears and states his or her position during the hearing on the decision from which the appeal is taken. For items on this agenda, the appeal must be received by [date].

7. **COMMENTS FROM AUDIENCE ON NON-AGENDA ITEMS**

The Planning Commission welcomes input from the audience. If there is a matter of business on the agenda that you are interested in, you may address the Planning Commission when this matter is considered. If you wish to speak on a matter that is not on this agenda that is within the subject matter jurisdiction of the Planning Commission, you may do so at this time. In

order for everyone to be heard, please limit your comments to three (3) minutes per person and not more than ten (10) minutes per subject. The Brown Act regulations do not allow action to be taken on audience comments in which the subject is not listed on the agenda.

8. **SITE VISIT VERIFICATION**

9. **VERIFICATION OF NOTICE**

10. **PLANNING COMMISSIONERS REPORT**

11. **DIRECTOR'S REPORT**

11.a. Receive Community Development Director's Report.

Recommended Action: Receive Community Development Director's Report and discuss questions with Staff.

Attachments:

1. Planning Division Projects Report - 12-01-25

12. **CONSENT CALENDAR**

The following items listed are considered routine and will be enacted by a single motion and roll call vote by the Planning Commission. Items may be removed from the Consent Calendar upon request of a Commissioner or a citizen in which even the item will be considered at the completion of all other items on the agenda. The motion by the Commission on the Consent Calendar will approve and make findings in accordance with Administrative Staff and/or the Commission recommendations.

13. **UNFINISHED BUSINESS**

14. **NEW BUSINESS**

14.a. Consideration of a Major Site Development Permit, Major Use Permit, and Lot Merger for Conversion of an Existing Building into an 'Urgent Care and Administration Office' at 1240 Airport Park Boulevard (APNs 180-080-74 & 180-080-75). File No. 25-0011; Permit No. PA25-000019.

Recommended Action: Staff recommends that the Planning Commission: 1) Conduct a public hearing; and 2) Approve the Major Site Development Permit, Major Use Permit, and Lot Merger for a Conversion of an Existing Building into an 'Urgent Care and Administration Office' at 1240 Airport Park Boulevard (APNs 180-080-74 & 180-080-75). File No. 25-0011; Permit No. PA25-000019, based on the Findings in Attachment 1, and subject to the Conditions of Approval in Attachment 2.

Attachments:

1. Draft Findings
2. Draft Conditions of Approval
3. Application Materials

14.b. Update to the Planning Commission on the Recommendations from the Downtown Zoning Code Ad Hoc Committee for Revisions to the Downtown Zoning Code in Accordance with Ukiah 2040 General Plan Policy LU-3.

Recommended Action: Staff recommends that the Planning Commission receive, discuss, and provide initial feedback to staff on the recommendations from the Downtown Zoning Code Ad Hoc Committee for updating the Downtown Zoning Code in accordance with Ukiah 2040 General Plan policy LU-3.

Attachments:

1. Downtown Zoning Code Overview Presentation - 2011
2. Downtown Zoning Code Ordinance No. 1139 - 2012
3. Downtown Zoning Code - Maps, Figures & Parcels - 2025
4. Downtown Zoning Code - Alternative Regulating Plan - 2009

5. Downtown Zoning Code Map - Proposed

15. ADJOURNMENT

Please be advised that the City needs to be notified 72 hours in advance of a meeting if any specific accommodations or interpreter services are needed for you to attend. The City complies with ADA requirements and will attempt to reasonably accommodate individuals with disabilities upon request. Materials related to an item on this Agenda submitted to the Planning Commission after distribution of the agenda packet are available at the Civic Center 300 Seminary Ave. Ukiah, CA 95482; and online at: www.cityofukiah/meetings/ at the end of the next business day.

I hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda was posted on the bulletin board at the main entrance of the City of Ukiah City Hall, located at 300 Seminary Avenue, Ukiah, California, not less than 72 hours prior to the meeting set forth on this agenda.

Araceli Sandoval, Deputy City Clerk
Dated: 12/4/25



**CITY OF UKIAH
PLANNING COMMISSION MINUTES
REGULAR**

Civic Center Council Chamber ♦ 300 Seminary Avenue ♦ Ukiah, CA 95482

Virtual Meeting Link: <https://us06web.zoom.us/j/83128884939>

**November 12, 2025
5:15 p.m.**

1. CALL TO ORDER

The City of Ukiah Planning Commission held a Regular Meeting on November 12, 2025. The meeting was legally noticed on November 7, 2025. The meeting was held in person and at the following virtual link: <https://us06web.zoom.us/j/83128884939>. Chair de Grassi called the meeting to order at 5:15 p.m.

CHAIR de GRASSI PRESIDING.

2. ROLL CALL

Roll call was taken with the following **Commissioners Present:** Jacob Brown, Devery Montaño, Rick Johnson, Mark Hilliker, and Alex de Grassi. **Staff Present:** Craig Schlatter, Community Development Director; Jesse Davis, Chief Planning Manager; Katherine Schaefer; and Kristine Lawler, City Clerk.

3. PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Commissioner Johnson.

4. AB 2449 NOTIFICATIONS AND CONSIDERATIONS

No notifications or considerations received.

5. APPROVAL OF MINUTES

a. Approval of the Minutes of October 22, 2025, a Regular Meeting.

Motion/Second: Hilliker/Brown to approve the minutes of the October 22, 2025, a Regular Meeting, as submitted. Motion **carried** by the following Roll Call votes: AYES: Brown, Montaño, Johnson, Hilliker, and de Grassi. NOES: None. ABSENT: None. ABSTAIN: None.

6. APPEAL PROCESS

Chair de Grassi stated the appeals deadline date is November 24, 2025, before 5:00 p.m.

7. COMMENTS FROM THE AUDIENCE ON NON-AGENDA ITEMS

Public Comment: Pinky Kushner – Trees.

8. SITE VISIT VERIFICATION

All Commissioners confirmed their visit to the site.

9. VERIFICATION OF NOTICE

The Clerk noted that the agenda was properly noticed.

10. PLANNING COMMISSIONERS' REPORTS

Presenter: Vice Chair Hilliker and Commissioner Johnson.

11. **DIRECTOR'S REPORT**

a. **Receive Community Development Director's Report.**

Presenter: Craig Schlatter, Community Development Director.

No public comment was received.

The November 2025 report was received.

12. **CONSENT CALENDAR**

No items on the Consent Calendar.

13. **UNFINISHED BUSINESS**

No items on Unfinished Business.

14. **NEW BUSINESS**

a. **Conduct a Public Hearing for Consideration of Approval for a Major Site Development Permit for the Construction of a Single-Story Commercial Shell with Shared Site Improvements at 1294 and 1296 North State Street (APN 001-370-36 and 001-370-37); File No. 25-001039; PA25-000017 (formerly File No. 17-3069).**

Presenters: Katherine Schaefer, Planning Manager; Jesse Davis, Chief Planning Manager; and Craig Schlatter, Community Development Director.

PUBLIC HEARING OPENED AT 6:05 P.M.

Applicant Comment: Issa and Elias Tannons.

Public Comment: Lee Dickson and Pinky Kushner.

PUBLIC HEARING CLOSED AT 6:28 P.M.

Commission Consensus to re-open the public hearing.

PUBLIC HEARING RE-OPENED AT 6:37 P.M.

Applicant Comment: Issa and Elias Tannons.

PUBLIC HEARING CLOSED AT 6:40 P.M.

Motion/Second: Brown/Montaño to deny the Major Site Development Permit application as proposed, based on the inability to make mandatory findings related to public safety and traffic circulation (UCC §9263E Findings 2 and 3) due to the inclusion of the drive-through component. Motion **carried** by the following Roll Call votes: AYES: Brown, Montaño, Johnson, Hilliker, and de Grassi. NOES: None. ABSENT: None. ABSTAIN: None.

Motion/Second: Brown/Hilliker to approve the Major Site Development Permit for the Construction of a Single-Story Commercial Shell at 1294 N. State Street (APN 001-370-36 and 001-370-37); File No. 25-001039; PA25-000017 (formerly File No. 17-3069), conditioned upon the removal of the drive-through component, based on the Findings in Attachment 1, and subject to the Conditions of Approval in Attachment 2; and subject to the Planning Commission Special Condition of Approval:

- a. The Applicant shall Install signage to restrict egress onto North State Street by only allowing a right hand turn from the southeastern encroachment.
- b. The Applicant is recommend to install additional pedestrian access improvements along Empire Drive to encourage multimodal access).

Motion **carried** by the following Roll Call votes: AYES: Brown, Montaña, Johnson, Hilliker, and de Grassi. NOES: None. ABSENT: None. ABSTAIN: None.

15. ADJOURNMENT

There being no further business, the meeting adjourned at 6:54 p.m.

Kristine Lawler, CMC
City Clerk

DRAFT



AGENDA SUMMARY REPORT

SUBJECT: Receive Community Development Director's Report.

DEPARTMENT: Community Development

PREPARED BY: Craig Schlatter, Community Development Director

PRESENTER: Craig Schlatter, AICP

ATTACHMENTS:

1. Planning Division Projects Report - 12-01-25

Summary: Planning Commission will receive the Community Development Director's Report and discuss questions with Staff.

Background: Director's Reports are bi-monthly oral reports given by the Community Development Director on the status of projects, primarily within the Planning Division, of the Community Development Department. Updates may include, but are not limited to, application status of major and minor discretionary permits, the implementation status of advanced planning and related 2040 General Plan programs and projects, and updates related to the activities of other divisions of the Department.

Discussion: This report is expected to provide updates in the following areas:

- December 2025 Planning Division Projects Report (Attachment 1)
 - This is a monthly report produced on the first of each month. The December 2025 report and previous monthly reports are located on the Planning Division Services web-page, under "Current Planning Reports":
 - <https://cityofukiah.com/community-development/planning-services>

Recommended Action: Receive Community Development Director's Report and discuss questions with Staff.



City of Ukiah
Submitted Planning Applications

12/1/2025

Permit #	Site Address	Date Submitted	Summary of Project	Status
PA24-000020/21	534 E. Perkins St.	12/23/24	Major Site Development Permit of APN 002-200-43 within the Pear Tree Center, approximately 150 feet west of the E. Perkins St./S. Orchard Ave. intersection. The proposal includes the construction of a ±1,700 sq. ft. Starbucks retail, operating as carry-out and drive-through only, with no interior dining, and a total gross building area, including the outdoor canopy, of approximately 2,885 sq. ft.	Incomplete/awaiting applicant response - Limited Updates Since 02/01/25.
EA25-000019	1240 Airport Park Blvd.	9/10/25	Major Site Development Permit and Lot Merger of APNs (180-080-74; 180-080-75) converting a ±7,129-square-foot structure into an 'Urgent Care and Administrative Office' within the AIP-PD Mixed-Use Airport Industrial Park Planned Development.	Design Review Board (DRB) recommended approval to the Planning Commission (PC) on 10/24/25. PC hearing scheduled for 12/10/25.
LLA25-000006	670 and 680 N. State St.	11/3/25	Lot Line Adjustment for two (2) parcels. No new development is proposed or associated with this request. Following the adjustment, Parcel 1 will increase in size by approximately 0.58 acres (25,264.8 sf), and Parcel 2 will decrease by the same amount.	Awaiting approval by the City Engineer.
PA25-000021	101 and 105 S Main St.	11/7/25	Historic Demolition Permit for two structures over 50 years old (APN 002-231-01). The request focuses on revising mitigation measures in a CEQA Addendum to the 2022 City Council-approved Initial Study and demolition permit, reflecting a new applicant and updated project timing.	Demolition Review Committee (DRC) recommended to City Council (CC) on 11/20/25, that the Draft Addendum (with modifications to the proposed CUL-2 and CUL-3) successfully mitigates the significant environmental impact of the demolition.
File No. 25-001630	817 Waugh Ln.	11/21/25	Historic Demolition Permit request for a residential structure (APN 003-574-07). The proposal also includes demolition of a barn, garages, shed, and vineyard, none of which rise to the level of historical or architectural significance that would warrant review under the City's historic demolition procedures.	In assessment for Historical Review eligibility pursuant to Ukiah City Code (UCC) 3016

City of Ukiah

2040 General Plan Implementation - Status of Projects In-Process or Recently (Within Previous 60 Days) Completed



12/1/2025

General Plan Element	Implementation Program	Date Due	Description	Status / Comments
Land Use	E - Zoning Code Amendments	12/31/2025	Zoning districts and map consistency with the 2040 Land Use diagram. This Ordinance Amendment will facilitate the creation of an Open Space (O-S) zoning designation, as envisioned in the Ukiah 2040 General Plan. The designation seeks to preserve and manage areas of significant natural value, such as wildlife habitats, riparian corridors, creeks, and scenic resources, while supporting community resilience and sustainable land use practices.	On 10/22/25, the Planning Commission (PC) recommended the Ordinance to the City Council (CC). CC Adopted on 11/5/25.
Land Use	E - Zoning Code Amendments	12/31/2025	The City shall amend the Zoning Code to address the following topics: Downtown Zoning Code and Design Guidelines	In progress. Commissioner Hilliker selected by PC to provide input to Downtown Zoning Code City Council Ad Hoc Committee. Committee met in August 2025, and October 29, 2025. PC workshop scheduled for 12/10/25.
Land Use	E - Zoning Code Amendments	12/31/2025	Zoning Districts and map consistency with the 2040 Land Use Diagram.	In progress. Working towards creating official zoning maps by updating parcel boundaries within City limits, integrating past lot line adjustments, compiling and rectifying past zoning inconsistencies, capturing past annexation boundaries, and Ukiah Municipal Airport Compatibility Plan (UKIALUCP) infill policy identification.
Economic Development	A - Economic Development Strategy	12/31/2025	The City shall prepare, adopt, and regularly update an Economic Development Strategy, which shall be used as an operational guide to implement the economic development goals and policies of the General Plan.	Economic Development Strategy currently deferred until the City's reorganization application is further progressed.

General Plan Element	Implementation Program	Date Due	Description	Status / Comments
Mobility Element	L - Airport Parcels	12/31/2025	The City shall prepare a study to identify parcels on which new development could benefit the airport and support annexation of those parcels. (Policy MOB-6.3) Infill Policy for Compatibility Zones: The City shall work collaboratively with the County to develop an In-fill Policy within the Municipal Airport Compatibility Zones	Identification for potential infill eligibility within Airport Compatibility Zone 2 in progress. Informational Item scheduled before Mendocino Airport Commission 11/4/25, cancelled due to lack of quorum. On 11/19/25, the City Council appointed a new Airport Infill Policy Ad Hoc to assist with these efforts.
Environment & Sustainability	H - Cultural and Historic Registry	12/31/2025	The City shall update the list of cultural and historic resources worthy of nomination to state or national preservation lists.	In progress but will be deferred until after the historic preservation ordinance is developed and adopted.
Environment & Sustainability	I - Historic Preservation Ordinance	12/31/2030	The City shall adopt a Historic Archaeological Preservation Ordinance to review permanent changes to the exterior or setting of designated historic or impacts to Archaeological resources. Among other topics, the Ordinance should address the following: archaeological resource impact avoidance, new development in historically sensitive neighborhood, compatibility of energy conservation retrofitting, design review standards for new structures replacing demolished historic structures, and requirements for preservation of records and artifacts from demolished historic structures.	Community workshop held on 10/16/25 and new historic preservation webpage launched on City's website. Staff and Historical Society of Mendocino County staff currently drafting an ordinance based on community and Ad Hoc input.
Agriculture Element, Land Use Element	C - Align Agricultural Standards	Completed/Ongoing	Align City Agricultural Standards with those of Mendocino County; and Development Pattern LU-7, to ensure the orderly and timely growth and expansion of the City.	On 10/08/25, the PC considered and adopted a resolution recommending rezoning one unincorporated parcel, Assessor's Parcel Number (APN) 167-280-15, addressed as 1 Carousel Lane, to the Public Facilities (PF) Zoning District, applying the Public (P) land use designation under the City's 2040 General Plan. The rezoning is proposed in anticipation of, and to facilitate, annexation of the property into the City of Ukiah. City Council approved a Resolution of Application to the Mendocino Local Agency Formation Commission (LAFCO) on 11/5/25.

City of Ukiah
Recently (Within Previous 60 Days) Approved Projects



12/1/2025

Permit #	Site Address	Approved Date	Summary of Project	Comments
PA25-000015	1201 Airport Park Blvd.	10/3/25	Minor Site Development Permit to facilitate façade and signage alterations to an existing restaurant in the Airport Industrial Park Planned Development (AIP-PD) Retail Commercial Land Use Designation	Design Review Board (DRB) recommended approval on 9/25/25; Zoning Administrator (ZA) public hearing scheduled for 10/2/25, continued to a date certain and approved on 10/3/25.
EA25-000016	295 Brush St.	10/17/25	Director's Determination to facilitate parking lot improvements to an existing facility used for religious assembly in a Heavy Commercial (C-2) zoning district per Use Permit No. 01-29 (Eastern Catholic Mission of Ukiah), approved in 2001	Approved by Community Development Director on 10/17/25.
17-3069	1294 N. State St.	11/12/25	Resubmitted Site Development Permit to allow for construction two retail suites (including one drive-through), within the Community Commercial (C-1) zoning district at the "Old Tackroom" location. Original submittal 9/13/17; initial DRB evaluation on January 25, 2018; Resubmittal 8/29/25.	Approved by Planning Commission (PC) on 11/12/25.
#LLA25-000005	420 Cooper Lane.	10/14/25	A Lot Merger that merges three contiguous parcels to facilitate the development of a 15-unit Inter-Tribal Elder Village: Parcel 1 (APN 003-582) – approximately 0.64 acres; Parcel 2 (APN 003-572-18) – approximately 1.75 acres; Parcel 3 (APN 003-572-17) – approximately 0.19 acres	Approved by the City Engineer on 10/14/25.



AGENDA SUMMARY REPORT

SUBJECT: Consideration of a Major Site Development Permit, Major Use Permit, and Lot Merger for Conversion of an Existing Building into an 'Urgent Care and Administration Office' at 1240 Airport Park Boulevard (APNs 180-080-74 & 180-080-75). File No. 25-0011; Permit No. PA25-000019.

DEPARTMENT: Community Development

PREPARED BY: Katherine Schaefers, Planning Manager

PRESENTER: Katherine Schaefers, Planning Manager; Jesse Davis, AICP, Chief Planning Manager

ATTACHMENTS:

1. Draft Findings
2. Draft Conditions of Approval
3. Application Materials
4. 14a Correspondence Received - Kile Campbell (applicant)
5. 14a Presentation given at meeting

Summary: The Planning Commission is requested to conduct a public hearing for consideration of a Major Site Development Permit, Major Use Permit, and Lot Merger for conversion of an existing building into an 'Urgent Care and Administration Office' at 1240 Airport Park Boulevard (APNs 180-080-74 & 180-080-75). File No. 25-0011; Permit No. PA25-000019.

Background: Mendocino Community Health Clinic (MCHC) proposes to adaptively reuse and convert the existing 7,129-square-foot building at 1240 Airport Park Boulevard (APNs 180-080-74 and 180-080-75) into a new urgent care clinic and administration office. Following the proposed Lot Merger, the consolidated site will total approximately 50,537 square feet (1.16 acres). The completed building will total approximately 14,144 square feet, including a mezzanine second floor constructed within the existing structural shell. The property is located within the Light Manufacturing/Mixed-Use Zoning District of the Airport Industrial Park Planned Development (AIP-PD) and falls within the purview of the Ukiah Municipal Airport Land Use Compatibility Plan (ALUCP), Compatibility Zones 5 and 6.

The existing structure was built in 1992 as a steel pre-fabricated building with concrete tilt-up walls, originally serving the U.S. Geological Survey. Subsequent uses have included a veterinary office and headquarters/warehouse for United Disaster Relief. The two subject parcels were created via Minor Subdivision 05-22 in 2005. APN 180-080-75 remains undeveloped, lacking sidewalk and landscaping improvements consistent with Airport Park Boulevard commercial standards.

The project requires three discretionary approvals. A Major Use Permit is needed to allow operation of the urgent care clinic and administrative offices, which constitute medical service provision and professional office use. The permit is classified as Major because it involves a change in use triggering Planning Commission review and approval under the AIP-PD. A Major Site Development Permit is required due to the limited expansion of the structure and substantial exterior modifications to the existing building and associated grounds. Finally, a Lot Merger is required to combine the existing developed parcel and the vacant parcel into a single legal lot for off-street parking and frontage improvements. Under UCC §8296F, the Lot Merger is

acted upon concurrently with the other permits by the Planning Commission as the highest review authority. It will be subsequently administered under the review of the City Engineer.

The Design Review Board (DRB) evaluated the project on October 23, 2025, and recommended additional information be provided by the applicant to inform the number of required parking spaces. The AIP-PD allows the Planning Commission the discretion to approve deviations from standard parking requirements for unique uses when findings demonstrate that on-street congestion will not result. The project also includes site improvements such as bicycle infrastructure, mechanical equipment screening, patient loading areas, and solar panel installation through rooftop and shade structures, along with 23 percent landscaping coverage.

Agency review was initiated on September 5, 2025, with input requested from 14 public entities, including the Fire Prevention Division of the Community Development Department on behalf of Ukiah Valley Fire Authority (UVFA), Ukiah Electric Utility Department (EUD), and Great Redwood Trail Agency (GRTA). Following comments received from the entities, the applicant submitted revised “Delta 1” plans and a formal Comment Response on October 17, 2025. Fire code requirements included a secondary fire access road, and a gate activated by an approved device. The applicant revised the plans to incorporate these elements and confirmed that internal circulation, including the hammerhead turnaround, meets fire code standards and supports fire apparatus weighing up to 75,000 pounds. EUD required underground service and easement dedication, which the applicant confirmed. The GRTA supported trail connectivity and encroachment permits, and the applicant committed to exploring alternative employee and client access, including bicycle parking and related improvements, due to the difficulties of an on-site encroachment from the secured parking area.

Discussion: The proposed MCHC Urgent Care and Administrative Office project is evaluated for consistency with the Ukiah 2040 General Plan, the Airport Industrial Park Planned Development (AIP-PD) Ordinance, and the Ukiah Municipal Airport Land Use Compatibility Plan (UKIALUCP), along with applicable Ukiah City Code parking provisions. Staff provides draft Findings (Attachment 1) and Conditions of Approval (Attachment 2) for review and consideration of the Planning Commission.

Zoning Consistency (AIP-PD)

As reviewed, the project clearly complies with the AIP-PD Light Manufacturing/Mixed-Use standards, as summarized below, and further clarified in Attachment 1:

Requirement	Project Component	Consistency
Land Use	Urgent Care Clinic and Administrative Offices are permitted with a Use Permit.	Consistent
Design Quality/Bulk	Mezzanine within existing shell; footprint not expanded; no additional height.	Consistent
Screening & Aesthetics	Mechanical and electrical equipment screened; maintains current height; staff parking screened from Airport Park Blvd.	Consistent
Parking Location & Site Layout	Lot Merger allows front parcel parking; 18 rear stalls for staff; 23% landscaping (exceeds 20% minimum).	Consistent
Airport Compatibility	Zones 5 & 6; single-acre intensity limits met; aviation easement dedication required.	Consistent

Parking Reduction Analysis

The applicant requests a reduction in off-street parking from 64 spaces to 48 spaces. The parking requirements are established in the Ukiah Municipal Code (UCC), Division 9, Chapter 2, Article 17, Off-Street Parking and Loading regulations and described below for 1240 Airport Park Boulevard.

Use	Calculation	Required Spaces
Health Facility (7,129 SF ÷ 200 SF per space)	7,129 ÷ 200	36
Medical Office Space (6,958 SF ÷ 250 SF per space)	6,958 ÷ 250	28
Total Required		64
Proposed		48
Reduction Requested		16

While the DRB recommended approval, it suggested that additional employee and patient volume data, along with operational measures, be provided to prevent potential overflow of the off-street parking facilities. The AIP-PD development standards allow the Planning Commission to depart from standard parking requirements when it finds that a unique use or site condition will generate a lower parking demand than what is objectively required. Staff notes that the vacant parcel to be merged with the developed facility will be fully used for landscaping and parking, and that meeting the total number of required spaces per UCC is not feasible without relying on off-site parking or constructing multi-level parking facilities. Staff also notes that the objective standards maintained by the City for parking are increasingly dated and generalized for a wide range of professional office uses that may not reflect their actual demand.

Ukiah Municipal Airport Land Use Compatibility Plan (UKIALUCP) Consistency

The proposed MCHC Urgent Care and Administrative Office must be reviewed for compliance with the Ukiah Municipal Airport Land Use Compatibility Plan (UKIALUCP). This review focuses on intensity standards for nonresidential uses, measured in people per acre. Intensity is the main factor used to evaluate safety near the airport. Zones 5 and 6 allow maximum sitewide intensities of 100 and 300 people per acre. Surveys by multiple agencies show that retail and office spaces are typically occupied at no more than half of their maximum rated occupancy, even during peak hours. Because of this, the UKIALUCP allows the calculated number of people for office and retail uses to be divided by two to reflect actual occupancy before determining the final people per acre.

Furthermore, the project site spans two of the least restrictive airport safety zones: Zone 5 (Sideline Zone) and Zone 6 (Traffic Pattern Zone). Outpatient medical and office uses are considered “conditionally compatible” in both zones as long as they meet the required intensity limits, as shown in Attachment 3. The applicant provides the calculated intensities for UKIALUCP consistency in that attachment and demonstrates that the project complies with the standards for Zones 5 and 6, which allow higher intensities than the areas located north or south of the runway.

Finally, as a conditionally compatible use, the project must dedicate an avigation easement to the City of Ukiah. The applicant has agreed to this requirement, including mitigation for any potential glare from future solar installations. No comments were received from Mendocino County Airport Land Use Committee staff or the Airport Commission.

Site Development Permit Summaries (UCC §9263E)

No	Finding	Staff Analysis
1	The proposal is consistent with the goals, objectives, and policies of the City General Plan.	Consistent with Goals LU-4 and LU-11, Policies PFS-12.7 and MOB-1.10; aligns with AIP-PD objectives and UKIALUCP Zones 5 and 6.
2	The location, size, and intensity of the proposed project will not create a hazardous or inconvenient vehicular or pedestrian traffic pattern.	Conditional/Pending; 8-ft emergency ambulance path included; finding contingent on approval of parking reduction based on operational data.
3	The accessibility of off-street parking areas and the relation of parking areas with respect to traffic on adjacent streets will not create a hazardous or inconvenient condition to adjacent or surrounding uses.	Conditional/Pending; DRB required detailed operational and volume justification; project includes bicycle parking per Policies MOB-1.10 and MOB-2.2; final determination pending.
4	Sufficient landscaped areas have been reserved for purposes of separating or screening the proposed structure(s) from the street and adjoining building sites, and breaking up and screening large expanses of paved areas.	23% landscaping coverage, exceeds 20% minimum; trees and shrubs provide screening for rear parking and mechanical areas.
5	The proposed development will not restrict or cut out light and air on the property, or on the property in the neighborhood; nor will it hinder the development or use of buildings in the neighborhood, or impair the value thereof.	Expansion occurs within existing structural shell; no adverse impacts anticipated on neighboring properties.
6	The improvement of any commercial or industrial structure will not have a substantial detrimental impact on the character or value of an adjacent residential zoning district.	Property is within Light Manufacturing/Mixed-Use zone surrounded by commercial uses; no substantial detrimental impact expected.
7	The proposed development will not excessively damage or destroy natural features, including trees, shrubs, creeks, and the natural grade of the site.	Existing mature trees along western boundary retained; limited removal or trimming for emergency access; site is previously developed and generally flat.
8	There is sufficient variety, creativity, and articulation to the architecture and design of the structure(s) and grounds to avoid monotony and/or a box-like uninteresting external appearance.	Design features fiber cement siding, new glazing, and CMU screening walls; remodeling represents substantial visual and functional improvement to the existing structure when combined with overall site improvements.

Environmental Review

The proposed action is Categorically Exempt under CEQA Guidelines, Article 19, Class 1, Section 15301(a), because the project involves conversion and minor alteration of an existing commercial structure, with a floor area addition of ±6,958 SF, below the 10,000 SF exemption threshold. The expansion is occurring almost entirely within the existing structure, with only modest footprint increases to accommodate an elevator and to screen mechanical equipment.

The proposed reduction of 16 required parking spaces does not constitute a significant environmental impact under CEQA Guidelines §15064.3, as parking adequacy is primarily a land use policy matter. The AIP-PD Ordinance provides Planning Commission discretion for unique uses, and the project complies with UKIALUCP intensity standards, mitigating potential airport safety impacts. Therefore, no additional

environmental analysis is required solely due to the parking reduction.

Notice

Notice of the Public Hearing was provided in the following manner, in accordance with UCC §9264:

- Published in the Ukiah Daily Journal on November 30, 2025;
- Posted on the Project site on November 25, 2025;
- Posted at the Civic Center (glass case) 72 hours prior to the public hearing; and
- Mailed to property owners within 300 feet of the Project parcels on November 25, 2025

Recommended Action: Staff recommends that the Planning Commission: 1) Conduct a public hearing; and 2) Approve the Major Site Development Permit, Major Use Permit, and Lot Merger for a Conversion of an Existing Building into an 'Urgent Care and Administration Office' at 1240 Airport Park Boulevard (APNs 180-080-74 & 180-080-75). File No. 25-0011; Permit No. PA25-000019, based on the Findings in Attachment 1, and subject to the Conditions of Approval in Attachment 2.

DRAFT FINDINGS
MAJOR SITE DEVELOPMENT PERMIT, MAJOR USE PERMIT, LOT MERGER
CONVERSION OF AN EXISTING BUILDING INTO AN 'URGENT CARE AND
ADMINISTRATION OFFICE'
1240 AIRPORT PARK BOULEVARD (APNS 180-080-74 & 180-080-75)
FILE NO. 25-0011; PERMIT NO. PA25-000019

These Findings pertain to the construction and operation of a new Urgent Care Clinic and Administrative Office facility owned by Mendocino Community Health Clinics (MCHC) at 1240 Airport Park Boulevard. The project merges two parcels (APNs 180-080-74 and 180-080-75) into a single 1.16-acre lot and adaptively reuses the existing 7,129-square-foot building. A 6,958-square-foot mezzanine will be added within the existing structural shell for administrative offices, while the ground floor (7,186 SF) will house an urgent care clinic with seven exam rooms, imaging, and support areas. The total building area will be 14,144 SF. Site improvements include 48 parking spaces (requesting a reduction from the 64-space requirement), patient loading zones, upgraded pedestrian facilities, screened mechanical equipment, and full solar panel offset. The property is located in the Mixed-Use: Airport Industrial Park Planned Development (AIP-PD) zoning district and within Airport Compatibility Zones 5 and 6.

SITE DEVELOPMENT PERMIT FINDINGS (UCC §9263E)

1. The proposal is consistent with the goals, objectives, and policies of the City General Plan.

The project supports General Plan Goal LU-4, encouraging the growth of office and service uses to provide jobs and community services, and Goal LU-11, ensuring high-quality site planning, landscaping, and architectural design. The adaptive reuse and expansion for an Urgent Care Clinic and Administrative Office is permitted with a Use Permit in the Light Manufacturing/Mixed-Use zone. The project aligns with Policy PFS-12.7 and MOB-1.10 by providing bicycle parking and trail access to the adjacent Great Redwood Trail. Site planning also conforms with the AIP-PD Ordinance and intensity criteria established by the Ukiah Municipal Airport Land Use Compatibility Plan (UKIALUCP) for Zones 5 and 6.

2. The location, size, and intensity of the proposed project will not create a hazardous or inconvenient vehicular or pedestrian traffic pattern.

Emergency access is addressed through an 8-foot-wide path for ambulance travel and a secondary fire access road, compliant with Ukiah Valley Fire Authority (UVFA) standards, including support for 75,000-pound imposed loads (CFC 503.1.2). Pedestrian walkways link parking areas to the building entrance, consistent with AIP-PD and General Plan policies MOB-1.8 and MOB-3.6. The requested 16-space parking reduction is allowed under AIP-PD discretionary review (UCC 9228.3), contingent upon Planning Commission review of operational and staffing data to confirm that circulation remains safe and non-hazardous.

3. The accessibility of off-street parking areas and the relation of parking areas with respect to traffic on adjacent streets will not create a hazardous or inconvenient condition to adjacent or surrounding uses.

The Lot Merger consolidates two parcels, creating adequate area for the 48 provided parking spaces and patient loading zones. The reduction from 64 required spaces is permitted under AIP-PD regulations for unique uses (UCC 9228.3) and is consistent with the Ukiah 2040 General Plan policies promoting flexible parking standards and Transportation Demand Management (TDM) (MOB-2.2, MOB-5). Bicycle parking supports these policies. The Planning Commission's final determination is conditioned on confirming that the reduced parking will prevent overflow onto adjacent streets and maintain safe access for surrounding uses.

4. Sufficient landscaped areas have been reserved for purposes of separating or screening the proposed structure(s) from the street and adjoining building sites, and breaking up and screening large expanses of paved areas.

The proposal includes 23% landscaping coverage, which actively exceeds the 20% minimum coverage required by the AIP-PD ordinance. The landscaping materials (including Japanese Maple and Northern Red Oak trees) provide necessary visual separation and effective screening, particularly for the staff parking areas located behind the building and the ground-mounted mechanical equipment.

5. The proposed development will not restrict or cut out light and air on the property, or on the property in the neighborhood; nor will it hinder the development or use of buildings in the neighborhood, or impair the value thereof.

The project involves placing the 6,958 SF expansion (mezzanine floor) within the existing structural shell and footprint, meaning it will not increase the current building height or footprint, thus limiting changes to height, bulk, and mass. Located within a commercial corridor (Light Manufacturing/Mixed-Use zone) surrounded by commercial uses (Tractor Supply and a Multi-Tenant Building), the commercial renovation and contemporary design is expected to enhance the area and will not impair neighboring commercial property values.

6. The improvement of any commercial or industrial structure will not have a substantial detrimental impact on the character or value of an adjacent residential zoning district.

The property is located in the Light Manufacturing/Mixed-Use zone of the AIP-PD. The surrounding uses are predominantly commercial and large-format retail. Since the adjacent zoning districts are not residential, the commercial improvement is not expected to cause a substantial detrimental impact on the character or value of an adjacent residential zoning district.

7. The proposed development will not excessively damage or destroy natural features, including trees, shrubs, creeks, and the natural grade of the site.

The site is an existing, previously developed urban parcel that has served commercial functions since 1992. The terrain is generally flat and contains no sensitive natural features. Existing mature trees along the western boundary are required to be retained whenever possible, as mandated by the AIP-PD. The landscape plan integrates these existing trees, with only limited trimming or removal requested to accommodate necessary safety features, such as the emergency ambulance path.

8. There is sufficient variety, creativity, and articulation to the architecture and design of the structure(s) and grounds to avoid monotony and/or a box-like uninteresting external appearance.

Adaptive reuse of the former steel pre-fabricated structure incorporates new glazing, fiber cement panels, and architectural detailing across all elevations. Integration of the previously undeveloped front parcel, with new parking, pedestrian facilities, and 23% landscaping, substantially enhances the corridor's visual and functional quality, meeting AIP-PD objectives for exemplary architectural treatment.

CEQA FINDINGS

The project qualifies for a Categorical Exemption under CEQA Guidelines, Article 19, Class 1 (Existing Facilities), Section 15301(a) because it involves the minor alteration and conversion of an existing commercial structure, with negligible expansion of the existing use. The addition of the mezzanine is under 10,000 square feet, occurs within an urbanized area, and all necessary public services and facilities are available. The expansion occurs entirely within the existing building footprint and does not increase the building's height or mass.

The exceptions to Class 1 exemptions under CEQA Guidelines Section 15300.2 do not apply. Although the project requests a reduction of 16 required parking spaces, parking adequacy is a local land use policy subject to discretionary review under the Airport Industrial Park Planned Development (AIP-PD) ordinance and does not constitute a significant environmental impact. The site is located within Ukiah Municipal Airport Compatibility Zones 5 and 6; potential airport-related impacts, including noise and glare, are mitigated through a required conditioned aviation easement, consistent with the Ukiah Municipal Airport Land Use Compatibility Plan (UKIALUCP), ensuring compatibility and public safety.

PUBLIC NOTICE

- Notice of the Public Hearing was provided in the following manner, in accordance with UCC §9231.3, 9263 and 9264:
- Published in the Ukiah Daily Journal on November 30, 2025; and
- Posted on the Project site on November 25, 2025; and
- Posted at the Civic Center (glass case) 72 hours prior to the public hearing; and
- Mailed to property owners within 300 feet of the Project parcels on November 25, 2025

**DRAFT CONDITIONS OF APPROVAL
 MAJOR SITE DEVELOPMENT PERMIT, MAJOR USE PERMIT, LOT MERGER
 CONVERSION OF AN EXISTING BUILDING INTO AN 'URGENT CARE AND ADMINISTRATION
 OFFICE'
 1240 AIRPORT PARK BOULEVARD (APNS 180-080-74 & 180-080-75)
 FILE NO. 25-0011; PERMIT NO. PA25-000019**

The following Conditions of Approval shall be made a permanent part of the Site Development Permit, and shall remain in force regardless of property ownership, and shall be implemented in order for this entitlement to remain valid.

Approved Project Description:

The Project consists of the construction and operation of a new Urgent Care Clinic and Administrative Office facility owned by Mendocino Community Health Clinics (MCHC) at 1240 Airport Park Boulevard. The project merges two parcels (APNs 180-080-74 and 180-080-75) into a single 1.16-acre lot and adaptively reuses the existing 7,129-square-foot building. A 6,958-square-foot mezzanine will be added within the existing structural shell for administrative offices, while the ground floor (7,186 SF) will house an urgent care clinic with seven exam rooms, imaging, and support areas. The total building area will be 14,144 SF. Site improvements include 48 parking spaces (requesting a reduction from the 64-space requirement), patient loading zones, upgraded pedestrian facilities, screened mechanical equipment, and full solar panel offset. The property is located in the Mixed-Use: Airport Industrial Park Planned Development (AIP-PD) zoning district and within Airport Compatibility Zones 5 and 6.

CITY OF UKIAH STANDARD CONDITIONS

1. This approval is not effective until the 10-day appeal period applicable to this Planning permit has expired without the filing of a timely appeal. If a timely appeal is filed, the project is subject to the outcome of the appeal and shall be revised as necessary to comply with any modifications, conditions, or requirements that were imposed as part of the appeal.
2. All use, construction and the location thereof, or occupancy, shall conform to the application and to any supporting documents submitted therewith, including any maps, sketches, or plot plans accompanying the application or submitted by applicant in support thereof.
3. Any construction shall comply with the "Standard Specifications" for such type of construction now existing or which may hereafter be promulgated by the Department of Public Works of the City of Ukiah; except where higher standards are imposed by law, rule, or regulation or by action of the Planning Commission such standards shall be met.
4. Building permits shall be issued within two years after the effective date of the Planning Permit or same shall be null and void.
5. In addition to any particular condition which might be imposed; any construction shall comply with all building, fire, electric, plumbing, occupancy, and structural laws, rules, regulations, and ordinances in effect at the time the Building Permit is approved and issued.
6. A Final Signage Plan shall be submitted prior to issuance of Building Permit. The Applicant shall obtain all required Sign Permits, in compliance with Division 3, Chapter 7, Signs, of the UCC. Prior to the placement/installation of any sign(s), the applicant shall make application for and receive approval of a sign permit. Any signage shall be in substantial conformance with the design and development standards of the Downtown Zoning Code.

7. A Final Landscaping Plan shall be submitted prior to issuance of Building Permit, in accordance with all applicable City codes. All landscaping shall be irrigated and maintained to a satisfactory condition throughout the life of the project.
8. The Applicant shall submit verification of all applicable permits or approvals in compliance with all local, state and federal laws to the Community Development Department prior to issuance of building permits.
9. All fees associated with the project planning permits and approvals shall be paid in full prior to occupancy.
10. As outlined in Article 20, Administration and Procedures, of the Zoning Code this planning permit may be revoked through the City's revocation process if the approved project related to this Permit is not being conducted in compliance with these stipulations and conditions of approval; or if the project is not established within two years of the effective date of this approval; or if the established use for which the permit was granted has ceased or has been suspended for 24 consecutive months.
11. In accordance with Public Resource Code 21082, in the event that prehistoric archaeological features such as a concentration of flaked stone artifacts, or culturally modified soil (midden) or dietary shell are encountered at any time during preparatory grading or underground excavation to remove existing structures, all work should be halted in the vicinity of the discovery. A qualified archaeologist should be contacted immediately to make an evaluation and determine if the discovered material represents a definite cultural resource. If it is determined that a potentially significant feature has been revealed, a temporary suspension of earth disturbing activities should be enforced until an appropriate mitigation program can be developed and implemented to satisfy the Planning Division. An archaeological monitor shall observe all further work during construction activities that are located within or near an archaeological site area, and formal tribal consultation may be required.

CITY OF UKIAH SPECIAL CONDITIONS

PLANNING DIVISION

12. Prior to the issuance of any building permit, the applicant shall complete and record the Lot Merger of Assessor's Parcel Numbers (APNs) 180-080-74 and 180-080-75 into a single legal parcel, as legally described and substantially depicted in the application materials
13. The site shall incorporate and maintain the following circulation elements prior to final occupancy, consistent with AIP-PD requirements and General Plan Policies MOB-1.10 and MOB-2.2:
 - a. Pedestrian walkways shall directly and safely link all parking areas with building entrances and adjacent public rights-of-way.
 - b. Bicycle parking facilities (e.g., lockers and racks) shall be installed near the building entrances.

BUILDING DIVISION

14. A permit will be required for Tenant Improvements.
15. The design and construction of all site alterations shall comply with the 2022 California Building Code, 2022 Plumbing Code, 2022 Electrical Code, 2022 California Mechanical Code, 2022 California Fire Code, 2022 California Energy Code, 2022 Title 24 California Energy Efficiency Standards, 2022 California Green Building Standards Code, City of Ukiah, and Ukiah Valley Fire Authority Ordinances and Amendments.

UKIAH VALLEY FIRE AUTHORITY- PREVENTION

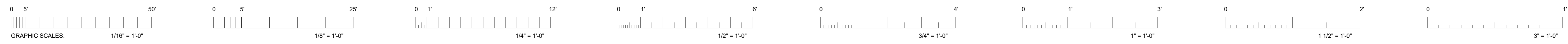
- 16.** The project shall comply with the currently adopted California Building Code, California Fire Code, and other codes, standards, regulations and requirements as enforced by the Ukiah Valley Fire Authority (UVFA).
- 17.** Alterations to the building that impact the Fire Alarm and/or Fire Suppression Systems shall require a deferred submittal with a minimum of two sets of plans and with specifications provided to the UVFA for review and approval prior to initiating work that would impact those systems. Only a qualified C-16 contractor working on a fire suppression system or C-10 licensed contractor working on a fire detection system can complete necessary work on those systems.
- 18.** The building Fire Sprinkler System shall be maintained operational at all times during alteration. When the renovation requires modification of a portion of a fire protection system, the remainder of the system shall be kept in service. CFC Section 3304.5, & N FPA 241 Section 10.8.
- 19.** Per CFC§ 503.1.2, Provide access for ambulance pick up at the back or side of the building, and provide a second fire access road on the south/west side of the property. The proposed southern curb cut allows the ambulance departures from the rear of the facility without having to make a 3-point turn at the vehicle and pedestrian crosswalk and driveway crossings.
- 20.** Plans for the security fence gate at the emergency ambulance exit must detail the installation of an approved activation device (siren or strobe), which shall be maintained and fully operational prior to occupancy.

ELECTRIC UTILITY DEPARTMENT

- 21.** Prior to the issuance of any building permit, the applicant shall satisfy all requirements of the Ukiah Electric Utility Department (EUD):
 - a. All new conduit pathways must avoid running beneath buildings.
 - b. The property must be served from Underground service.
 - c. The developer shall provide EUSERC approved electrical equipment compatible with the City of Ukiah's current EUSERC Acceptability Chart before the panel can be used on this project.
 - d. All future site improvements shall be submitted to the Electric Utility Department for review and comment. At that time, specific service requirements, service Voltage and developer costs and requirements will be determined.
 - e. The developer/customer shall incur all costs of this future project to include (labor, equipment, and future services).
 - f. The applicant shall grant an easement to the EUD for any Primary or Secondary lines traversing the property, or around any City-owned Electric equipment.

AIRPORT LAND USE COMMISSION (ALUC) / FAA

- 22.** The property owner shall dedicate a conditioned Avigation Easement to the City of Ukiah, in a form approved by the City Attorney, consistent with UKIALUCP Policy 3.3.6. The easement must grant the right of flight, allow for noise/impacts associated with overflight, and restrict the height of structures/trees.
- 23.** The applicant shall record an Overflight Notification in the chain of title of the property, consistent with UKIALUCP Policy 3.7.1
- 24.** The applicant must comply with all FAA standards for object height and non-physical hazards.



IF THIS SHEET IS NOT 30"x42", IT IS A REDUCED PRINT SCALE ACCORDINGLY

Mendocino Community Health Centers MCHC HEALTH CENTERS Urgent Care Clinic & Administration Building

1240 Airport Park Blvd Ukiah, CA 95482

APN: 180-080-74 & 180-080-75

ATTACHMENT 3



MCHC
HEALTH CENTERS

Delta	Date	Revisions	By
1	10/17/25	PLANNING & OWNER REVISIONS	KC

GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF GOVERNING CODES LISTED IN "APPLICABLE CODES" AND ALL GOVERNING LOCAL CODES AND REGULATIONS.
- THE OWNER / ARCHITECT HAVE OBTAINED APPROVAL OF THE PRIMARY AUTHORITY HAVING JURISDICTION (CITY BUILDING PERMIT). CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER REQUIRED PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- UNLESS STATED OTHERWISE IN THE SPECIFICATIONS, SPECIAL INSPECTION IS REQUIRED FOR SHOP AND FIELD STRUCTURAL WELDING.
- WHERE INCORPORATED IN THE CONSTRUCTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN COPIES OF CITY BUILDING PERMIT PRE-APPROVALS FOR PRE-APPROVED ITEMS OR SYSTEMS INCORPORATED INTO THE CONSTRUCTION AND DISTRIBUTE TO OWNER'S REPRESENTATIVE, ARCHITECT AND INSPECTOR.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO FURNISH AND INSTALL ALL MATERIALS AND WORK DESCRIBED, DEPICTED OR DETAILED WITHIN THESE DOCUMENTS REGARDLESS OF THE LOCATION OF THAT MATERIAL OR WORK WITHIN THE DOCUMENTS OR OMISSION (WHETHER DELIBERATE OR ACCIDENTAL) OF THAT MATERIAL OR WORK BY A SUBCONTRACTOR ON HIS/HER BID.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL CONSIDER THESE DOCUMENTS IN THEIR ENTIRETY. DISCREPANCIES OR CONTRADICTIONS BETWEEN PORTIONS OF THESE DOCUMENTS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AT LEAST 72 HOURS PRIOR TO BID OPENING FOR CLARIFICATION. OTHERWISE, THE MOST RESTRICTIVE REQUIREMENT SHALL BE IN FORCE AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE SAFETY OF ALL PERSONS ON OR ABOUT THE CONSTRUCTION SITE, IN ACCORDANCE WITH APPLICABLE LAWS AND CODES. CONTRACTOR ESTABLISH PROCEDURES TO ASSURE ALL PERSONS ENTERING A POSSIBLY HAZARDOUS AREA, INCLUDING WORKERS, SUBCONTRACTORS, OTHER CONTRACTORS, VISITORS, AND OTHERS ARE AWARE OF APPROPRIATE / REQUIRED SAFETY PROCEDURES. COMPLY WITH LOCAL, STATE, AND FEDERAL SAFETY STANDARDS, INCLUDING OSHA REQUIREMENTS AND WITH THE SAFETY PROVISIONS OF THE LATEST MANUAL OF ACCIDENT PREVENTION PUBLISHED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING TEMPORARY FENCING AND GATES, SIGNAGE, SECURITY LIGHTING OR OTHER SECURITY AND CONTROL MEASURES NECESSARY TO PROVIDE FOR THE SAFETY OF THE PUBLIC AND FACILITY USERS UNTIL THE COMPLETION OF THE WORK.
- THE CONTRACTOR IS RESPONSIBLE TO FOR PROTECTION OF ADJACENT PROPERTY AND SHALL REPAIR AND / OR REPLACE ALL PROPERTY DAMAGED DURING THE COURSE OF THE WORK.
- THE CONTRACTOR SHALL LIMIT HIS / HER ACTIVITY TO THE AREA DESCRIBED WITHIN THE DOCUMENTS UNLESS OTHERWISE PERMITTED BY THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ANY ITEMS DAMAGED OR DISTURBED DURING THE COURSE OF THE WORK. INSTALLATION SHALL MATCH EXISTING IN KIND, QUALITY, AND PERFORMANCE.
- WHERE EXISTING CONSTRUCTION AND FINISHES ARE CUT, DAMAGED, OR REMODELED, PATCH WITH MATERIALS TO MATCH IN KIND, QUALITY, PERFORMANCE CHARACTERISTICS, AND APPEARANCE.
- ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED. DIMENSIONS NOTED AS "CLR" MEAN CLEAR DIMENSION TO FACE OF FINISH. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES FOUND.
- VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES FOUND. VERIFY DIMENSIONS OF ALL OWNER-FURNISHED ITEMS, INCLUDING FURNITURE AND EQUIPMENT, TO ENSURE PROPER COORDINATION WITH CONSTRUCTION.
- ALL ITEMS IN THESE DRAWINGS ARE NEW UNLESS OTHERWISE NOTED.
- ALL UTILITIES REQUIRED FOR THE CONTINUOUS OPERATION OF ALL OCCUPIED EXISTING FACILITIES SHALL BE MAINTAINED IN SERVICE AT ALL TIMES. ANY SHUT DOWNS FOR NEW CONNECTIONS MUST BE COORDINATED WITH THE OWNER'S REPRESENTATIVE TWO WEEKS PRIOR TO THE REQUESTED SHUT DOWN.
- COORDINATION WITH OTHER CONTRACTS: IF ANY PART OF THIS CONTRACTOR'S WORK DEPENDS UPON THE WORK OF A SEPARATE CONTRACTOR, THIS CONTRACTOR SHALL INSPECT SUCH OTHER WORK AND PROMPTLY REPORT IN WRITING TO THE OWNER'S REPRESENTATIVE ANY DEFECTS IN SUCH OTHER WORK THAT RENDER IT UNSUITABLE TO RECEIVE THE WORK OF THIS CONTRACTOR. FAILURE OF THIS CONTRACTOR TO SO INSPECT AND REPORT SHALL CONSTITUTE AN ACCEPTANCE OF THE OTHER CONTRACTOR'S WORK, EXCEPT AS TO DEFECTS WHICH MAY DEVELOP IN OTHER CONTRACTOR'S WORK AFTER EXECUTION OF THIS CONTRACTOR'S WORK.
- COORDINATION OF SCHEDULE: PORTIONS OF THIS WORK MAY BE REQUIRED TO BE COMPLETED ON SCHEDULE IN ORDER TO AVOID DELAY TO OTHER CONTRACTORS OR OWNERS OPERATIONS. CONTRACTOR SHALL STRICTLY ADHERE TO ESTABLISHED COMPLETION DATES AS DESIGNATED IN THE SPECIFICATIONS AND COORDINATE WORK SCHEDULE WITH THE OWNER'S REPRESENTATIVE AND OTHER CONTRACTORS. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND LIQUIDATED DAMAGES.
- SCHEDULE ALL WORK WITH THE OWNER'S REPRESENTATIVE, INCLUDING CONSTRUCTION ACCESS AND STORAGE, AND WORK OUTSIDE THE "EXTENT OF WORK" SET FORTH IN THESE DOCUMENTS. THE CONSTRUCTION SCHEDULE SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION.
- CONSTRUCTION PROCEDURES SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION.
- DEMOLITION IS NOT NECESSARILY LIMITED TO ONLY WHAT IS SHOWN ON THIS OR OTHER DRAWINGS OR AS OUTLINED IN THE SPECIFICATIONS. THE INTENT IS TO INDICATE GENERAL SCOPE OF DEMOLITION REQUIRED. CONTRACTOR SHALL INCLUDE ALL MISCELLANEOUS DEMOLITION, CUTTING AND PATCHING REQUIRED TO COMPLETE THE PROJECT IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
- ALL ITEMS IDENTIFIED TO BE SALVAGED SHALL BE DELIVERED IN GOOD CONDITION TO A PLACE OF STORAGE AS DIRECTED BY THE OWNER'S REPRESENTATIVE. ALL OTHER ITEMS MUST BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- ARCHITECT IS NOT RESPONSIBLE FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO, HAZARDOUS MATERIALS OR TOXIC SUBSTANCES IN ANY FORM AT THE PROJECT SITE. TO THE EXTENT THESE DOCUMENTS RELATE TO SUCH ISSUES, ARCHITECT'S PARTICIPATION IS SOLELY ADMINISTRATIVE WITHOUT ANY RESPONSIBILITY FOR THE CONTENT OR EXECUTION OF SUCH DOCUMENTS.
- DETAIL DRAWINGS WITH REFERENCES TO FIRE-RATED ASSEMBLIES OR CONSTRUCTION WHICH HAVE BEEN TESTED BY UNDERWRITERS LABORATORIES, THE CALIFORNIA BUILDING CODE OR ANY OTHER APPROVED TESTING AGENCY, SHALL BE CONSTRUED TO INCLUDE ALL WORK AND PROCEDURES CONTAINED IN THE REFERENCED ASSEMBLY DESCRIPTION.
- ALL PIPE AND DUCT PENETRATIONS THROUGH FIRE RATED CONSTRUCTION SHALL BE FIRE STOPPED AND SEALED TO MAINTAIN THE REQUIRED RATING.
- CONTRACTOR TO MAINTAIN CONTEMPORANEOUSLY RECORDED "AS-BUILT" INFORMATION OF ALL WORK, WHICH SHALL BE MARKED IN COLOR ON THE DRAWINGS AND SPECIFICATIONS. A SCANNED PDF OF THE "AS-BUILT" DRAWINGS AND SPECIFICATIONS SHALL BE TURNED OVER TO THE OWNER'S REPRESENTATIVE PRIOR TO FINAL APPLICATION FOR PAYMENT. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION AND DUST COVERS ADJACENT TO OCCUPIED AREAS AS REQUIRED TO CONTAIN DUST AND DEBRIS WITHIN CONSTRUCTION AREA. BROOM CLEAN ALL AREAS, INCLUDING SIDEWALKS AND DRIVEWAYS EACH DAY. KEEP DIRT AND DUST TO A MINIMUM.
- WORK SHALL BE EXECUTED IN A CAREFUL AND ORDERLY MANNER WITH THE LEAST POSSIBLE DISTURBANCE TO PUBLIC AND TO OCCUPANTS OF EXISTING BUILDING.
- CLEAN ALL EXPOSED SURFACES AND NEW EQUIPMENT AFTER COMPLETION.

APPLICABLE CODES

ALL WORK PERFORMED UNDER THIS CONTRACT IS TO CONFORM TO THE FOLLOWING CODES AND REGULATIONS:

2022 CALIFORNIA BUILDING ADMINISTRATIVE CODE, PART 1, TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR)

2022 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24, CCR BASED ON THE 2021 INTERNATIONAL BUILDING CODE (IBC) WITH 2021 CALIFORNIA AMENDMENTS)

2022 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24, CCR BASED ON THE 2020 NATIONAL ELECTRICAL CODE (NEC) WITH 2020 CALIFORNIA AMENDMENTS)

2022 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24, CCR BASED ON THE 2021 UNIFORM MECHANICAL CODE (UMC) WITH 2021 CALIFORNIA AMENDMENTS)

2022 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24, CCR BASED ON THE 2021 UNIFORM PLUMBING CODE (UPC) WITH 2021 CALIFORNIA AMENDMENTS)

2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS (ENERGY CODE), PART 6, TITLE 24, CCR

2022 SAFETY CODE FOR ELEVATORS AND ESCALATORS (ASME A17.1-2019)

2022 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24, CCR BASED ON THE 2021 INTERNATIONAL FIRE CODE (IFC) WITH 2022 CALIFORNIA AMENDMENTS)

2022 CALIFORNIA EXISTING BUILDING CODE, PART 10, TITLE 24, CCR (2021 IEB CODE AND 2022 CALIFORNIA AMENDMENTS)

2022 CALIFORNIA GREEN BUILDING CODE (CALGreen), PART 11, TITLE 24, CCR

2022 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24, CCR

TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS

2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

NFPA 13 INSTALLATION OF SPRINKLER SYSTEMS 2022 EDITION
 NFPA 14 INSTALLATION OF STANDPIPE SYSTEMS 2019 EDITION
 NFPA 17 STANDARD FOR DRY CHEMICAL EXTINGUISHING SYS. 2021 EDITION
 NFPA 17A STANDARD FOR WET CHEMICAL SYSTEMS 2021 EDITION
 NFPA 20 INSTALLATION OF STATIONARY PUMPS 2019 EDITION
 NFPA 24 INSTALLATION OF PRIVATE FIRE MAINS 2019 EDITION
 NFPA 72 NATIONAL FIRE ALARM AND SIGNALING CODE 2022 EDITION
 NFPA 80 FIRE DOORS AND OTHER OPENING PROTECTIVES 2019 EDITION
 NFPA 92 STANDARD FOR SMOKE CONTROL SYSTEMS 2018 EDITION
 NFPA 253 CRITICAL RADIANT FLUX OF FLOOR COVERING SYS 2019 EDITION
 NFPA 2001 CLEAN AGENT FIRE EXTINGUISHING SYSTEM 2019 EDITION

REFERENCE CODE SECTIONS FOR APPLICABLE STANDARDS - 2022 CBC CHAPTER 35 AND 2022 CFC CHAPTER 45

THE ABOVE CODES AND REGULATIONS REFER TO THE LATEST EDITION OR REVISION IN FORCE ON THE DATE OF THE CONTRACT, UNLESS OTHERWISE STATED. NOTHING ON THE DRAWINGS IS TO BE CONSTRUED AS REQUIRING OR PERMITTING WORK THAT IS CONTRARY TO THE LISTED CODES AND REGULATIONS, OR OTHER LOCAL, STATE OR FEDERAL CODES OR REGULATIONS WHICH MAY BE APPLICABLE.

COMPLIANCE WITH CFC CHAPTER 33, FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION, AND CBC CHAPTER 33, SAFETY DURING CONSTRUCTION WILL BE ENFORCED.

OWNER

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 UKIAH, CA 95482
 CONTACT: TIFFANY WILLIAMS

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 FAX: (510) 529-9437
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CONSULTANTS

ARCHITECT

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 4602 2ND STREET, SUITE 3
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 FAX: (530) 758-4789

CIVIL / LANDSCAPE

SHARRAH DUNLAP SAWYER, INC
 6590 LOCKHEED DRIVE
 REDDING, CA 96002
 CONTACT: MIKE DORMER

TEL: (530) 221-1792
 FAX: (530) 221-8369

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 433 HEGENBERGER ROAD, SUITE 204
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 CONTACT: DOUG DENG

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 FAX: (510) 562-0584

MECHANICAL / PLUMBING

WESTON & ASSOCIATES
 601 UNIVERSITY AVENUE, SUITE 200
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 CONTACT: ADAM DAVIS

TEL: (916) 482-0820

ELECTRICAL / COMMUNICATIONS

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 400 R STREET, SUITE 333
 SACRAMENTO, CA 95811
 CONTACT: DONNY LEE

TEL: (916) 256-2460
 FAX: (510) 775-3836

EXISTING CONDITIONS

1. TYPE OF EXISTING CONSTRUCTION	: II-B
2. TYPE OF NEW CONSTRUCTION	: II-B
3. EXISTING NUMBER OF FLOORS	: 1
4. NEW NUMBER OF FLOORS	: 2
5. NUMBER OF BASEMENTS	: NONE
6. FULLY SPRINKLERED BUILDING	: YES
7. EXISTING OCCUPANCY GROUP	: B
8. NEW OCCUPANCY GROUP	: B
9. AREA OF WORK	: 14,144 SF

INDEX OF DRAWINGS

A0.01	TITLE SHEET
A1.02	SITE PLAN
C1	PRELIMINARY GRADING & DRAINAGE SHEET
C2	PRELIMINARY UTILITY SHEET
L1	PLANTING PLAN
E1.01	OVERALL SITE PLAN - ELECTRICAL
E1.02	OVERALL SITE PLAN - PHOTOMETRIC
A2.02	OVERALL FIRST FLOOR PLAN - REMODEL
A2.03	OVERALL SECOND FLOOR PLAN - REMODEL
A3.01	EXTERIOR ELEVATIONS
A3.02	EXTERIOR ELEVATIONS
A3.03	BUILDING SECTIONS
A8.01	EXTERIOR DETAILS - SITE
A3.04	EXTERIOR PERSPECTIVE RENDERINGS
A3.05	WALL SECTIONS & DETAILS

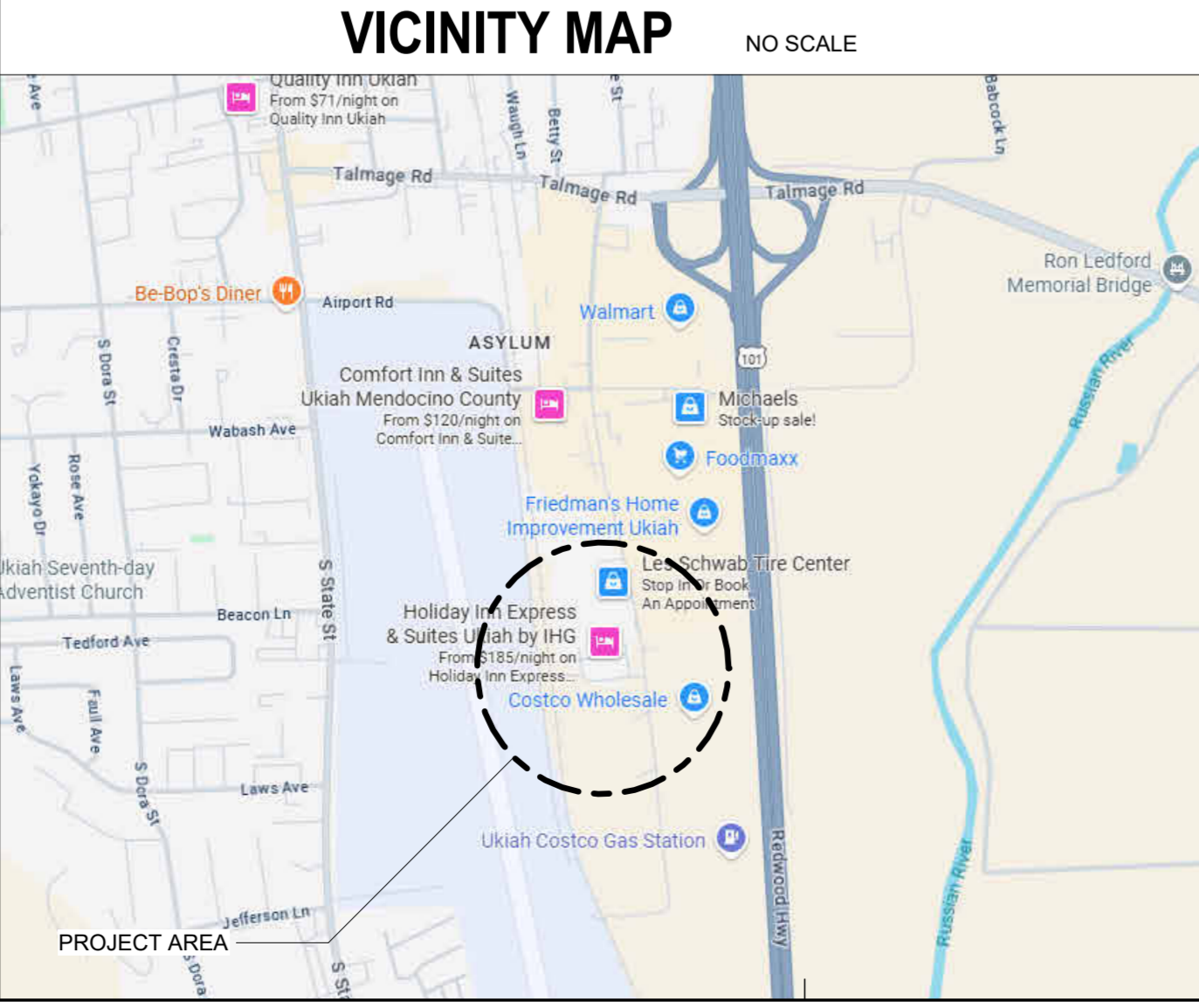
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PLANNING PACKAGE

AGENCY APPROVAL

SCOPE OF WORK

CONVERT EXISTING 7, 129 SF VETERINARIAN CLINIC BUILDING INTO MENDOCINO COMMUNITY HEALTH CENTERS NEW URGENT CARE AND ADMINISTRATIVE BUILDING.



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HY HIBSER YAMAUCHI Architects, Inc.
 4602 2nd Street, Suite 3
 Davis, CA 95618
 530.758.1270 tel | 530.758.4789 fax

HY Architects Project number: 6257

Facility
 MCHC HEALTH CENTERS
 1240 Airport Park Blvd Ukiah, CA 95482

Project
 Urgent Care Clinic & Administration Building

Sheet Title
 TITLE SHEET

Client Project Number:	6257
Scale:	12" = 1'-0"
Drawn By:	Author
Checked By:	Checker
Issue Date:	10/17/2025
Revit Version:	2025
Sheet	A0.01
Sheet	1 of 200



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LANDSCAPE PLANTS



*SEE LANDSCAPE DRAWING FOR MORE INFORMATION

PARKING ANALYSIS

PARKING SPACES PROVIDED:
 MEDICAL CLINIC (1 PARKING SPACE PER 200 SF)
 7,197 SF / 200 = 36 PARKING SPACES
 OFFICE (1 PARKING SPACE PER 250 SF)
 6,958 SF / 250 = 28 PARKING SPACES
 TOTAL REQUIRED PARKING SPACE: 64 PARKING SPACES
 PARKING SPACES PROVIDED TO REQ'D: 51/64 SPACES

REQUIRED ACCESSIBLE PARKING SPACES:
 (51 TO 75 - PER CBC 11B-26.2) 3 PARKING SPACES

REQUIRED CLEAN-AIR VEHICLE PARKING SPACE:
 (51 TO 75 - PER CGBSC 5.106.5.3) 3 EVCS WITH EVSE
 13 EVCS

REQUIRED BICYCLE PARKING (PER CGBSC 5.106.4):
 SHORT TERM (5% OF REQUIRED PARKING): 4
 LONG TERM (5% OF REQUIRED PARKING): 4

EMERGENCY VEHICLE FIRE LANE: 12' - 0" WIDE

TOTAL AREA OF PARKING: 23,629 SF

BUILDING INFORMATION

ADDRESS: 1248 AIRPORT PARK BLVD UKIAH, CA
 1248 AIRPORT PARK BLVD UKIAH, CA

PARCEL NUMBER: 180-08-074
 180-08-075

ZONE: PLANNING DEVELOPMENT COMBINING (PD-COMMERCIAL)

LOT AREA: 50,537 ± SF / 1.16 ACRES

BUILDING COVERAGE: 6,958 SF (14%)

LANDSCAPE COVERAGE: 10,107 SF (10%)

EXISTING FLOOR AREA: 7,000 SF

FIRST FLOOR AREA: 7,216 SF

SECOND FLOOR AREA: 7,227 SF

TOTAL FLOOR AREA: 14,443 SF

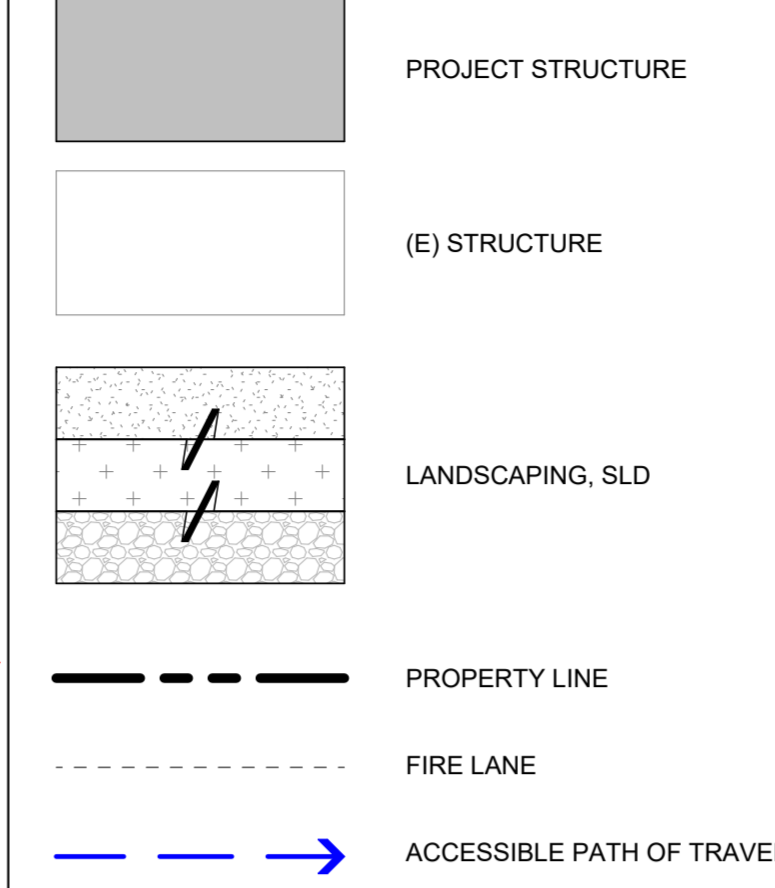
CONSTRUCTION TYPE: II-B

BUILDING HEIGHT: 36' - 4"

OCCUPANCY TYPE: B

FIRE PROTECTION: FULLY SPRINKLER AND FIRE ALARM SYSTEM

LEGEND



PLANNING GENERAL NOTES

- ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAX. SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. AND AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. VERIFY SLOPE W/ 24" SMART LEVEL.
- ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80"
- REFER TO C, E, & L SERIES SHEETS FOR ADDITIONAL INFORMATION

AIRPORT COMPATIBILITY

ZONE 5 SQUARE FOOTAGE = 18,779 SF OR 0.43 ACRES
 ZONE 6 SQUARE FOOTAGE = 31,759 SF OR 0.73 ACRES
 - HALF BUILDING SQUARE FOOTAGE IS IN ZONE 5 AND HALF IN ZONE 6
 - TOTAL BUILDING OCCUPANCY = 220 PEOPLE

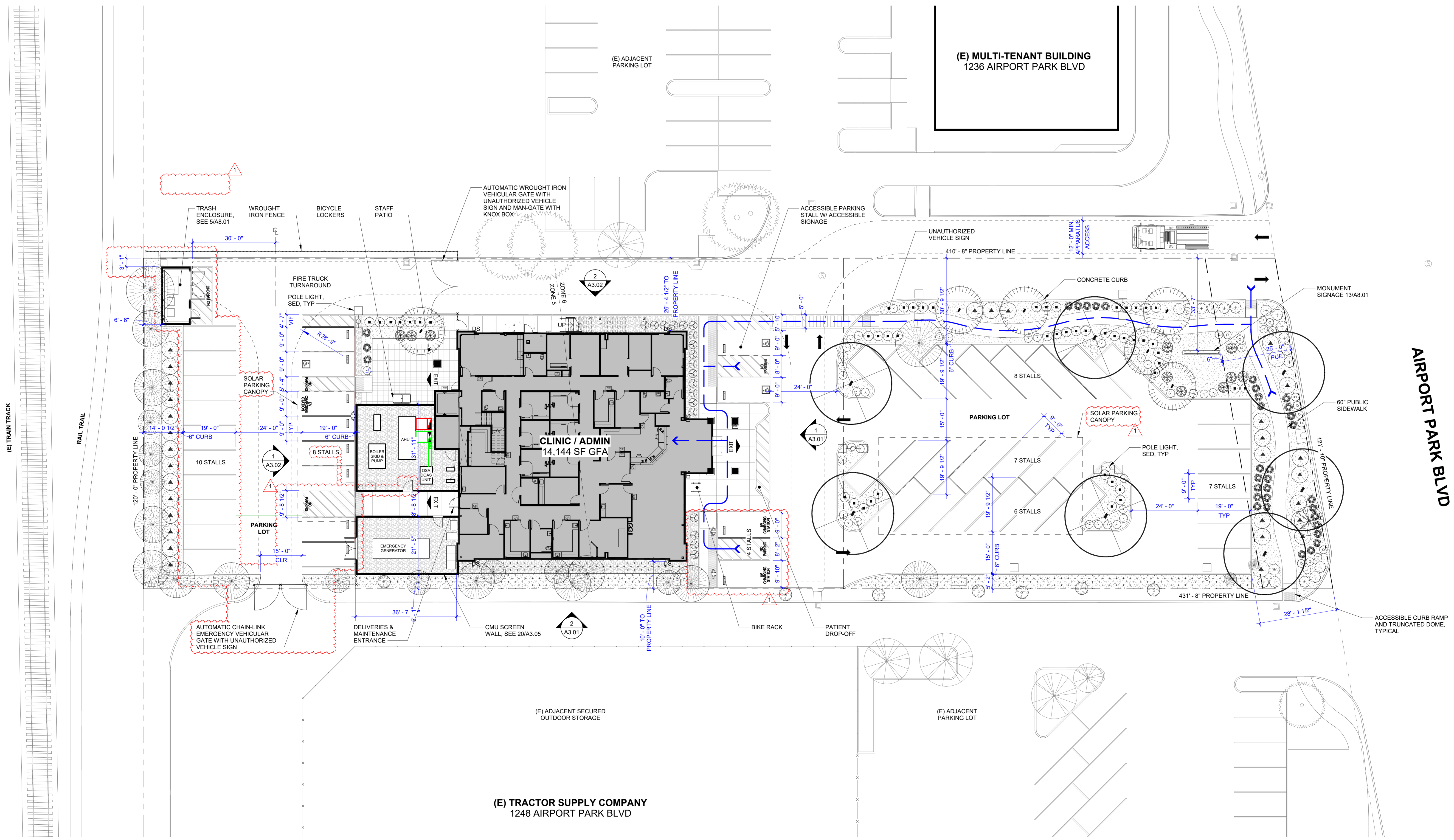
ZONE 5:
 - MAX SITEWIDE AVG INTENSITY (PPL/ACRE) = 100/ACRE
 - MAX SINGLE ACRE INTENSITY (PPL/ACRE) = 300/ACRE
 - ZONE 5 ACRES 0.43 ACRES X 300 PPL/ACRE = 129 PEOPLE
 OCCUPANCY IN ZONE 5 = 110 PEOPLE < 129 PEOPLE

ZONE 6:
 - MAX SITEWIDE AVG INTENSITY (PPL/ACRE) = 300/ACRE
 - MAX SINGLE ACRE INTENSITY (PPL/ACRE) = 1,000/ACRE
 - ZONE 6 ACRES 0.73 ACRES X 1200 PPL/ACRE = 876 PEOPLE
 OCCUPANCY IN ZONE 6 = 110 PEOPLE < 876 PEOPLE

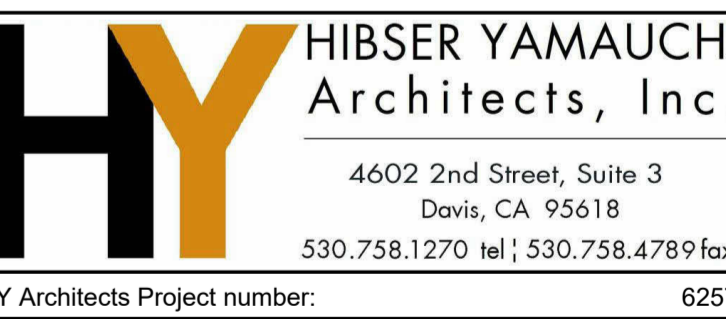


Revisions	Delta	Date	Revisions	By
1	10/17/25	PLANNING & OWNER REVISIONS		KC

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1 SITE PLAN - REMODEL
 1/16" = 1'-0"



4602 2nd Street, Suite 3
 Davis, CA 95618
 530.758.1270 tel | 530.758.4789 fax

HY Architects Project Number: 6257

Facility
 MCHC HEALTH CENTERS
 1240 Airport Park Blvd Ukiah, CA 95482

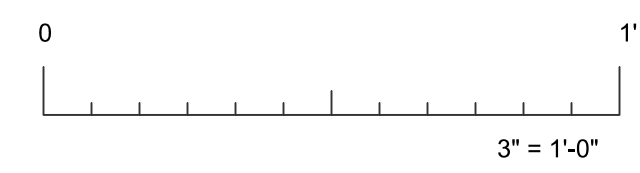
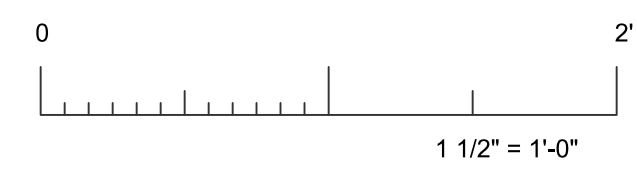
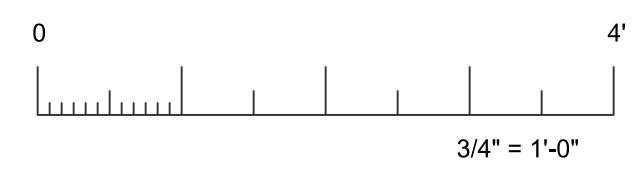
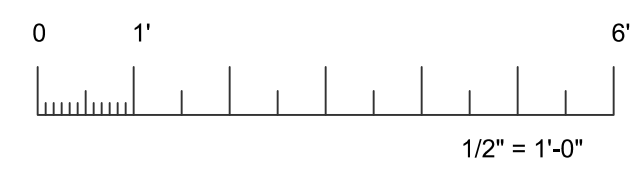
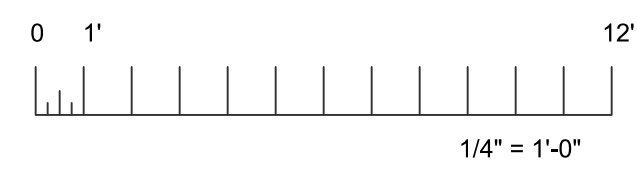
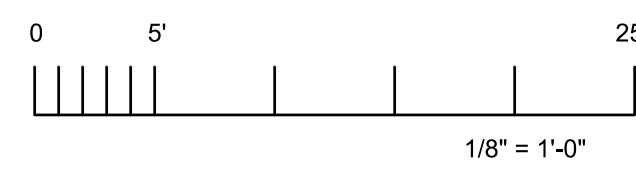
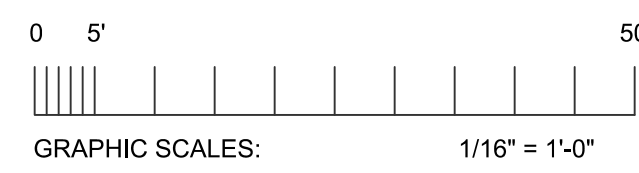
Project
 Urgent Care Clinic &
 Administration Building

Sheet Title
 SITE PLAN - REMODEL

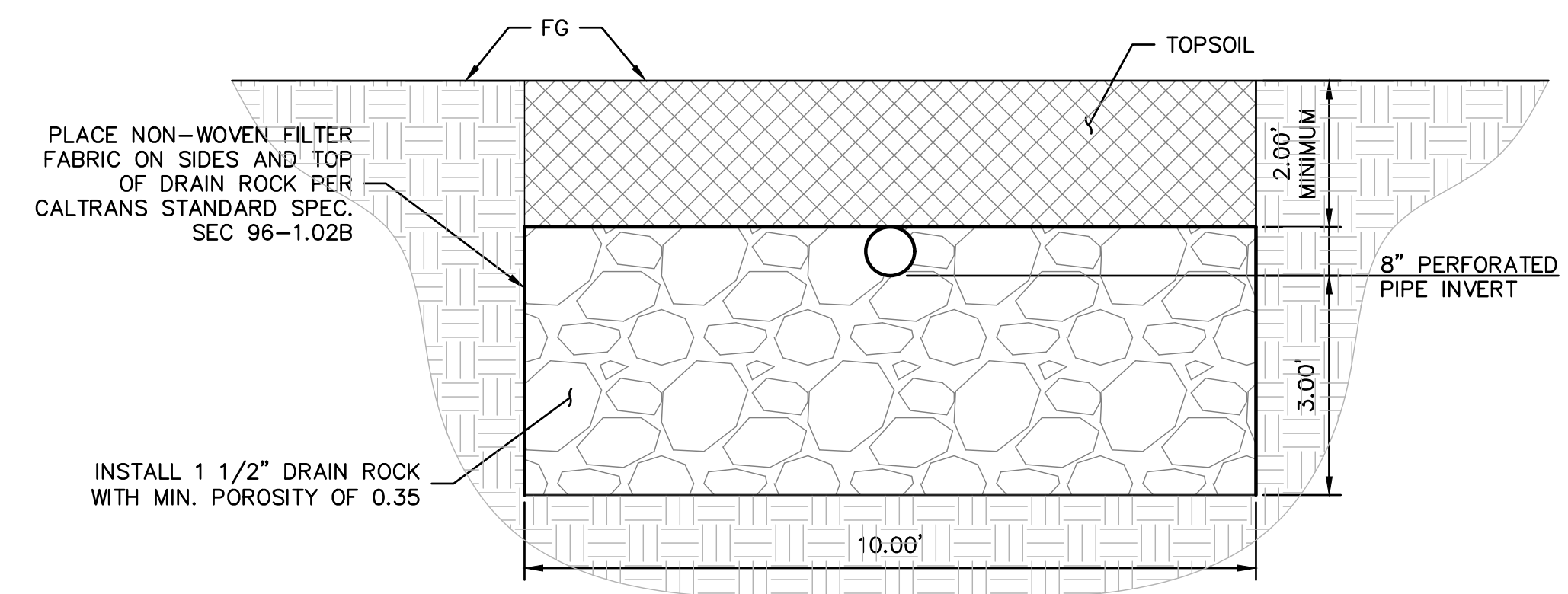
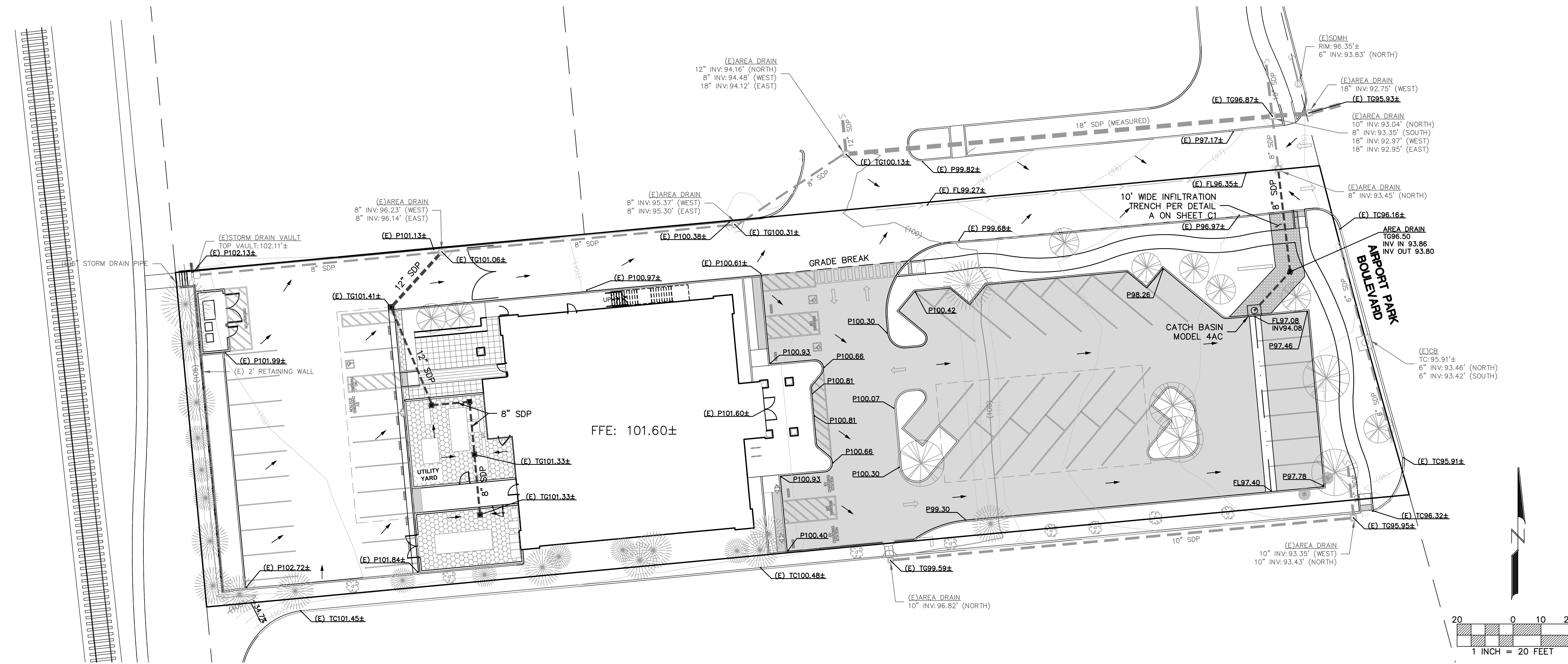
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 Drawn By: Author
 Checked By: Checker
 Issue Date: 10/17/2025
 Revit Version: 2025

Sheet
A1.01
 Sheet 2 of 200

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INFLTRATION TRENCH DETAIL (A)
SCALE: 1"=2'

LEGEND:
 PROPOSED AREA OF NEW PAVEMENT

Revisions

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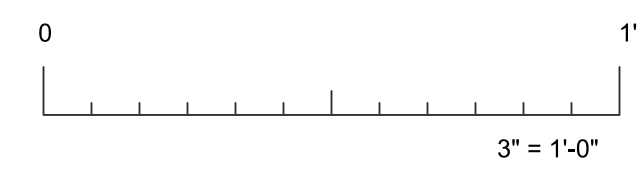
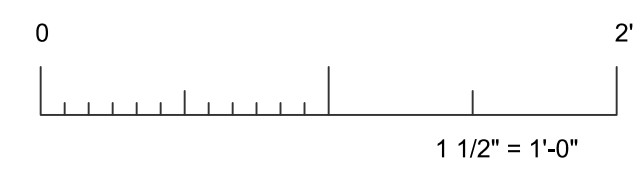
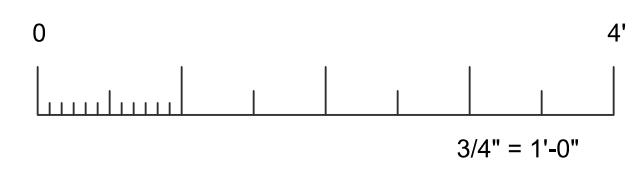
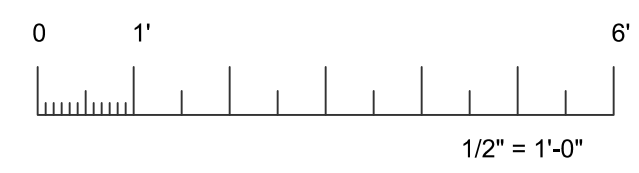
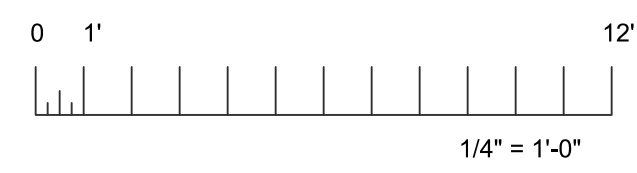
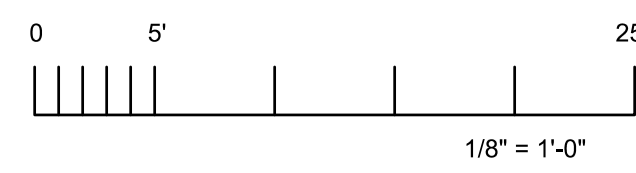
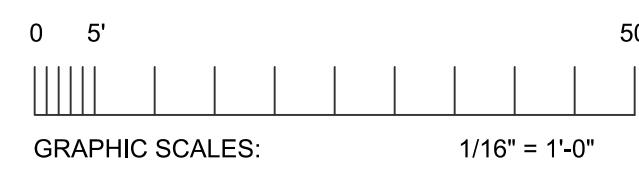
HY Architects Project number:

Facility:
 MENDOCINO COUNTY HEALTH CLINIC
 1240 AIRPORT PARK BLVD.
 UKIAH, CA 95482

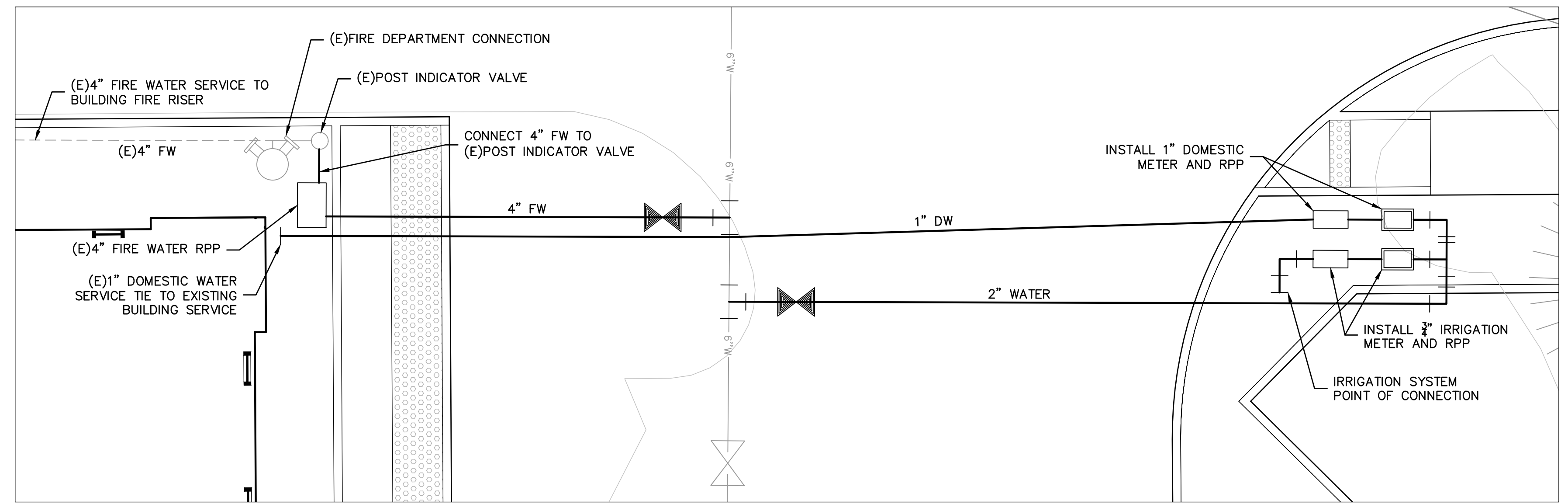
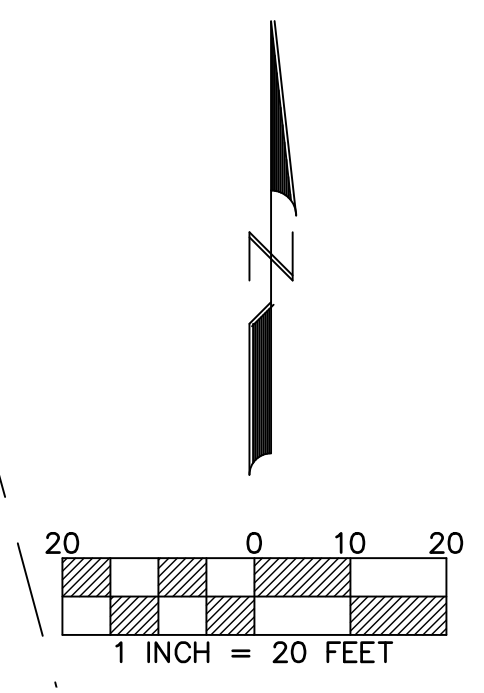
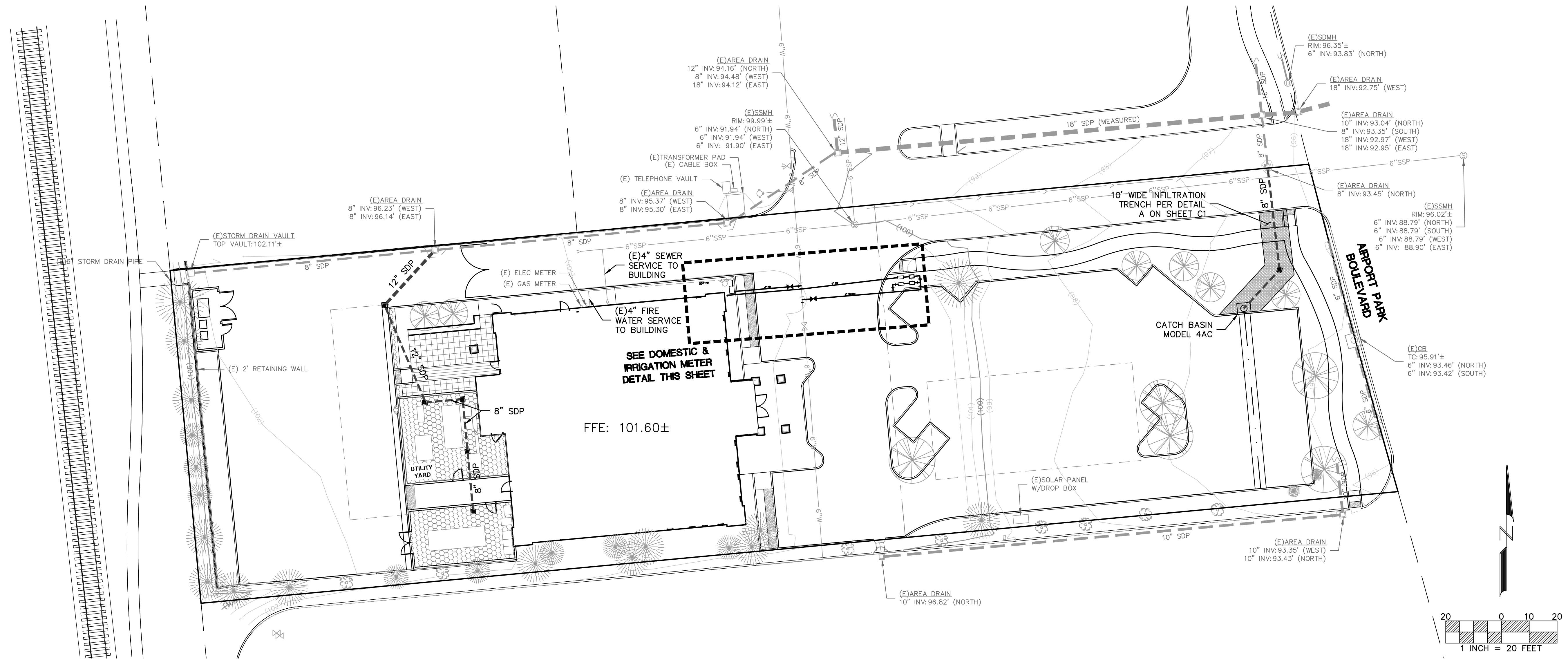
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 URGENT CARE CLINIC &
 ADMINISTRATION BUILDING

Sheet Title:
 PRELIMINARY GRADING &
 DRAINAGE SHEET

Client Project Number:	Sheet
Scale: 1"=20'	C1
Drawn By: KN @ SDS	
Checked By: MD @ SDS	
Issue Date: OCTOBER 17, 2025	
Civil 3D Version: 2024	Sheet of



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DOMESTIC & IRRIGATION METER DETAIL
SCALE: 1"=5'

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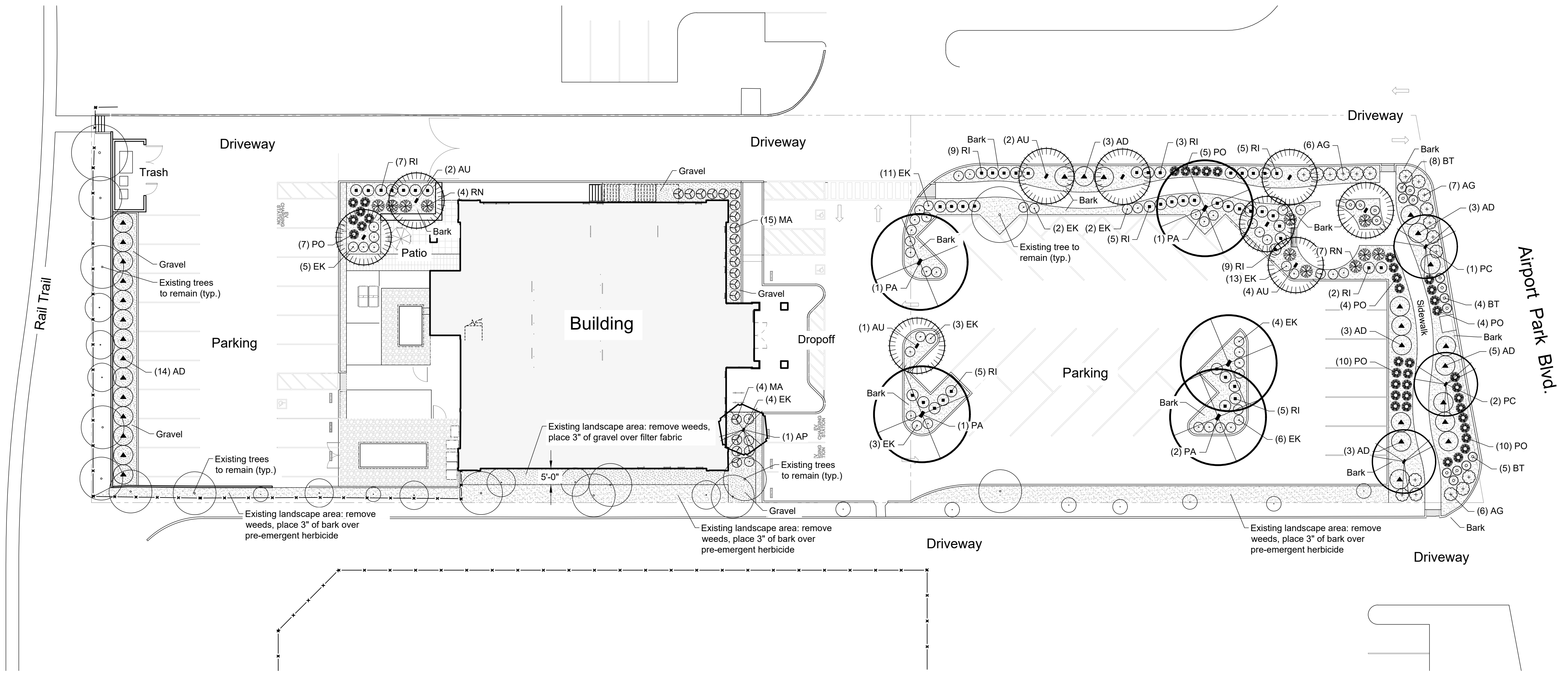
HY Architects Project number:

Facility:
MENDOCINO COUNTY HEALTH CLINIC
1240 AIRPORT PARK BLVD.
UKIAH, CA 95482

Project:
URGENT CARE CLINIC &
ADMINISTRATION BUILDING

Sheet Title:
PRELIMINARY GRADING &
DRAINAGE SHEET

Client Project Number:	Sheet
Scale: 1"=20'	
Drawn By: KN @ SDS	C2
Checked By: MD @ SDS	
Issue Date: OCTOBER 17, 2025	
Civil 3D Version: 2024	Sheet of



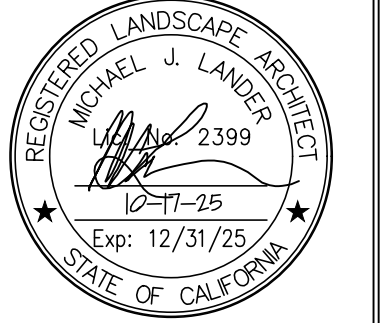
CODE	QTY	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
AG	19	5 gal.	Abelia x grandiflora 'Prostrata'	Prostrate Glossy Abelia	
AP	1	15 gal.	Acer palmatum	Japanese Maple	low branched
AU	9	15 gal.	Arbutus unedo	Strawberry Tree	standard, double stake
AD	31	5 gal.	Arctostaphylos x 'John Dourley'	John Dourley Manzanita	
BT	17	1 gal.	Berberis thunbergii 'Crimson Pygmy'	Crimson Pygmy Japanese Barberry	
EK	53	1 gal.	Erigeron karvinskianus	Santa Barbara Daisy	
MA	19	5 gal.	Mahonia aquifolium 'Compacta'	Compact Oregon Grape	
PO	40	1 gal.	Pennisetum orientale	Oriental Fountain Grass	
PA	5	15 gal.	Platanus x acerifolia 'Columbia'	Columbia London Plane Tree	double stake
PC	3	15 gal.	Prunus cerasifera 'Krauter Vesuvius'	Krauter Vesuvius Purple-leaf Plum	double stake
RI	50	5 gal.	Rhaphiolepis indica 'Ballerina'	Ballerina Indian Hawthorn	
RN	11	5 gal.	Rosa x 'Noatraum'	Flower Carpet Pink Groundcover Rose	
GROUND COVERS					
	6,300 sf		Bark (Fir Walk on Bark) - 3" deep over pre-emergent herbicide		
	1,660 sf		Gravel (3/4" clean serpentine green stone) - 3" deep over filter fabric 4oz/yd)		

All new planting will be irrigated with an automatic drip system.

Planting Plan
1" = 20'

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Michael Lander ASLA
Landscape Architecture
RLA 2389
20270 Lupine Drive • Redding, California • 96002
(530) 223-2488



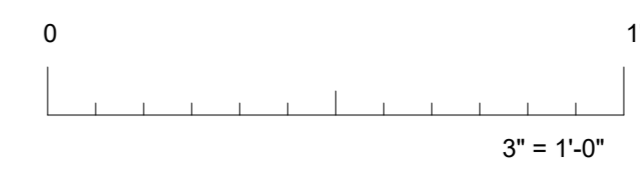
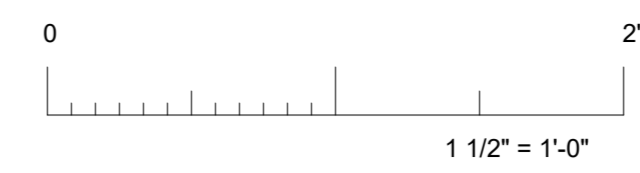
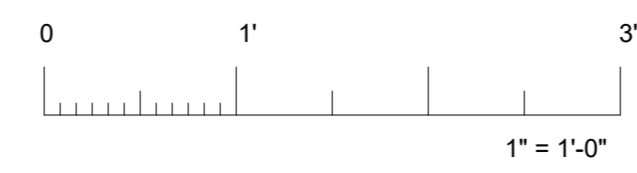
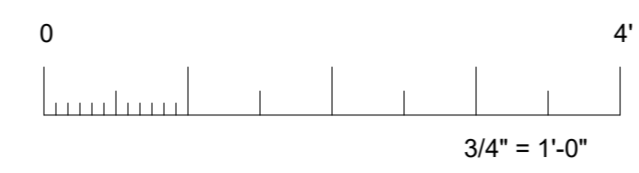
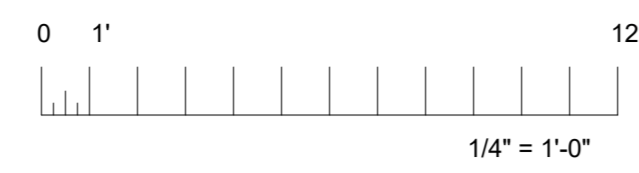
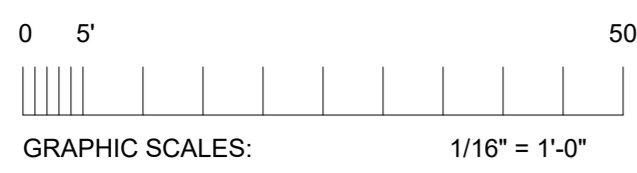
Planting Plan

MCHC Urgent Care Clinic
1240 Airport Park Blvd.
Ukiah, California

8-14-2025

10-17-2025

L1



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NUMBERED NOTES	
1	300KW STANDBY GENERATOR.
2	(N) INTEGRATED POWER CENTER 2(IPC2). 150KVA XFMR, 480V TO 208Y/120 V 3 PH, 4W, NEMA 3R.
3	MAIN SWITCHBOARD, NEMA 3R.
4	AUTOMATIC TRANSFER SWITCH, 600A.
5	UTILITY TRANSFORMER, WITH PRECAST PAD. CONTRACTOR PROVIDED, PROVIDE FIXED AND REMOVABLE BARRIER POST AROUND TRANSFORMER AS REQUIRED. PROVIDE 4' IN ALL DIRECTIONS FOR CLEARANCE FROM EDGE OF THE PAD.
6	(4) 5" CONDUITS FOR UTILITY SECONDARY CONDUITS, VERIFY QUANTITY & ROUTING WITH UTILITY SERVICE COMMITMENT LETTER. CONDUIT & CONDUCTOR TO BE INSTALLED BY CONTRACTOR.
7	(E) CCTV PULL BOX.
8	PROPOSED LOW VOLTAGE CONDUITS STUB, (1) 2" FIBER, (1) 2" FOR TELEPHONE, (1) 2" FOR CATV, (2) 2" SPARE CONDUITS.

SERVICE NOTES

ELECTRICAL CONTRACTOR SHALL INCLUDE IN HIS WORK THE ELECTRICAL POWER, TELECOMMUNICATIONS, AND CABLE TELEVISION SERVICES. ALL WORK PERFORMED BY THE CONTRACTOR SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS FROM THE UTILITY COMPANY AND FROM THESE PLANS AND SPECIFICATIONS. CONTACT THE UTILITY COMPANY AND OBTAIN THEIR REQUIREMENTS REGARDING THE DETAIL OF SERVICES AND ASSOCIATED WORK. WHERE THE UTILITY COMPANY REQUIRE MATERIALS AND METHODS BEYOND THESE PLANS AND SPECIFICATIONS, REPORT THE DISCREPANCIES TO THE ARCHITECT AND ENGINEER OF RECORD PRIOR TO PURCHASING OF MATERIALS AND CONSTRUCTION.

POWER CO.: PG&E

CONTACT(S): TBD

BEFORE BEGINNING SUBSTRUCTURE WORK, CALL 811.



Know what's below.
Call before you dig.

Revisions			
Delta	Date	Revisions	By

NOT FOR CONSTRUCTION

Planning Package

AGENCY APPROVAL

Project Number M101
 Contact Huajie
 400 R Street, Ste 333
 Sacramento, CA 95811
 916.256.2460
 Sacramento | Alameda | Irvine

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 300 - 27th Street
 Oakland, CA 94612
 510.446.2222 tel | 510.446.2211 fax

HY Architects Project number: _____ Project Number _____

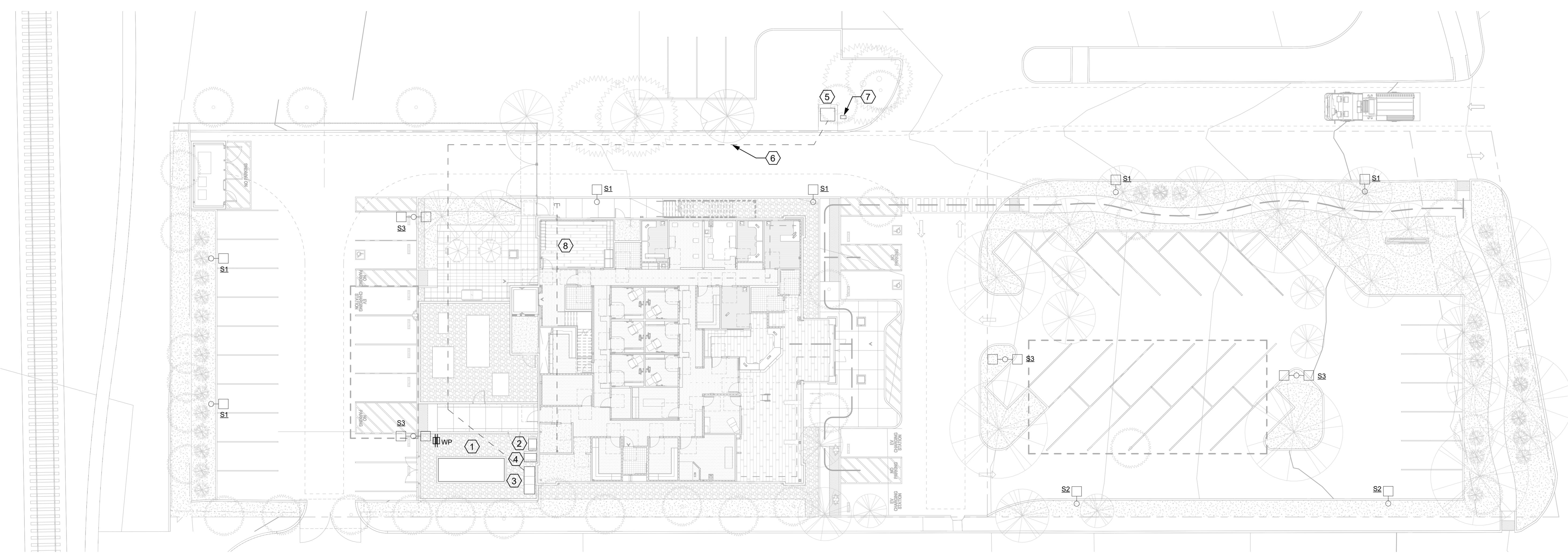
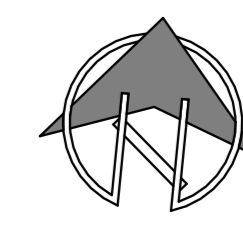
Facility
 Enter address here

Project
URGENT CARE CLINIC & ADMINISTRATION BUILDING

Sheet Title
OVERALL SITE PLAN - ELECTRICAL

Client Project Number: _____ Client Proj. # _____

Scale:	As indicated	Sheet	E1.01
Drawn By:	Author		
Checked By:	Checker		
Issue Date:	Issue Date		
Revit Version:	2023	Sheet of 200	



1 OVERALL SITE PLAN - ELECTRICAL
 SCALE: 1/16" = 1'-0"

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Delta	Date	Revisions	By

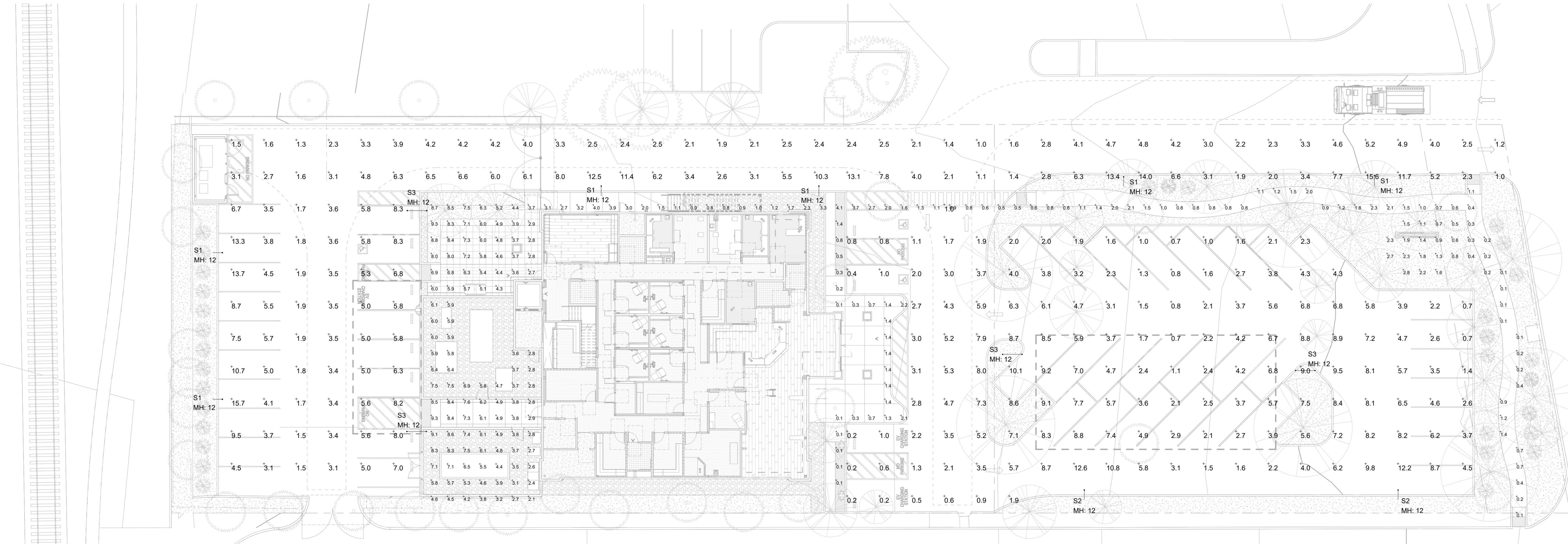
NOT FOR CONSTRUCTION
Planning Package

AGENCY APPROVAL

Project Number **M101**
Contact **Huajie**
400 R Street, Ste 333
Sacramento, CA 95811
916.256.2460
Sacramento | Alameda | Irvine

Luminaire Schedule							
Scenario: GENERAL							
Symbol	Qty	Label	Arrangement	Description	Lum. Lumens	LLF	Filename
●	6	S1	SINGLE	GARDCO ECF-S-S2L-700-NW-G2-2-AR1-LIN	9720	0.900	ecf-s-32l-700-nw-g2-2.lis
●	2	S2	SINGLE	GARDCO ECF-S-S2L-1A-NW-G2-4-AR1-LIN	14006	0.900	ecf-s-32l-1a-nw-g2-4.lis
●	4	S3	Back-Back	GARDCO ECF-S-S2L-1A-NW-G2-5W-AR1-LIN	13623	0.900	ecf-s-32l-1a-nw-g2-5w.lis

Calculation Summary							
Scenario: GENERAL							
Label	CalcType	Units	Avg	Max	Min	AvgMin	MaxMin
PARKING	Illuminance	Fc	4.52	15.7	0.2	22.60	78.5
WALKWAY	Illuminance	Fc	2.90	9.3	0.1	29.30	93.0



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1 OVERALL SITE PLAN - PHOTOMETRICS
SCALE: 1/16" = 1'-0"

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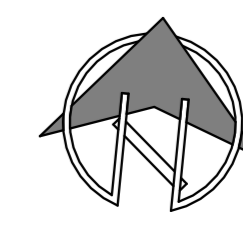
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Architects, Inc.
300 - 27th Street
Oakland, CA 94612
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HY Architects Project number: _____ Project Number
Facility: _____

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Project
URGENT CARE CLINIC & ADMINISTRATION BUILDING

Client Project Number: _____ Client Proj. #
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Sheet of 200





MCHC
HEALTH CENTERS

Revisions			
Delta	Date	Revisions	By
1	10/17/25	PLANNING & OWNER REVISIONS	KC

PLANNING GENERAL NOTES

1. ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAX. SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. AND AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. VERIFY SLOPE W/ 24" SMART LEVEL.
2. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80"
3. REFER TO C, E, & L SERIES SHEETS FOR ADDITIONAL INFORMATION.

PARTITION LEGEND

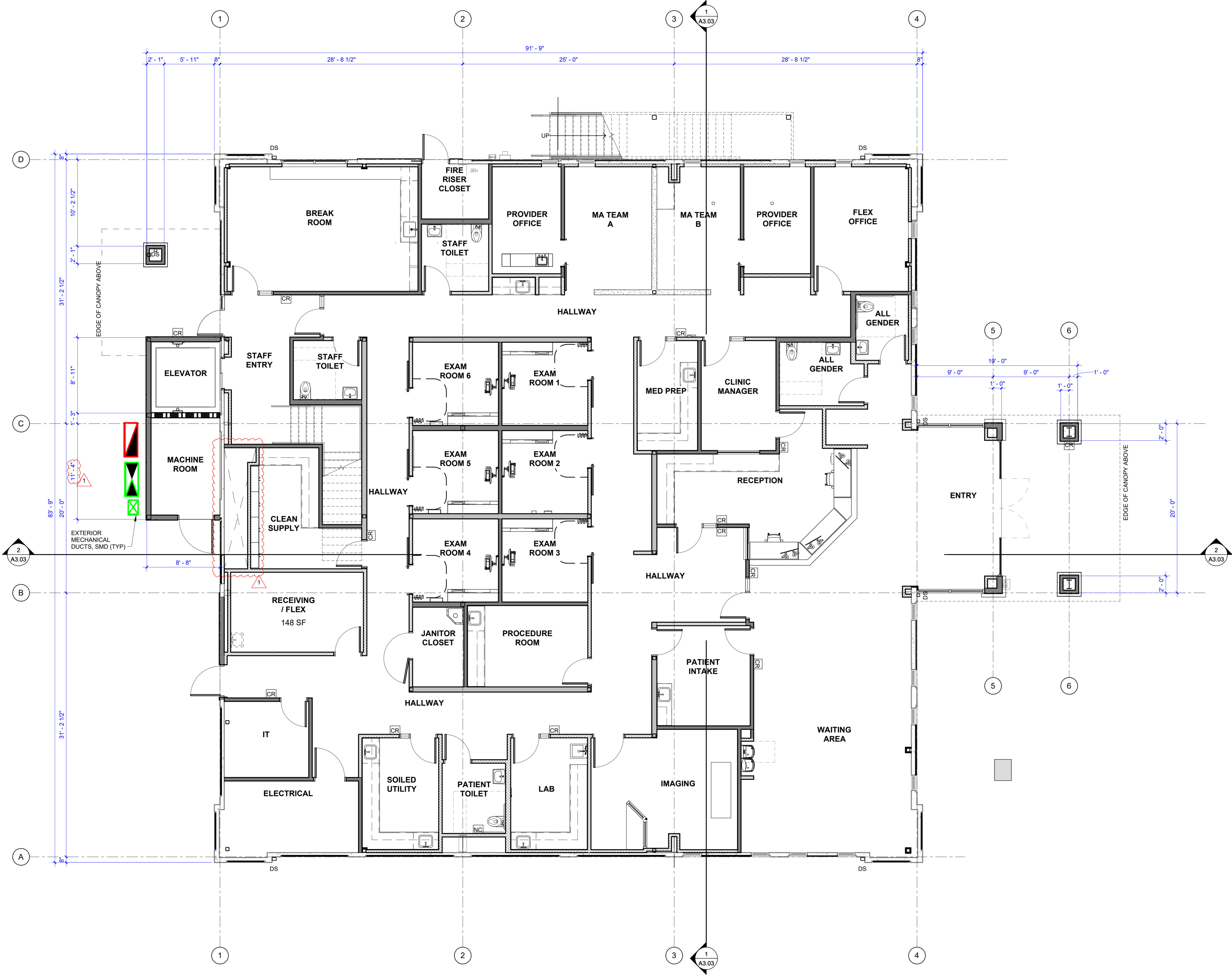
NOTE: FOR ANY PARTITION THAT IS NOT TAGGED ON THE PLAN, REFER TO ITS CORRESPONDING GRAPHIC IN THIS WALL LEGEND TO DETERMINE ITS TYPE

- EXISTING WALL & PARTITION TYPES:**
- (E) EXTERIOR WALL TO REMAIN
 - (N) NON-RATED FIRE-RESISTIVE PARTITION W/ UNPROTECTED OPENINGS, TYP UON.
 - PARTIAL HEIGHT WALLS

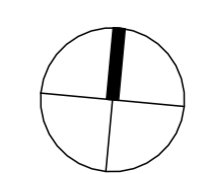
NOT FOR CONSTRUCTION

PLANNING PACKAGE

AGENCY APPROVAL



1 OVERALL FIRST FLOOR PLAN - REMODEL
3/16" = 1'-0"



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HY HIBSER YAMAUCHI
Architects, Inc.
4602 2nd Street, Suite 3
Davis, CA 95618
530.758.1270 tel | 530.758.4789 fax

HY Architects Project number: 6257

Facility
MCHC HEALTH CENTERS
1240 Airport Park Blvd Ukiah, CA 95482

Project
Urgent Care Clinic &
Administration Building

Sheet Title
OVERALL FIRST FLOOR PLAN
- REMODEL

Client Project Number:	Scale: As indicated	Sheet
Drawn By: Author	Checked By: Checker	A2.02
Issue Date: 10/17/2025	Revit Version: 2025	
Sheet		2 of 200



MCHC
HEALTH CENTERS

Delta	Date	Revisions	By
1	10/17/25	PLANNING & OWNER REVISIONS	KC

PLANNING GENERAL NOTES

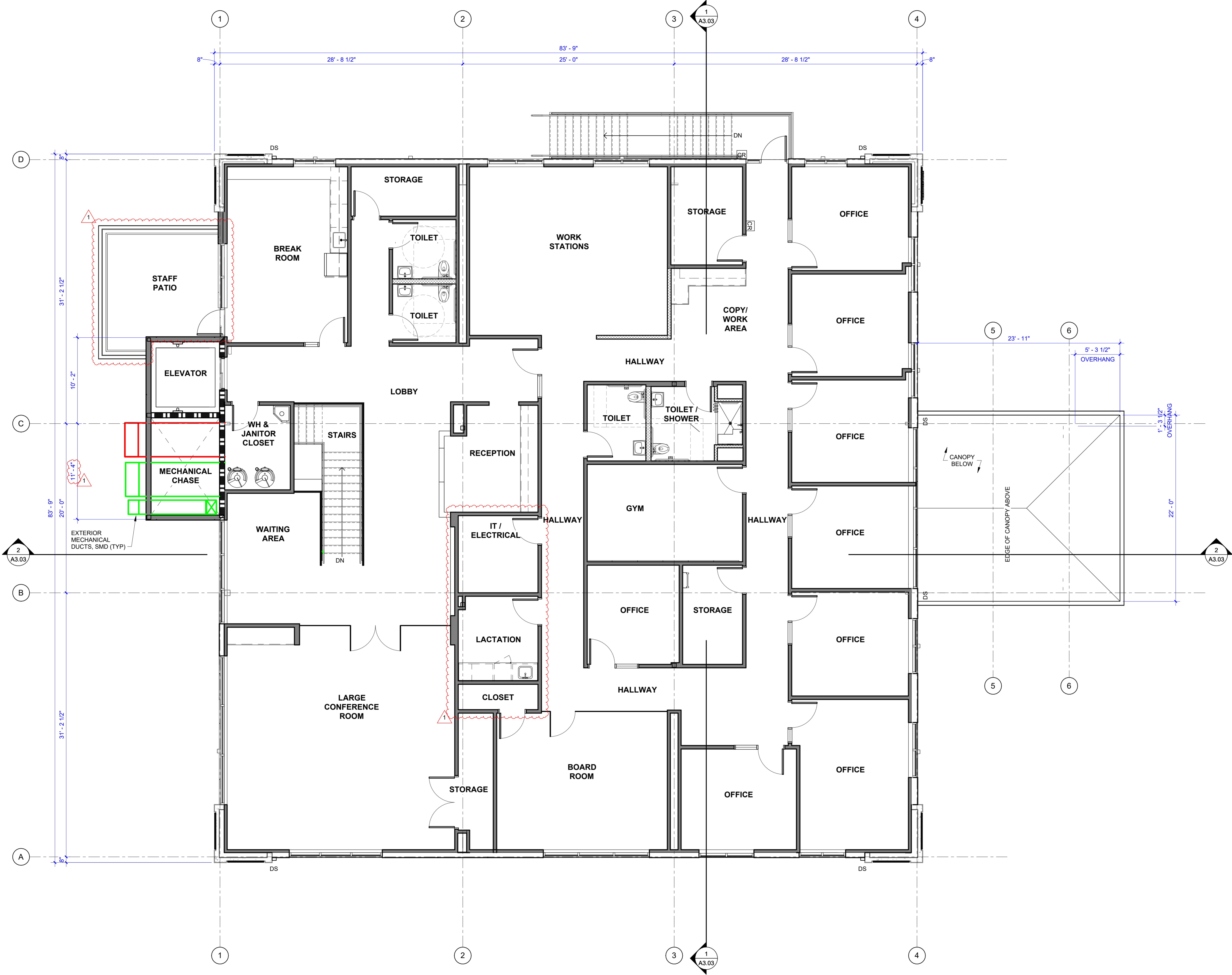
1. ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAX. SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. AND AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. VERIFY SLOPE W/ 24" SMART LEVEL.
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PARTITION LEGEND

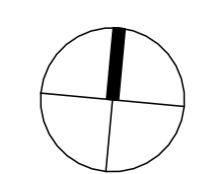
- NOTE: FOR ANY PARTITION THAT IS NOT TAGGED ON THE PLAN, REFER TO ITS CORRESPONDING GRAPHIC IN THIS WALL LEGEND TO DETERMINE ITS TYPE
- EXISTING WALL & PARTITION TYPES:**
- (E) EXTERIOR WALL TO REMAIN
 - (N) NON-RATED FIRE-RESISTIVE PARTITION W/ UNPROTECTED OPENINGS, TYP UON.
 - PARTIAL HEIGHT WALLS

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AGENCY APPROVAL



1 OVERALL SECOND FLOOR PLAN - REMODEL
3/16" = 1'-0"



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HY Architects Project number: 6257

Facility
MCHC HEALTH CENTERS
1240 Airport Park Blvd Ukiah, CA 95482

Project
Urgent Care Clinic &
Administration Building

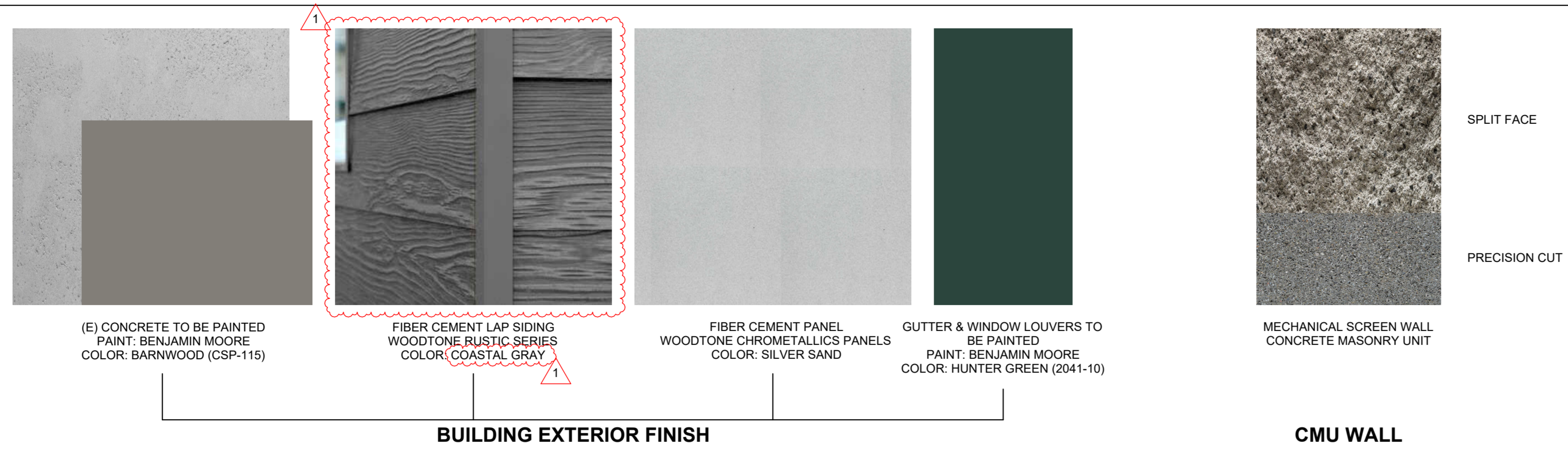
Sheet Title
**OVERALL SECOND FLOOR
PLAN - REMODEL**

Client Project Number:	Sheet
Scale: As indicated	A2.03
Drawn By: Author	
Checked By: Checker	
Issue Date: 10/17/2025	
Revit Version: 2025	Sheet 2 of 200



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MATERIAL BOARD



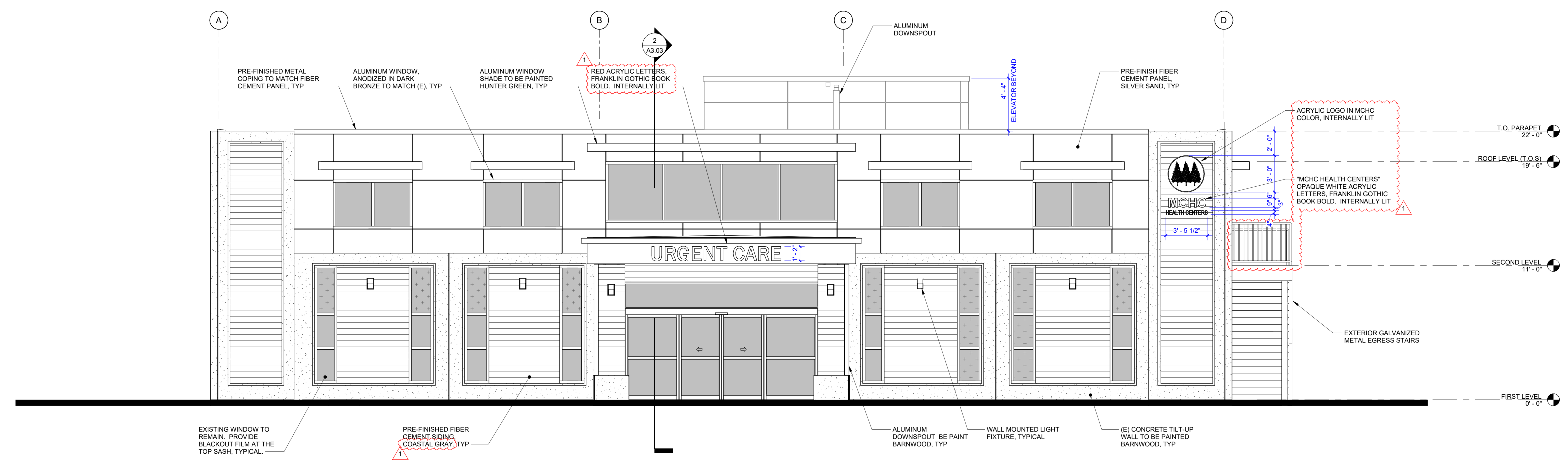
EAST PERSPECTIVE RENDERING



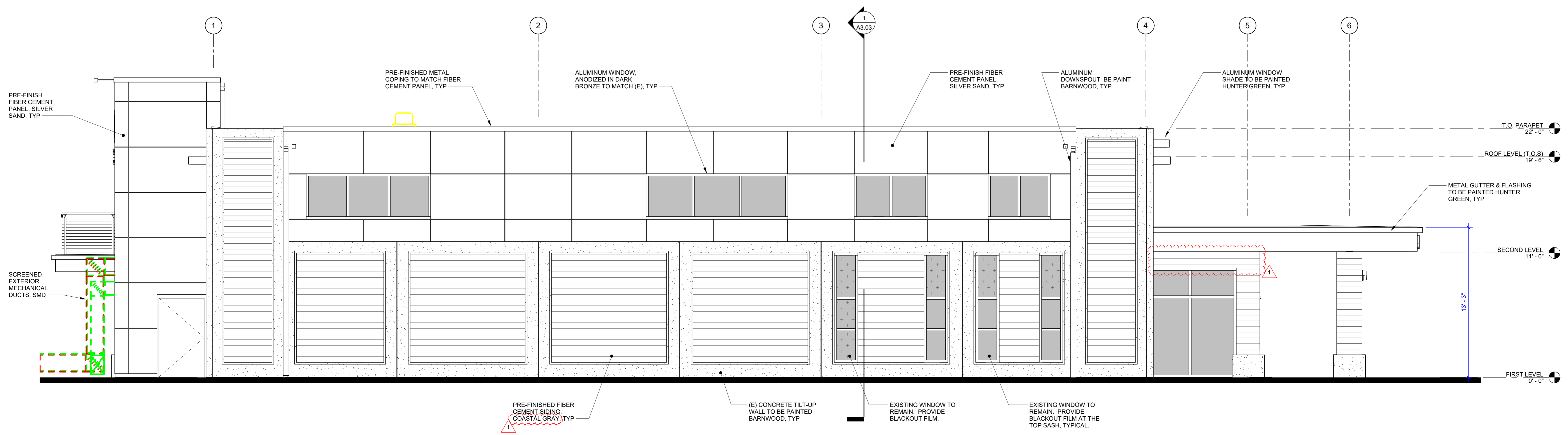
Revisions	Delta	Date	Revisions	By
1		10/17/25	PLANNING & OWNER REVISIONS	KC

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PLANNING PACKAGE

AGENCY APPROVAL



1 EXTERIOR ELEVATION - EAST - Dependent 1
1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH - Dependent 1
1/4" = 1'-0"

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530.758.1270 | 530.758.4789 fax

Client Project Number: 6257
Facility: MCHC HEALTH CENTERS
1240 Airport Park Blvd Ukiah, CA 95482

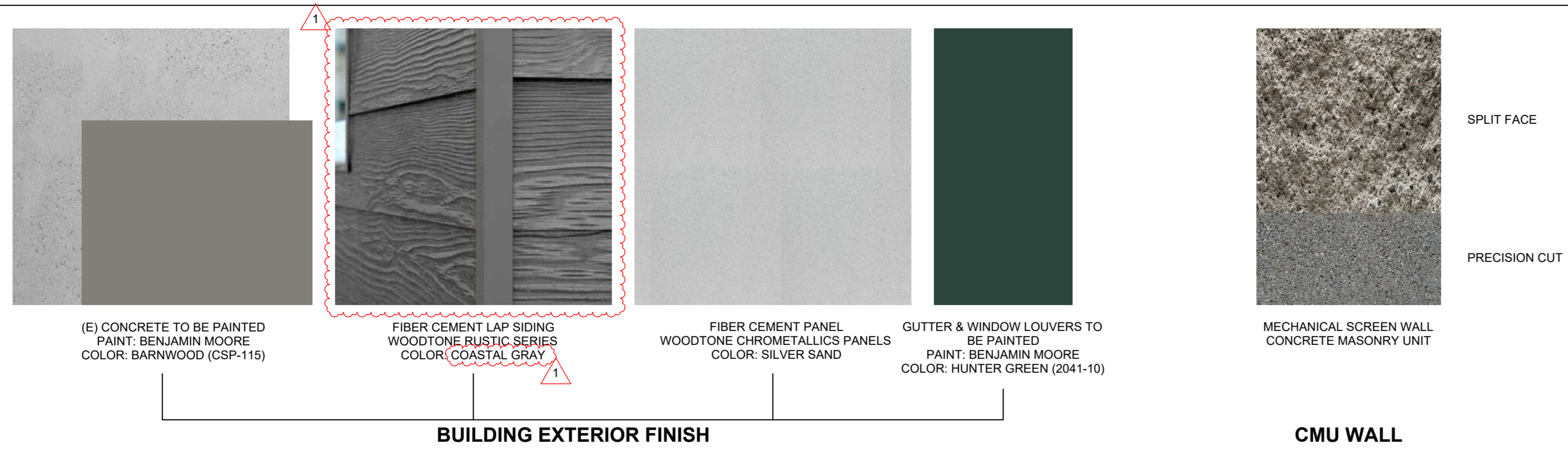
Project: Urgent Care Clinic & Administration Building

Sheet Title: EXTERIOR ELEVATIONS

Scale:	As indicated	Sheet	A3.01
Drawn By:	Author	Sheet	
Checked By:	Checker	2 of 200	
Issue Date:	10/17/2025		
Revit Version:	2025		

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MATERIAL BOARD



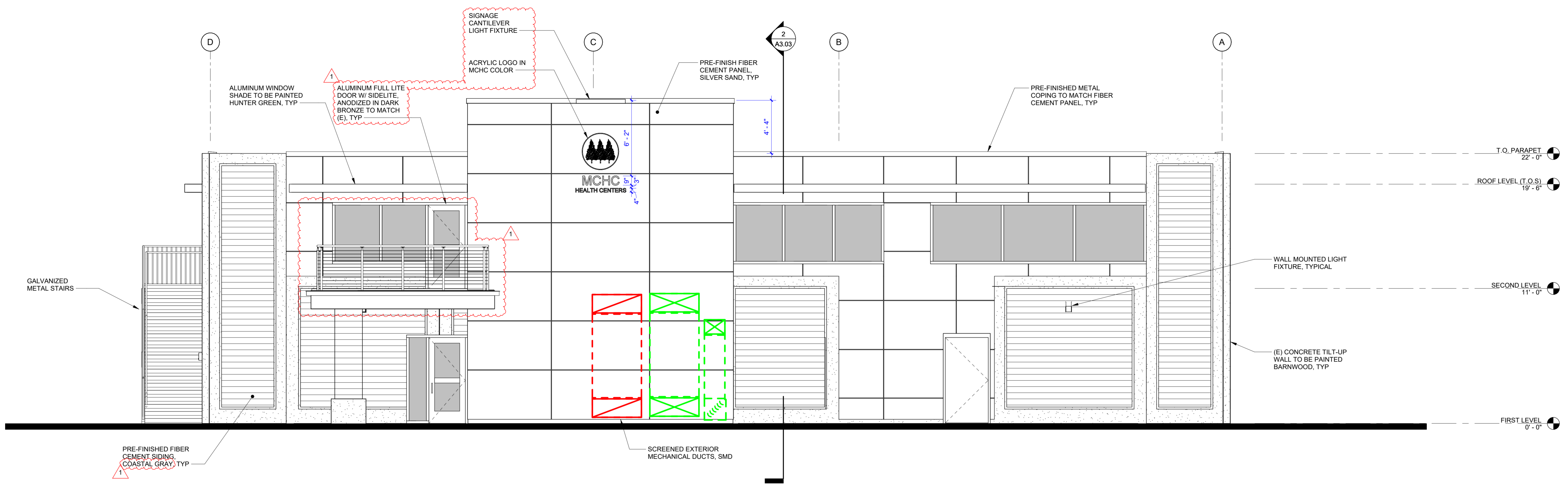
WEST PERSPECTIVE RENDERING



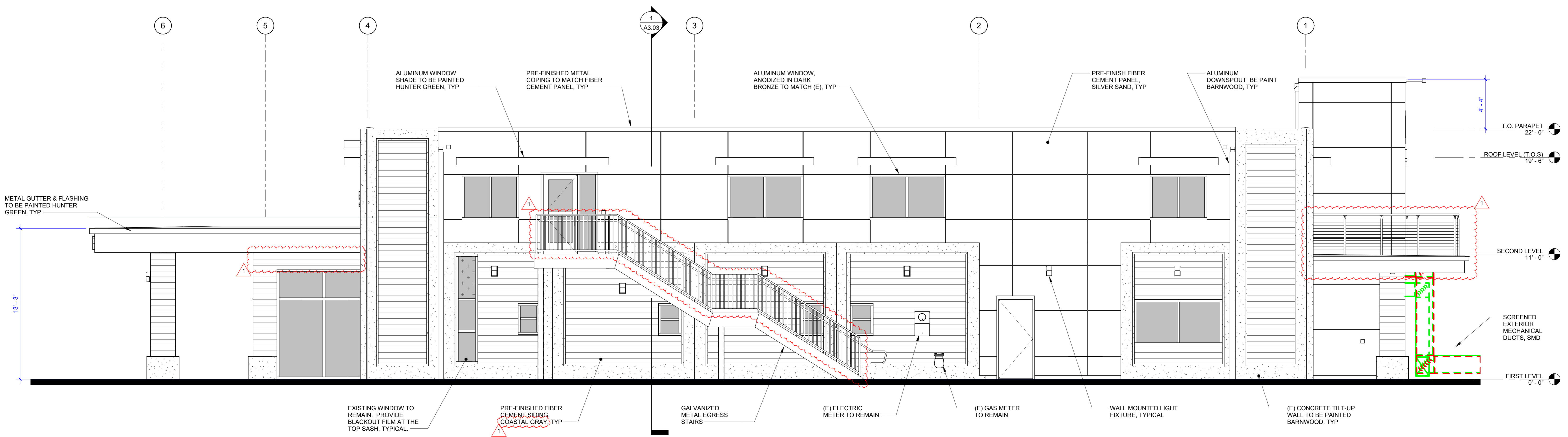
Revisions	Delta	Date	Revisions	By
1		10/17/25	PLANNING & OWNER REVISIONS	KC

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PLANNING PACKAGE

AGENCY APPROVAL



1 EXTERIOR ELEVATION - WEST - Dependent 1
1/4" = 1'-0"



2 EXTERIOR ELEVATION - NORTH - Dependent 1
1/4" = 1'-0"

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HY Architects Project number: 6257

Facility
MCHC HEALTH CENTERS
1240 Airport Park Blvd Ukiah, CA 95482

Project
Urgent Care Clinic & Administration Building

Sheet Title
EXTERIOR ELEVATIONS

Client Project Number:	Scale:	As indicated	Sheet
Drawn By: Author	Scale:	As indicated	A3.02
Checked By: Checker	Scale:	As indicated	Sheet 2 of 200
Issue Date: 10/17/2025	Scale:	As indicated	
Revit Version: 2025	Scale:	As indicated	

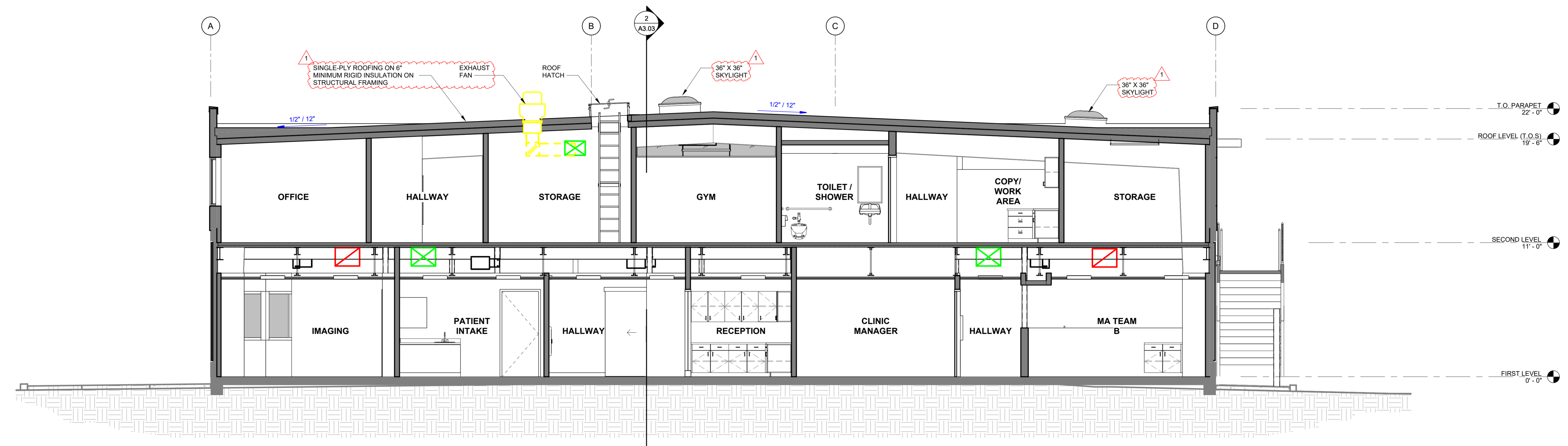


MCHC
HEALTH CENTERS

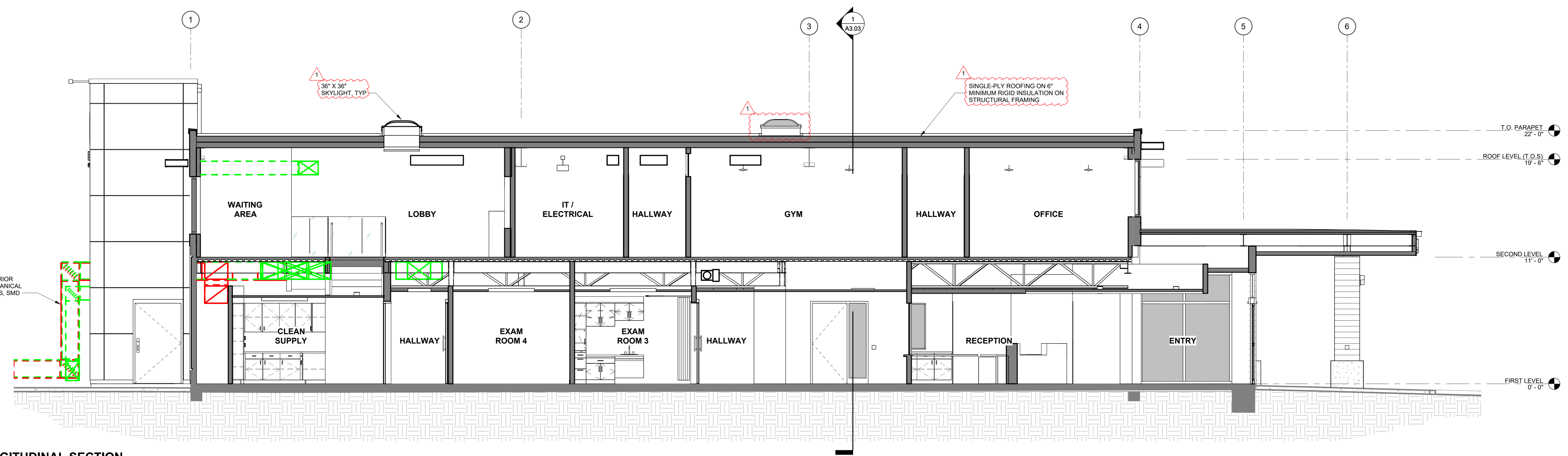
Revisions			
Delta	Date	Revisions	By
1	10/17/25	PLANNING & OWNER REVISIONS	KC

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AGENCY APPROVAL



1 TRANSVERSE SECTION
1/4" = 1'-0"



2 LONGITUDINAL SECTION
1/4" = 1'-0"

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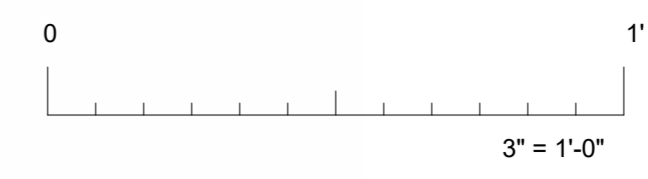
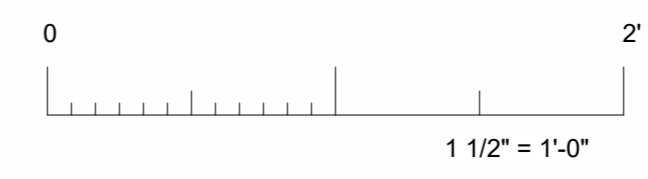
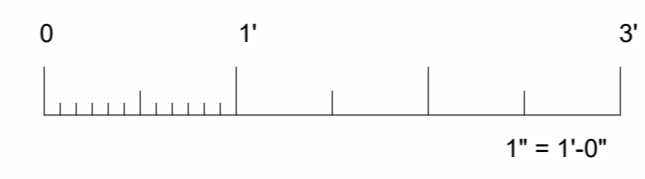
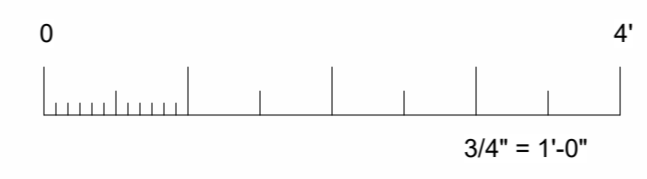
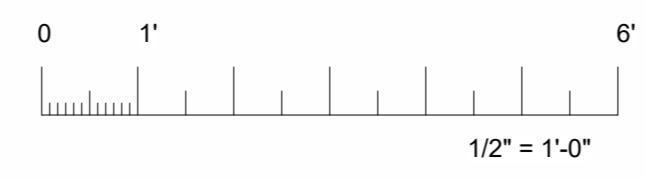
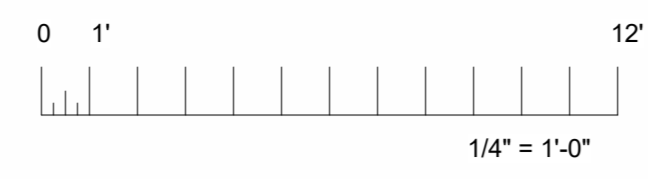
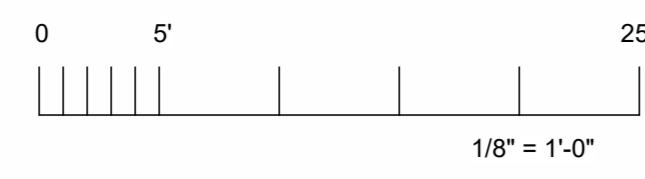
Facility
MCHC HEALTH CENTERS
1240 Airport Park Blvd Ukiah, CA 95482

Project
Urgent Care Clinic &
Administration Building

Sheet Title
BUILDING SECTIONS

Client Project Number:	Scale: 1/4" = 1'-0"	Sheet
Drawn By: Author	Checked By: Checker	A3.03
Issue Date: 10/17/2025	Revit Version: 2025	Sheet 2 of 200

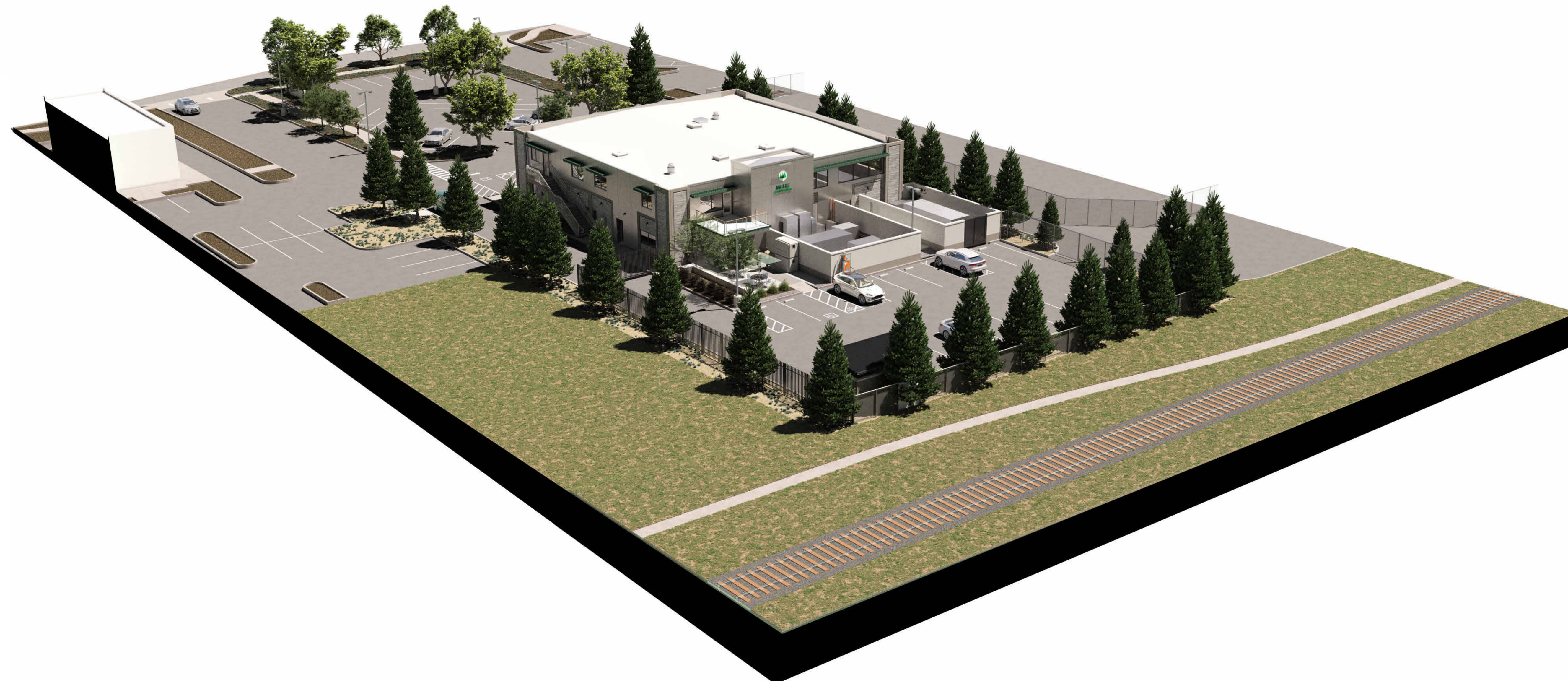
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1 NORTHEAST PERSPECTIVE
12" = 1'-0"



2 NORTHWEST PERSPECTIVE
12" = 1'-0"



MCHC
HEALTH CENTERS

Revisions			
Delta	Date	Revisions	By

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HY Architects Project number: 6257

Facility
MCHC HEALTH CENTERS
1240 Airport Park Blvd Ukiah, CA 95482

Project
Urgent Care Clinic &
Administration Building

Sheet Title
EXTERIOR PERSPECTIVE
RENDERINGS

Client Project Number:	
Scale:	12" = 1'-0"
Drawn By:	Author
Checked By:	Checker
Issue Date:	10/17/2025
Revit Version:	2025
Sheet	A3.04
Sheet	2 of 200



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HEALTH CENTERS

Revisions			
Delta	Date	Revisions	By

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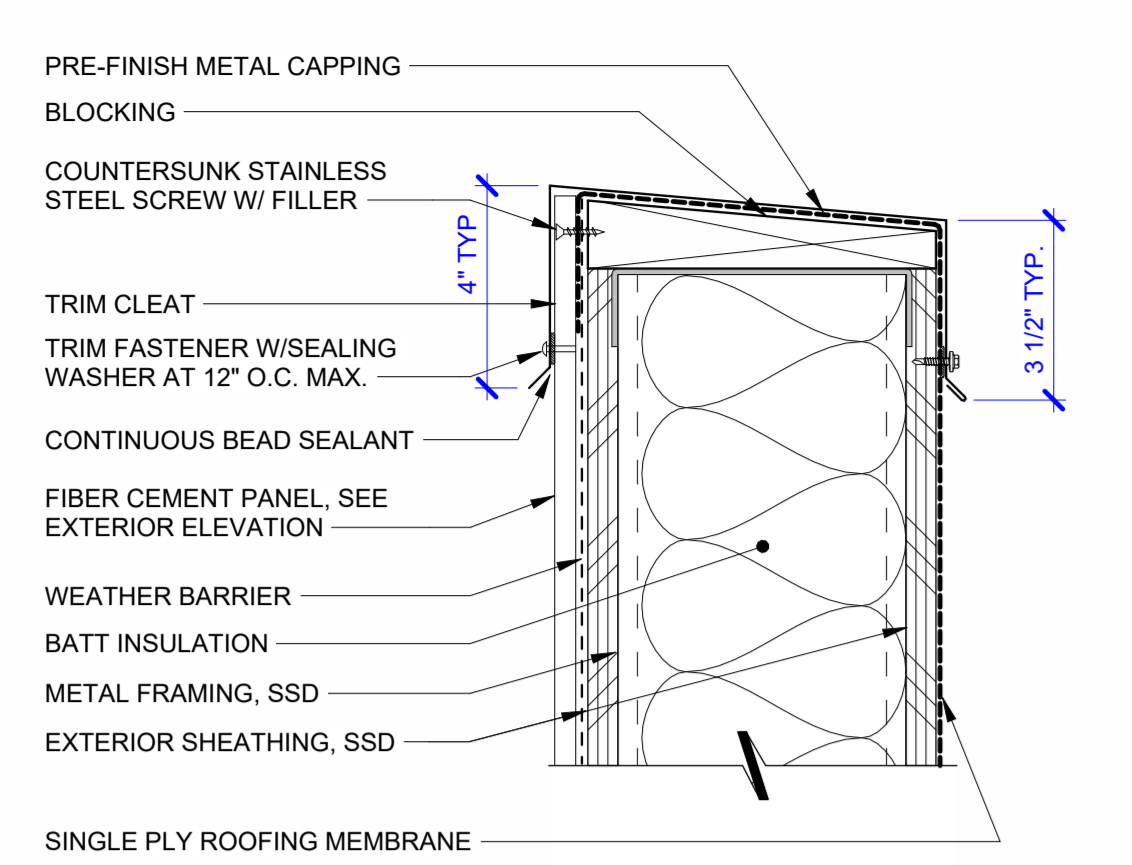
HY Architects Project number: 6257

Facility
MCHC HEALTH CENTERS
1240 Airport Park Blvd Ukiah, CA 95482

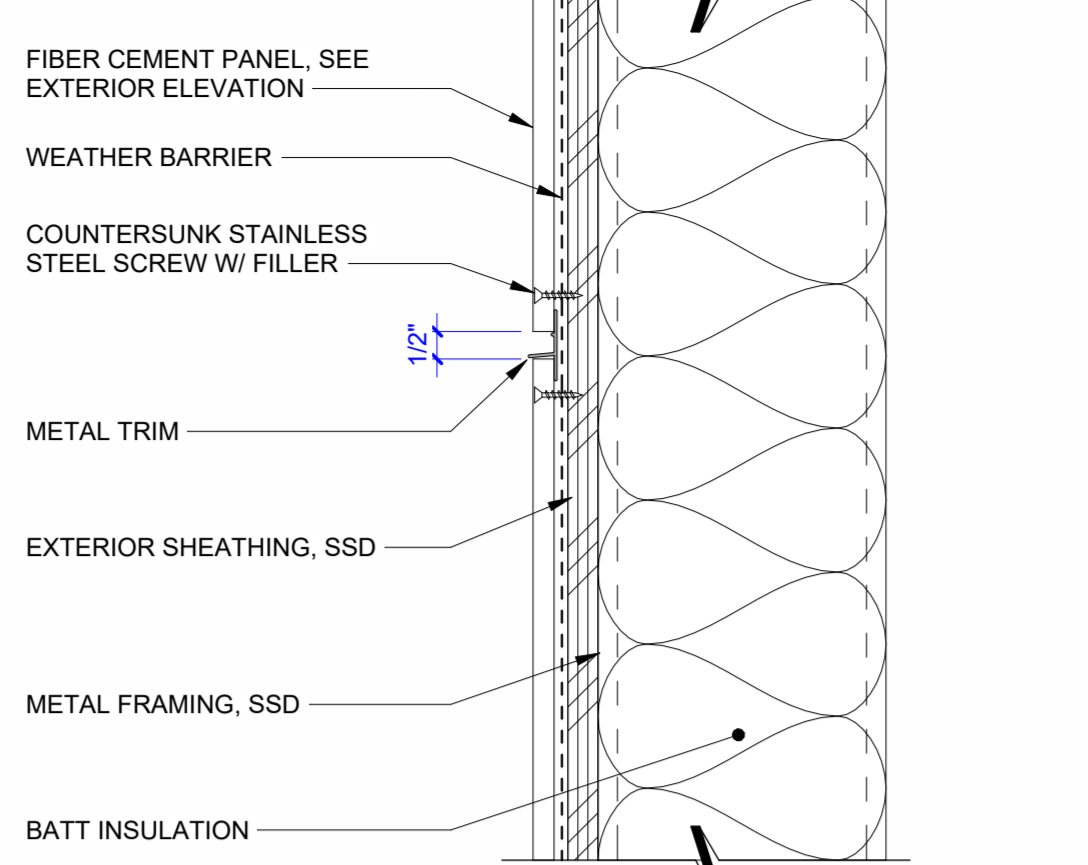
Project
Urgent Care Clinic &
Administration Building

Sheet Title
WALL SECTIONS & DETAILS

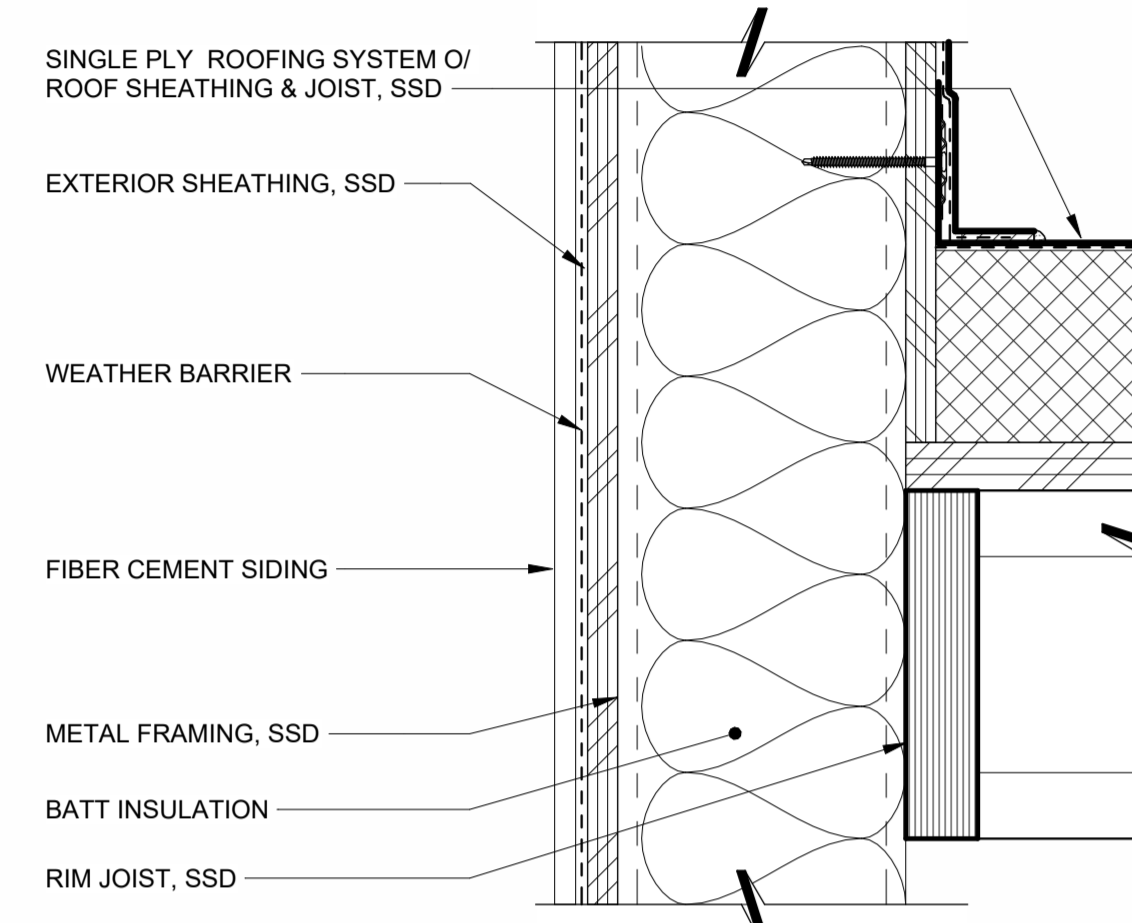
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Scale:	As indicated
Drawn By:	Author
Checked By:	Checker
Issue Date:	10/17/2025
Revit Version:	2025
Sheet	A3.05
Sheet	2 of 200



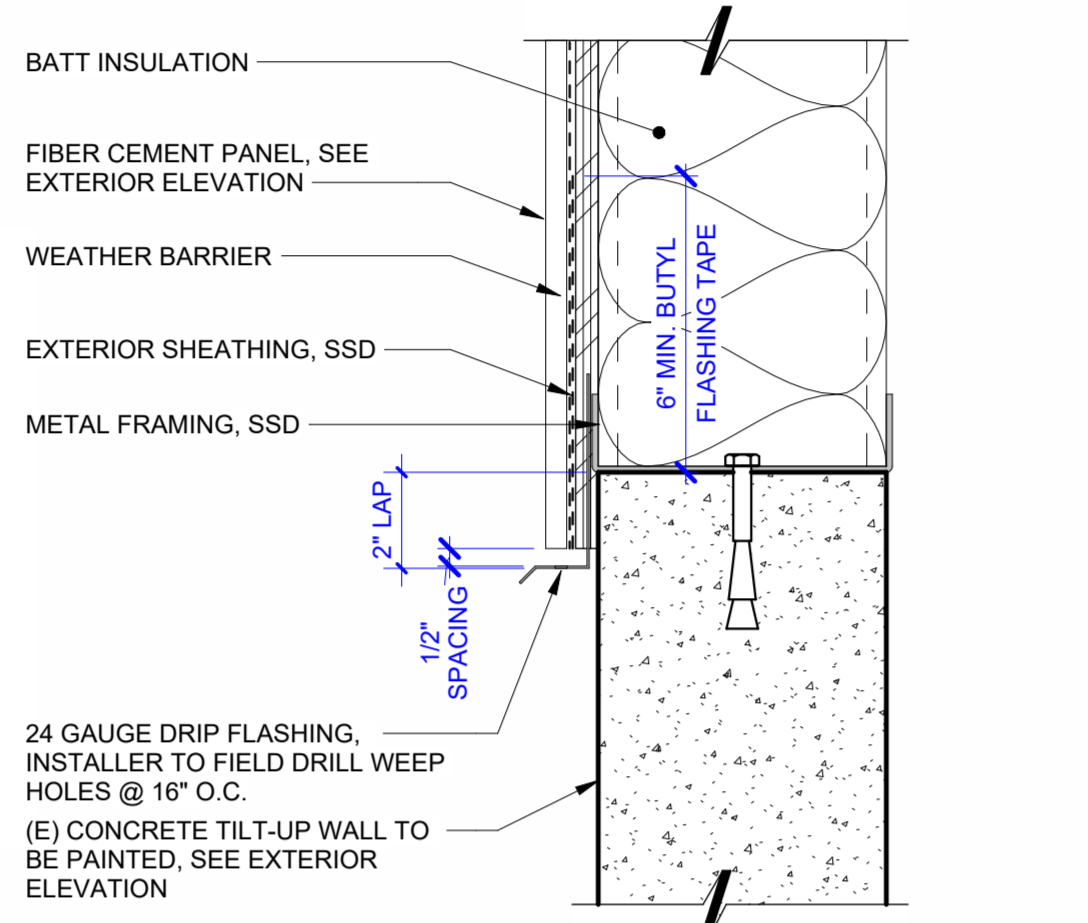
26 FIBER CEMENT PANEL PARAPET
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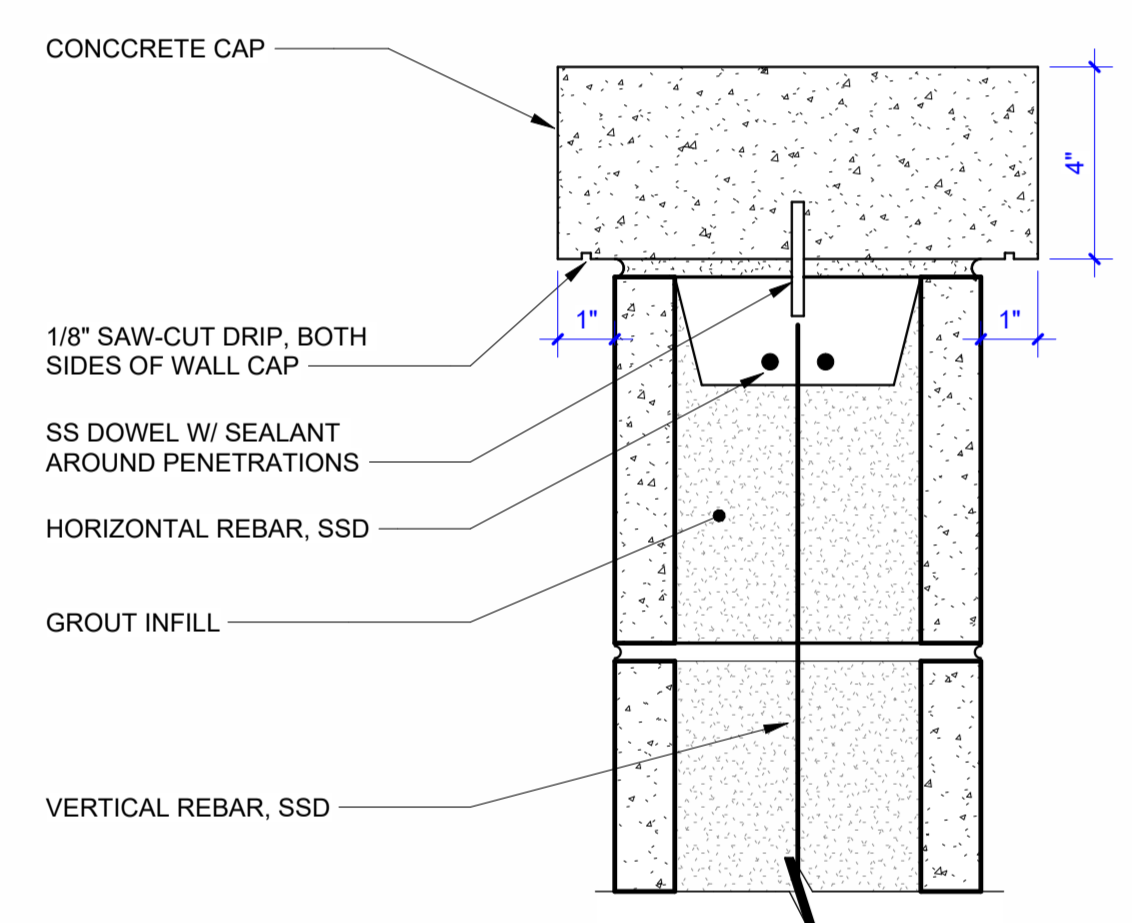
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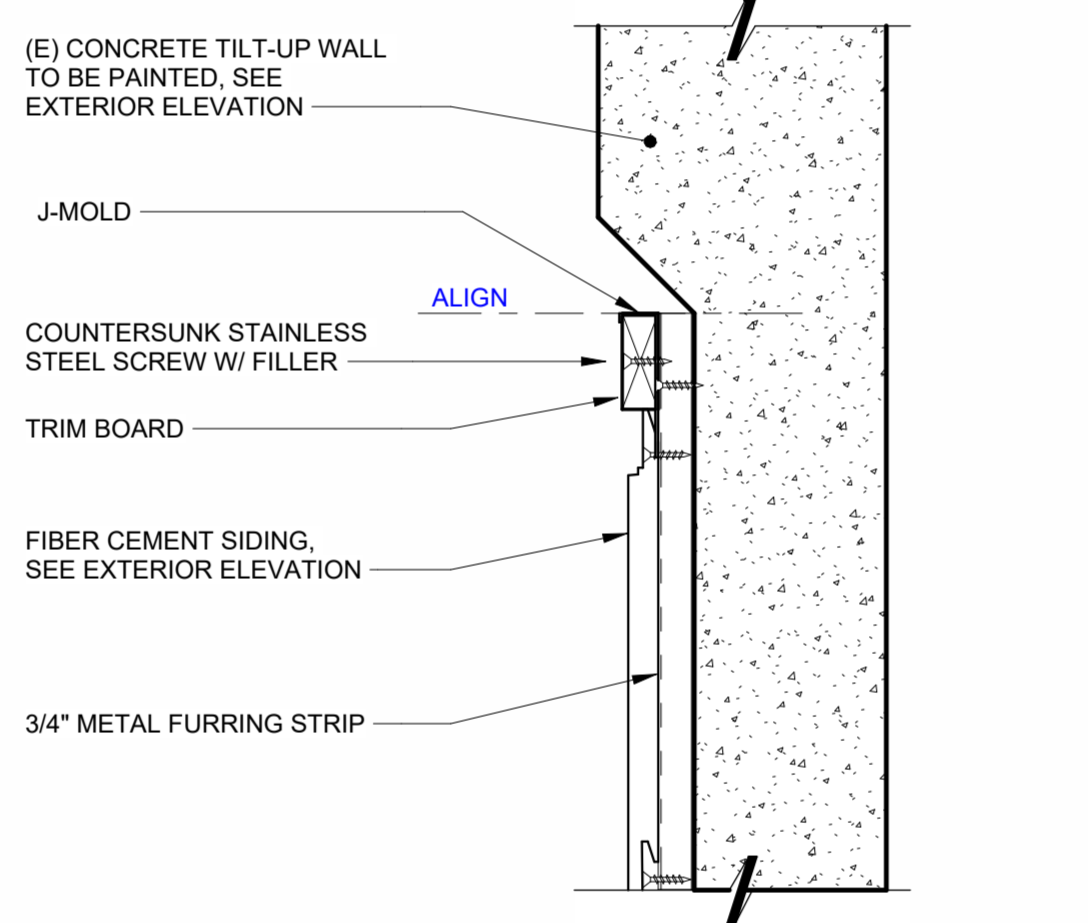
27 FIBER CEMENT PANEL PARAPET BASE
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22 FIBER CEMENT PANEL BASE
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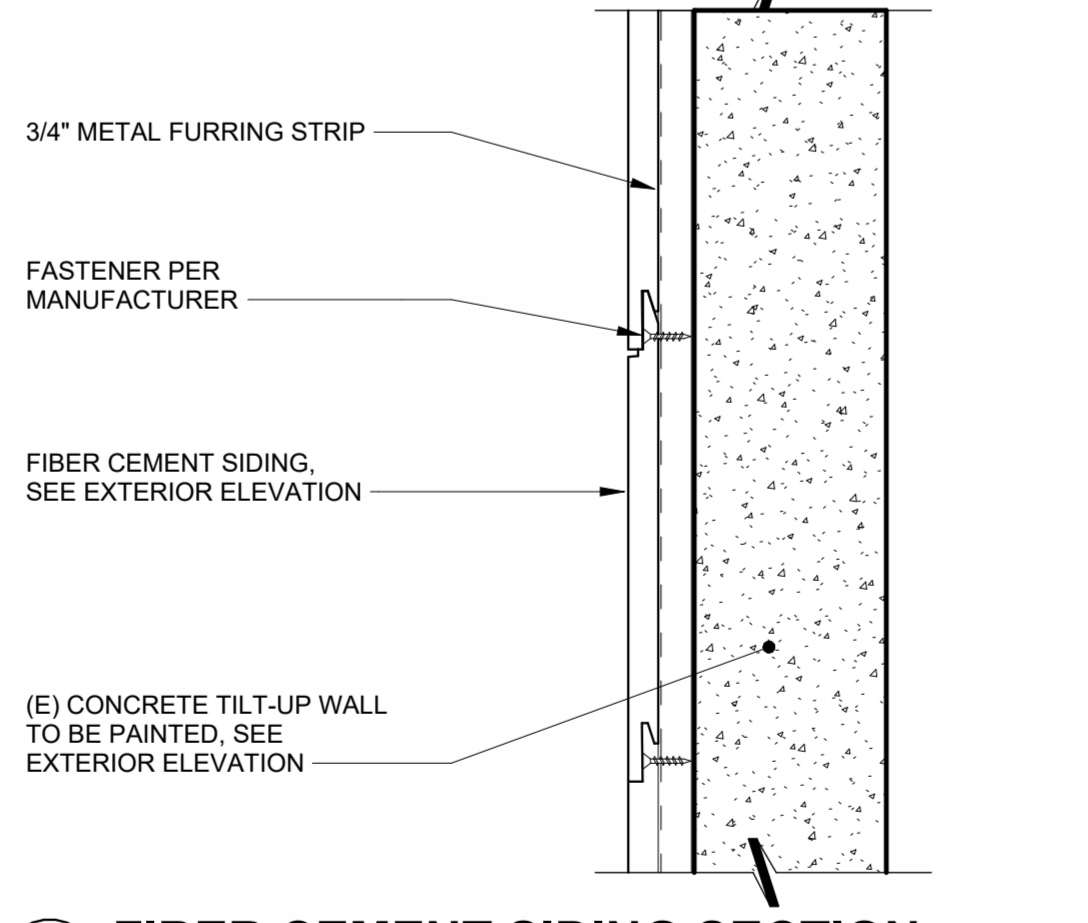
28 CMU HEADER
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23 FIBER CEMENT SIDING PARAPET
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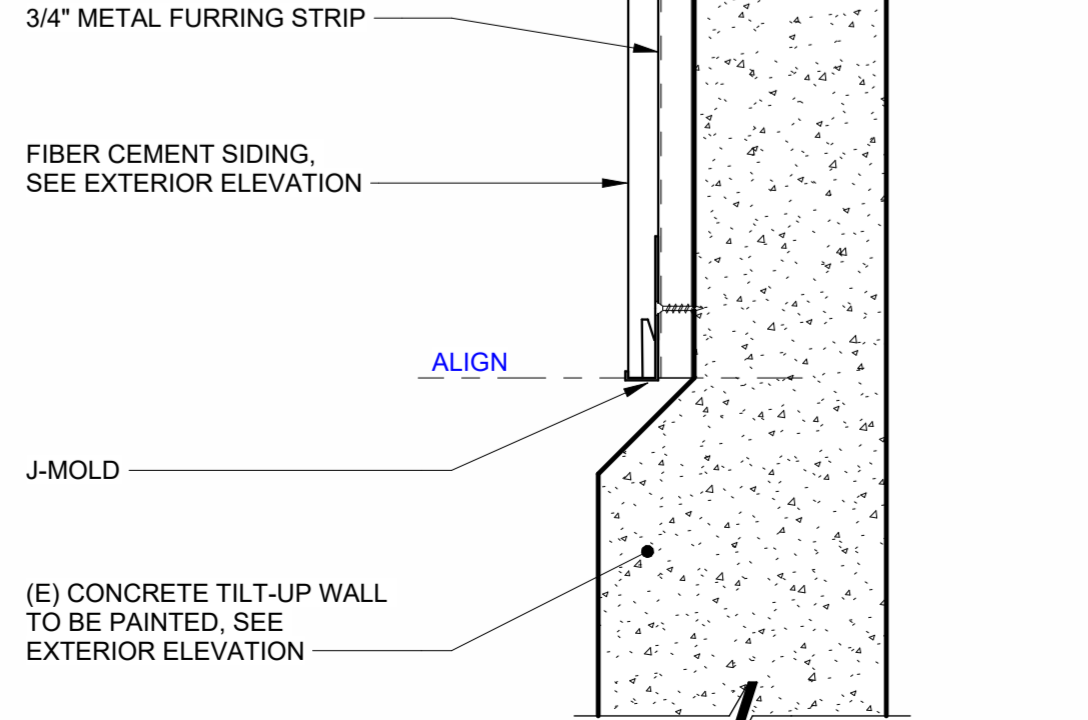
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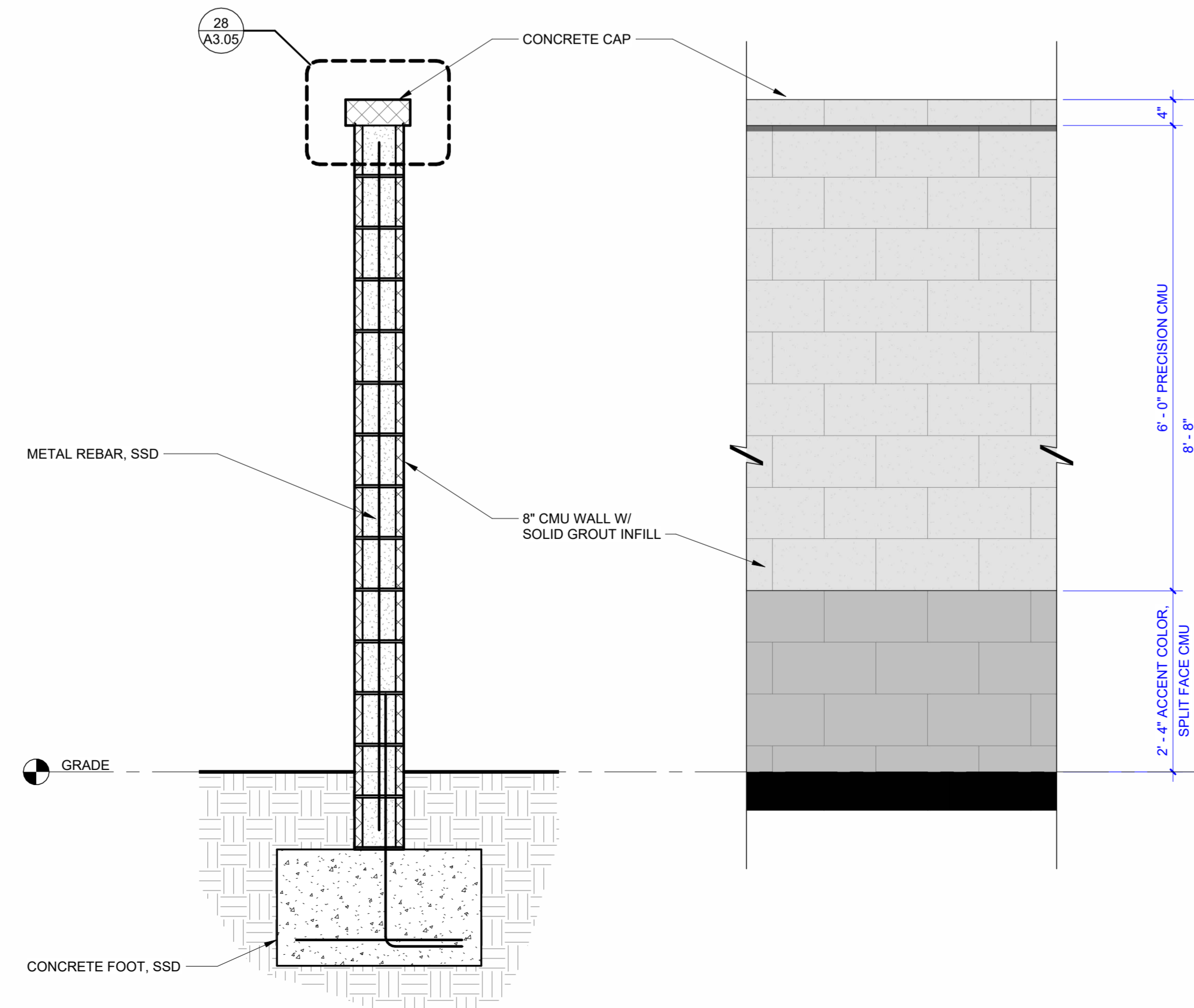
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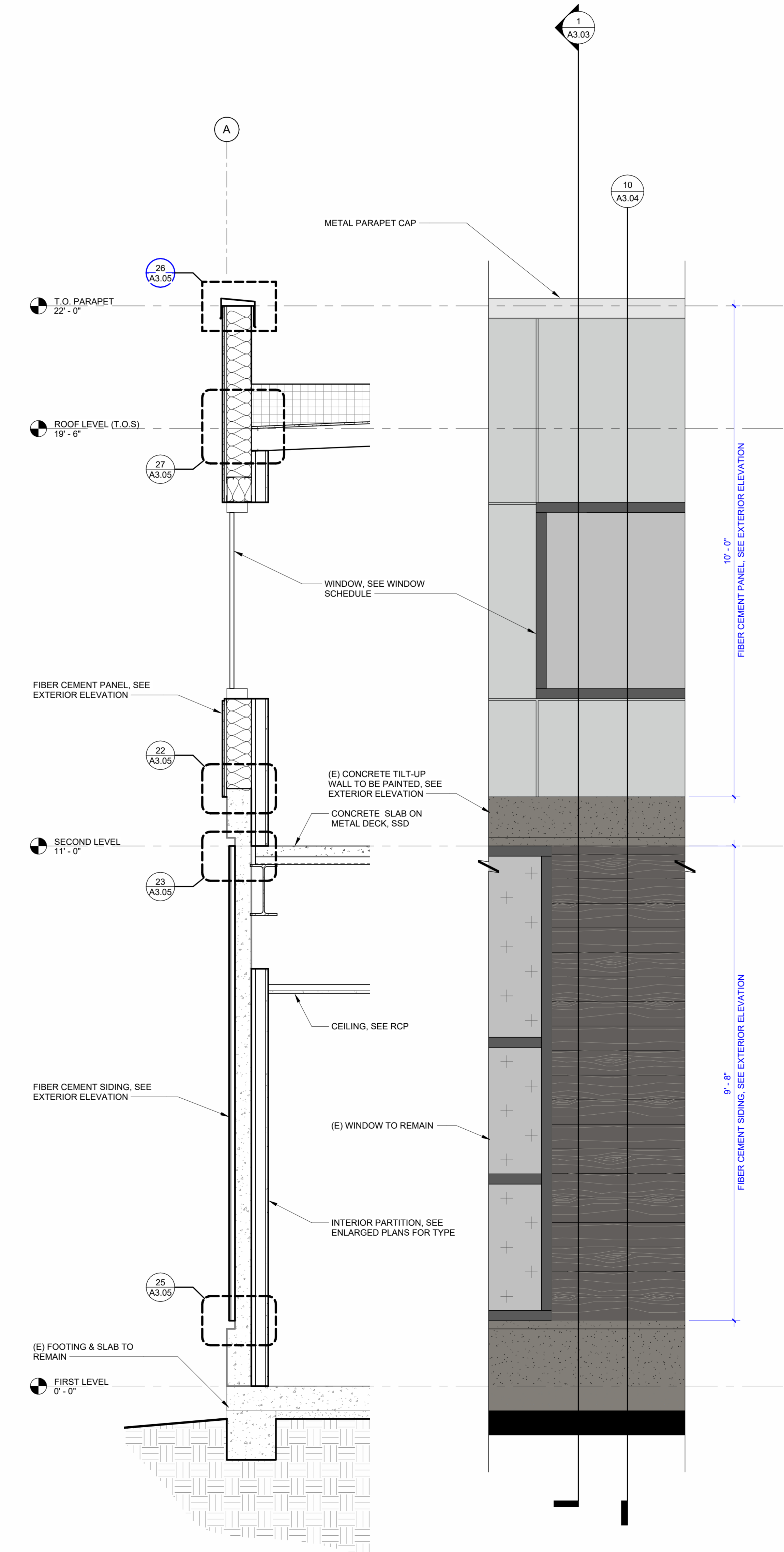
20 CMU WALL SECTION
3/4\"/>



15 CMU WALL ELEVATION
3/4\"/>



10 EXTERIOR WALL SECTION A
3/4\"/>



5 EXTERIOR WALL ELEVATION A
3/4\"/>

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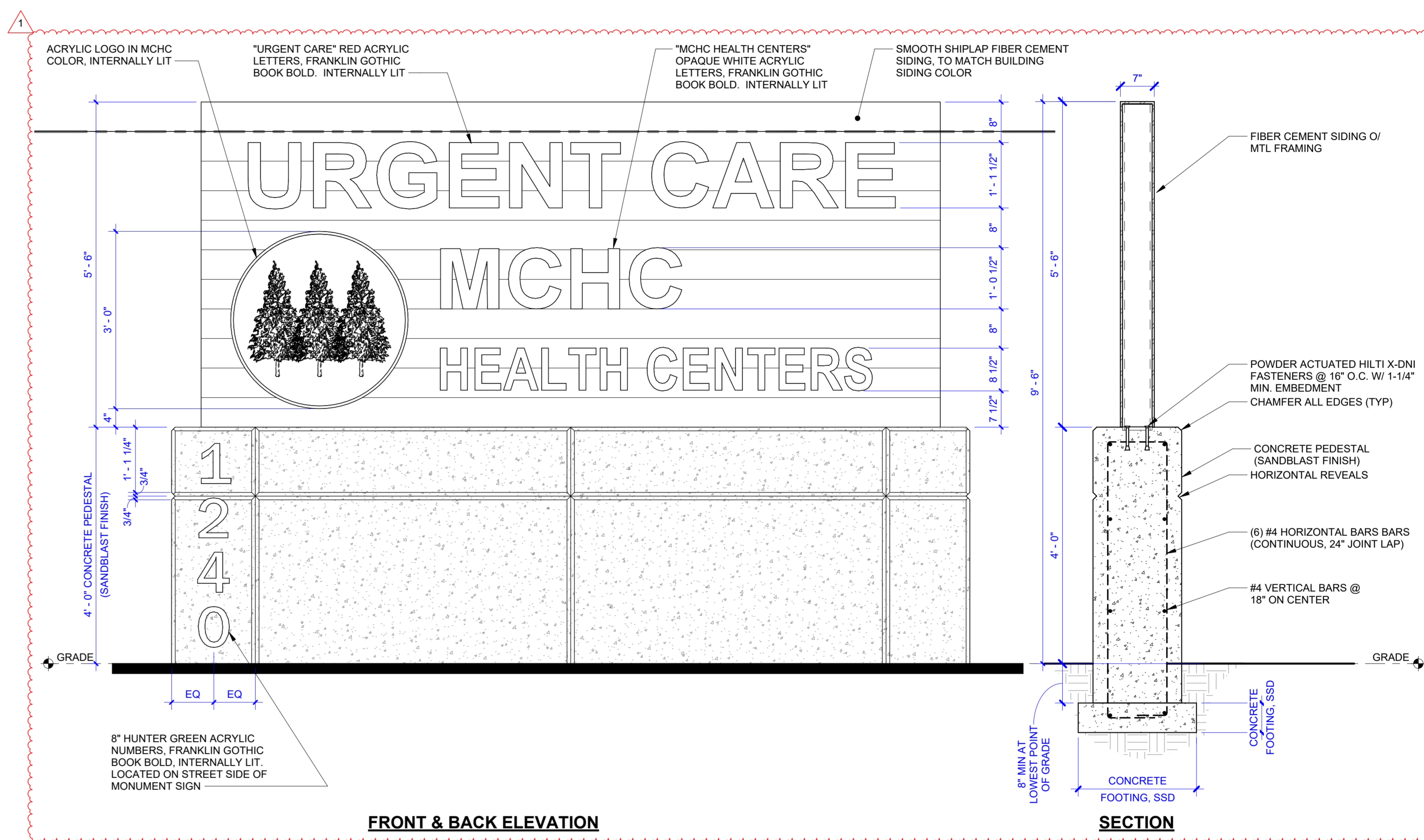


MCHC
HEALTH CENTERS

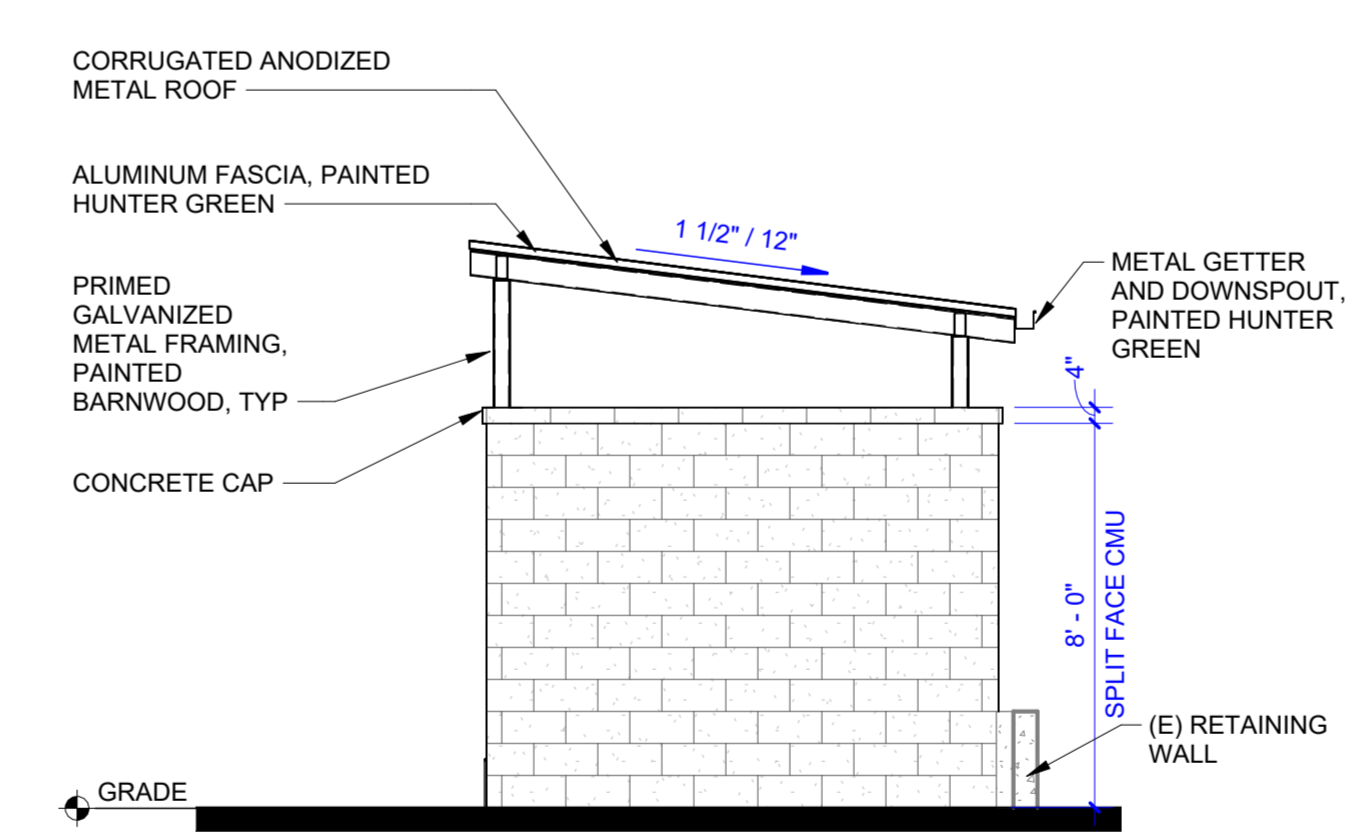
Revisions	Delta	Date	Revisions	By
1	10/17/25	PLANNING & OWNER REVISIONS		KC

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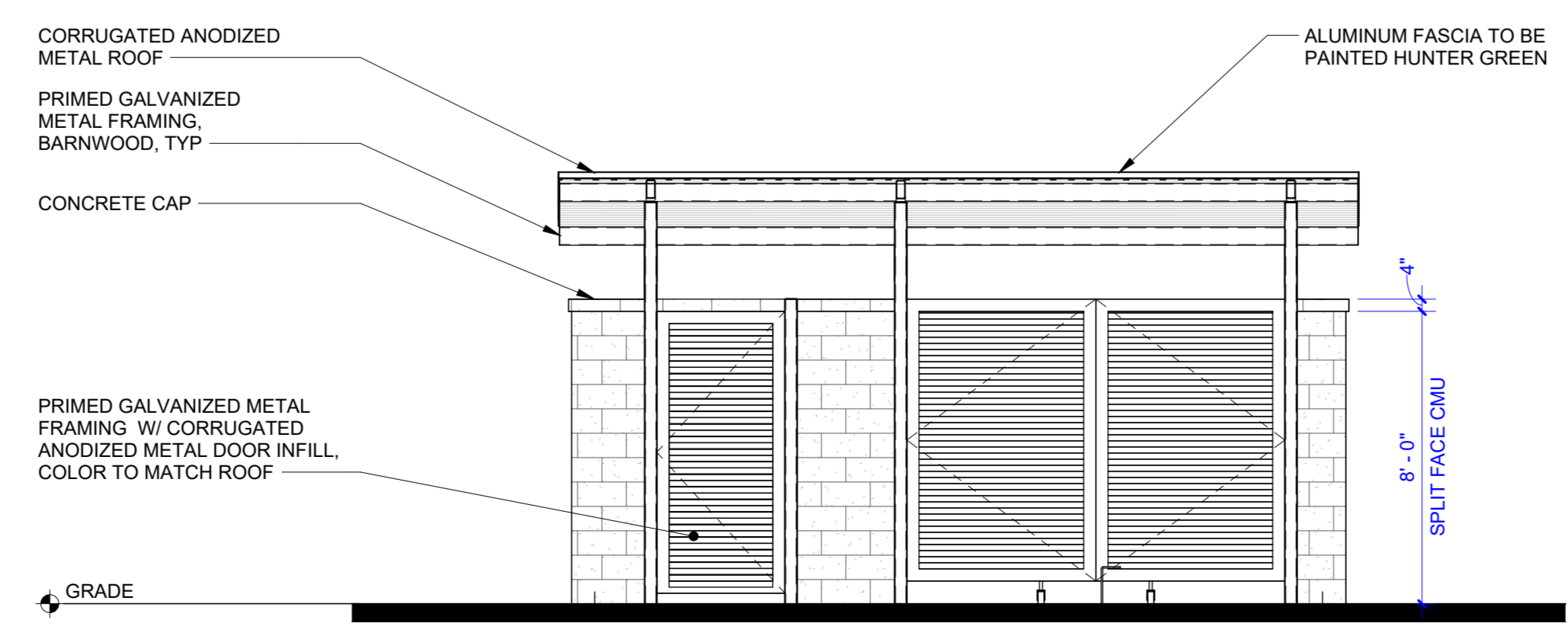
AGENCY APPROVAL



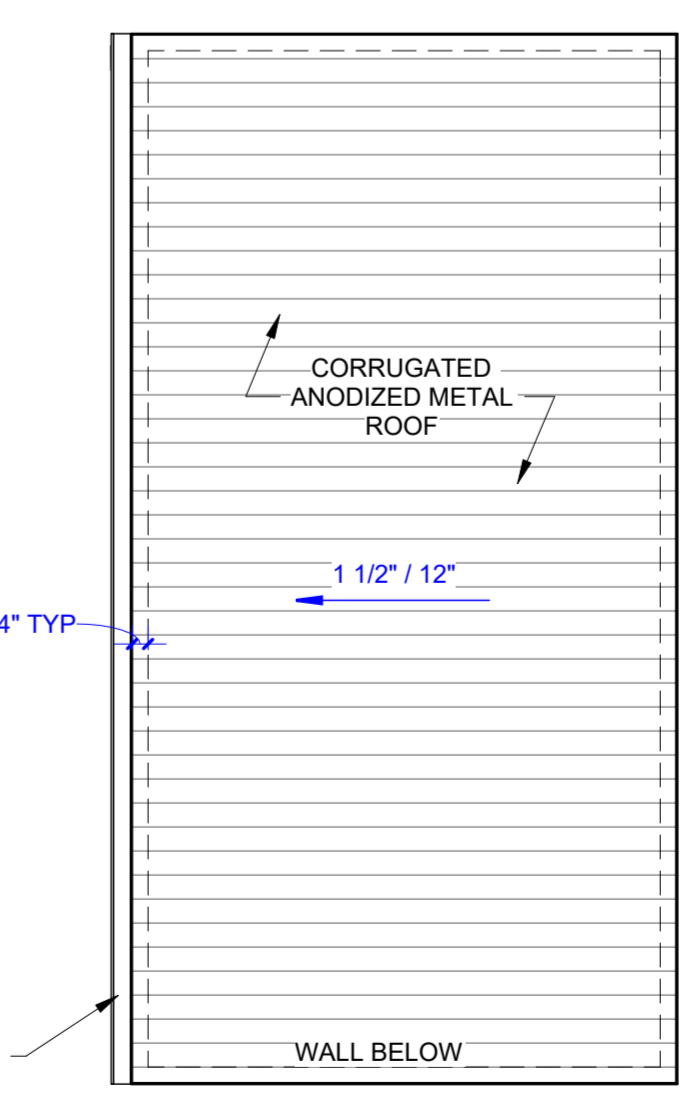
13 MONUMENT SIGN
3/4" = 1'-0"



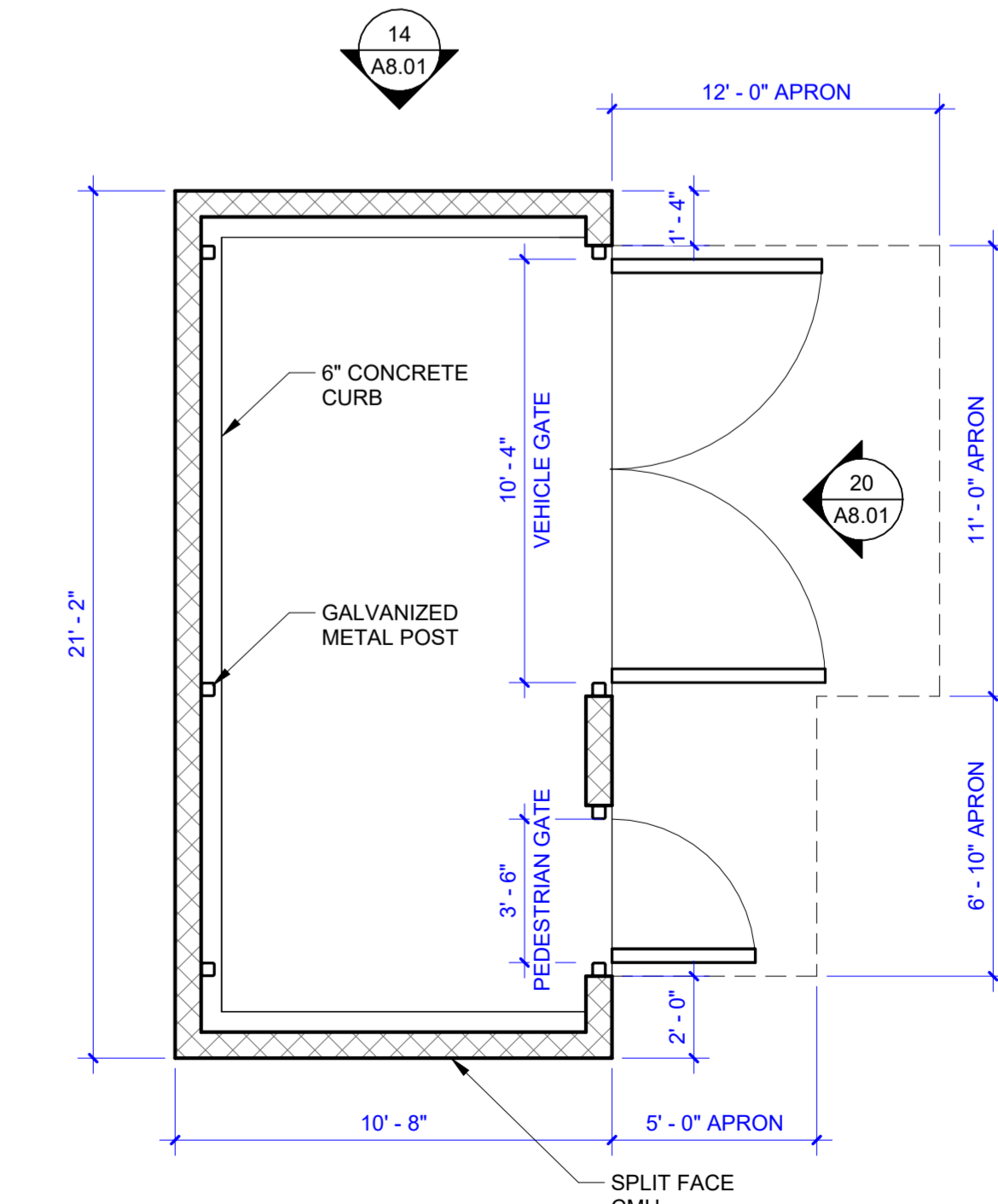
14 TRASH ENCLOSURE - SIDE ELEVATION
1/4" = 1'-0"



20 TRASH ENCLOSURE - FRONT ELEVATION
1/4" = 1'-0"



10 TRASH ENCLOSURE ROOF PLAN
1/4" = 1'-0"



5 TRASH ENCLOSURE PLAN
1/4" = 1'-0"

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Davis, CA 95618
530.758.1270 tel | 530.758.4789 fax

HY Architects Project number: 6257

Facility
MCHC HEALTH CENTERS
1240 Airport Park Blvd Ukiah, CA 95482

Project
Urgent Care Clinic &
Administration Building

Sheet Title
EXTERIOR DETAILS - SITE

Client Project Number:	Scale:	As indicated	Sheet
Drawn By: Author	Scale:	As indicated	A8.01
Checked By: Checker	Scale:	As indicated	Sheet 2 of 200
Issue Date: 10/17/2025	Scale:	As indicated	
Revit Version: 2025	Scale:	As indicated	

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PROJECT REVIEW REFERRAL
Please provide comments by: October 1, 2025

The City of Ukiah Community Development Department is soliciting input on the project described below for use in staff analysis, CEQA compliance, and public hearing documents. Please identify any questions you have or missing information needed, as well as any suggested Conditions of Approval.

TO:			
<input checked="" type="checkbox"/>	City of Ukiah, Community Development Director	<input checked="" type="checkbox"/>	Mendocino County Air Quality Management District
<input checked="" type="checkbox"/>	City of Ukiah, Building Inspection Division	<input checked="" type="checkbox"/>	Ukiah Police Department
<input checked="" type="checkbox"/>	City of Ukiah, Fire Prevention Division	<input checked="" type="checkbox"/>	City of Ukiah, Code Enforcement Division
<input checked="" type="checkbox"/>	City of Ukiah, Electric Utility, Department	<input checked="" type="checkbox"/>	Ukiah Valley Fire Authority
<input checked="" type="checkbox"/>	City of Ukiah, Public Works Department	<input checked="" type="checkbox"/>	City of Ukiah, City Manager's Office
<input checked="" type="checkbox"/>	Great Redwood Trail Agency (GRTA)	<input checked="" type="checkbox"/>	Ukiah Airport Manager
<input checked="" type="checkbox"/>	Mendocino County, Airport Land Use Committee	<input checked="" type="checkbox"/>	City of Ukiah, Community Services Department

PROJECT INFORMATION:	
Project Name & Permit #:	MCHC Urgent Care & Administration Building – Major Use Permit; Site Development Permit & Lot Merger #PA25-000019
Site Address & APN:	1240 Airport Park Blvd Ukiah, CA, 95482, CA; APNs (180-080-74 & 180-080-75)
General Plan:	"AIP-PD" Mixed-Use Airport Industrial Park – Planned Development
Zoning:	"Light Manufacturing/Mixed-Use"
Airport Compatibility Zone:	"Zones 5 & 6"
Date Filed:	09.05.2025
Resubmittal:	N/A
Date Referred:	09.05.2025
Prev. Projects or Business	United Disaster Relief of Northern California; Mendocino Animal Hospital
Applicant/Agent Name:	Mendocino Community Health Clinics (MCHC) / Kile Campbell (Associate HY Architects)
Phone:	530-758-1270
Email:	TWilliams@mchcinc.org
Project Website:	https://cityofukiah.com/ceqa-review/

Project Summary: Mendocino Community Health Clinic (MCHC) proposes to convert the existing ±7,12 square-foot structure at 1240 Airport Park Boulevard into an 'Urgent Care and Administrative Office'. The proje includes a 'Lot Merger' to combine two parcels (APNs 180-080-74 and 180-080-75) into one legal lot. Tt remodeled ground floor will accommodate an urgent care clinic with seven exam rooms, imaging services, ar support areas designed to meet OSHPD outpatient clinic requirements. A mezzanine second floor, construct within the existing structural shell, will provide administrative offices, staff support areas, and a conference roor The completed building will total approximately 14,144 square feet of floor area (±7,186 sq. ft. on the first flo and ±6,958 sq. ft. on the second floor). To maintain the building's current height, the Applicant proposes placir mechanical and selected electrical equipment in a secure exterior yard behind the building. Planned si improvements include a new public entrance from Airport Park Boulevard, upgraded pedestrian facilities, a re staff entrance with an outdoor area, reconfigured parking with a designated patient loading zone, ar landscaping that preserves existing trees and integrates the parcel with adjacent commercial properties. MCH also requests a connection to the Great Redwood Trail and approval for reduced off-street parking, consiste with Airport Industrial Park Planned Development regulations.



Please indicate whether you have comments on the associated referral packet. Be sure to sign and date below. Return this Project Referral Form by the date noted above to the Project Planner.

Name and Affiliation/Department (Please Print): MAX BRAZILL / UKIAH P.D.

- No Comment
- Comments / Conditions of Approval Attached

Signature: Max Brazill

Date 9/11/25



Please indicate whether you have comments on the associated referral packet. Be sure to sign and date below. Return this Project Referral Form by the date noted above to the Project Planner.

Great Redwood Trail Agency

Name and Affiliation/Department (Please Print): _____

- No Comment
- Comments / Conditions of Approval Attached

Signature: *Budget Niche*

Date



Please indicate whether you have comments on the associated referral packet. Be sure to sign and date below. Return this Project Referral Form by the date noted above to the Project Planner.

Regarding the Project Referral:

MCHC Urgent Care & Administration Building - Major Use Permit; Site Development Permit & Lot Merger #PA25-000019

Regarding the Project Referral:

Ukiah Electric Utility Department (EUD) has the following requirements and comments:

- 1) This property will be served from Underground service.
- 2) Developer is to provide EUSERC approved electrical equipment compatible with the City of Ukiah's current EUSERC Acceptability Chart before the panel can be used on this project.
- 3) All future site improvements shall be submitted to the Electric Utility Department for review and comment. At that time, specific service requirements, service Voltage and developer costs and requirements will be determined.
- 4) Developer/customer shall incur all costs of this future project to include (labor, materials, equipment, and future services).
- 5) There shall also be an easement provided to the EUD for any Primary or Secondary that transverses through the property. Or around any City owned Electric equipment.

Please email a copy of all future electric plans to sbozzoli@cityofukiah.com

Should they have any questions please call Scott Bozzoli at 707-467-5775.

Name and Affiliation/Department (Please Print): COU Electric Utility

No Comment

Comments / Conditions of Approval Attached

Signature: *Scott Bozzoli*

Date 9/11/2025

Jesse Davis

From: Matthew Keizer
Sent: Wednesday, September 17, 2025 8:29 AM
To: Jesse Davis
Subject: Re: MCHC Urgent Care Clinic - 1240 Airport Park Boulevard, Ukiah, CA (180-080-74 & 180-080-75) - Agency Referral

Follow Up Flag: Follow up
Flag Status: Flagged

BUILDING:

1. A permit will be required for T.I. (Tenant Improvements).
2. The design and construction of all site alterations shall comply with the 2022 California Building Code, 2022 Plumbing Code, 2022 Electrical Code, 2022 California Mechanical Code, 2022 California Fire Code, 2022 California Energy Code, 2022 Title 24 California Energy Efficiency Standards, 2022 California Green Building Standards Code, City of Ukiah, and Ukiah Valley Fire Authority Ordinances and Amendments.

FIRE PREVENTION:

1. The project shall comply with the currently adopted California Building Code, California Fire Code, and other codes, standards, regulations and requirements as enforced by the Ukiah Valley Fire Authority (UVFA).
2. Alterations to the building that impact the Fire Alarm and/or Fire Suppression Systems shall require a deferred submittal with a minimum of two sets of plans and with specifications provided to the UVFA for review and approval prior to initiating work that would impact those systems. Only a qualified C-16 contractor working on a fire suppression system or C-10 licensed contractor working on a fire detection system can complete necessary work on those systems.
3. The building Fire Sprinkler System shall be maintained operational at all times during alteration. When the renovation requires modification of a portion of a fire protection system, the remainder of the system shall be kept in service. CFC Section 3304.5, & NFPA 241 Section 10.8.
4. Provide access for ambulance pick up at the back/side of the building through easement from Tractor Supply. If a gate will be installed, provide access via a Strobe a siren, or other device approved by the Fire Code Official.

Regards,



Matt Keizer, CBO, MCP, CFM

Chief Building Official

Chief Code Enforcement Officer

UVFA Fire Code Official

Email: mkeizer@cityofukiah.com

300 Seminary Ave

Ukiah, CA 95482

Office 707-467-5786

Desk 707-467-5718

Fax 707-463-6204

Inspection 707-463-6739

Please take our Survey: <https://www.surveymonkey.com/r/GQWYNYG>
<http://www.cityofukiah.com/community-development/>
<http://www.cityofukiah.com/uvfa/>

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From: Jesse Davis <jdavis@cityofukiah.com>

Sent: Thursday, September 11, 2025 8:57 AM

Subject: MCHC Urgent Care Clinic - 1240 Airport Park Boulevard, Ukiah, CA (180-080-74 & 180-080-75) - Agency Referral

Good Morning,

Please review and respond to the attached project referral from the City of Ukiah – Planning Division for:

MCHC Urgent Care Clinic & Administrative Office

**Major Site Development Permit; Major Use Permit; Lot Merger
1240 Airport Park Boulevard, Ukiah, CA (180-080-74 & 180-080-75)
File No. PA_25-000019**

Proposed Project: Mendocino Community Health Clinic (MCHC) proposes to convert the existing ±7,129-square-foot structure at 1240 Airport Park Boulevard into an ‘Urgent Care and Administrative Office’. The project includes a ‘Lot Merger’ to combine two parcels (APNs 180-080-74 and 180-080-75) into one legal lot. The remodeled ground floor will accommodate an urgent care clinic with seven exam rooms, imaging services, and support areas designed to meet OSHPD outpatient clinic requirements. A mezzanine second floor, constructed within the existing structural shell, will provide administrative offices, staff support areas, and a conference room. The completed building will total approximately 14,144 square feet of floor area (±7,186 sq. ft. on the first floor and ±6,958 sq. ft. on the second floor). To maintain the building’s current height, the Applicant proposes placing mechanical and selected electrical equipment in a secure exterior yard behind the building. Planned site improvements include a new public entrance from Airport Park Boulevard, upgraded pedestrian facilities, a rear staff entrance with an outdoor area, reconfigured parking with a designated patient loading zone, and landscaping that preserves existing trees and integrates the parcel with adjacent commercial properties. MCHC also requests a connection to the Great Redwood Trail and approval for reduced off-street parking, consistent with Airport Industrial Park Planned Development regulations.

Project Materials:

[Project Description](#)

[Application Materials – All](#)

Response Deadline – 10/1/25: Please respond directly to Planning Division staff by providing written comments on the referral request form (attached). Separate written correspondence is also acceptable.

Next Steps: The project will receive evaluation, and a recommendation from the City of Ukiah Design Review Board at a Regular Meeting on October 24, 2025.

Should you have any questions or require further information, please do not hesitate to reach out. Thank you for your attention to this matter, and your response to this request.

Best Regards,
Jesse Davis



Jesse Davis, AICP

Chief Planning Manager

Department of Community Development

300 Seminary Avenue, Ukiah, CA 95482

P: 707.463.6207

www.cityofukiah.com/community-development

October 17, 2025

Jesse Davis, AICP

Department of Community Development
300 Seminary Avenue
Ukiah, CA 95482

Re: Project Name: MCHC Urgent Care and Administration Building; Major Use Permit
 Project Address: 1240 Airport Park Boulevard
 Permit No.: PA25-000019
 Project No.: 25-001114

The attached drawings have been corrected per the first submission Plan Check comments from the Department of Community Development, Ukiah. All comments and revisions have been clouded and noted with a DELTA 1.

The sheets have been corrected per the comments as follows:

POLICE DEPARTMENT COMMENTS – MAX BRAZILL

No comments noted. – 9/11/25

UKIAH ELECTRIC UTILITY DEPARTMENT COMMENTS – SCOTT BOZZOLI

This property will be served from Underground service.

RESPONSE: Noted, underground service will continue to be underground and we will work with the PUD to design and upgrade the service as needed.

Developer is to provide EUSERC approved electrical equipment compatible with the City of Ukiah's current EUSERC Acceptability Chart before the panel can be used on this project.

RESPONSE: Noted.

All future site improvements shall be submitted to the Electric Utility Department for review and comment. At that time, specific service requirements, service Voltage and developer costs and requirements will be determined.

RESPONSE: Noted.

Developer/customer shall incur all costs of this future project to include (labor, materials, equipment, and future services).

RESPONSE: Noted.



There shall also be an easement provided to the EUD for any Primary or Secondary that transverses through the property. Or around any City owned Electric equipment.

RESPONSE: *Noted.*

BUILDING DEPARTMENT COMMENTS – MATT KEIZER

A permit will be required for T.I. (Tenant Improvements).

RESPONSE: *Noted.*

The design and construction of all site alterations shall comply with the 2022 California Building Code, 2022 Plumbing Code, 2022 Electrical Code, 2022 California Mechanical Code, 2022 California Fire Code, 2022 California Energy Code, 2022 Title 24 California Energy Efficiency Standards, 2022 California Green Building Standards Code, City of Ukiah, and Ukiah Valley Fire Authority Ordinances and Amendments.

RESPONSE: *Noted.*

FIRE DEPARTMENT COMMENTS – MATT KEIZER

The project shall comply with the currently adopted California Building Code, California Fire Code, and other codes, standards, regulations and requirements as enforced by the Ukiah Valley Fire Authority (UVFA).

RESPONSE: *Noted.*

Alterations to the building that impact the Fire Alarm and/or Fire Suppression Systems shall require a deferred submittal with a minimum of two sets of plans and with specifications provided to the UVFA for review and approval prior to initiating work that would impact those systems. Only a qualified C-16 contractor working on a fire suppression system or C-10 licensed contractor working on a fire detection system can complete necessary work on those systems.

RESPONSE: *Noted.*

The building Fire Sprinkler System shall be maintained operational at all times during alteration. When the renovation requires modification of a portion of a fire protection system, the remainder of the system shall be kept in service. CFC Section 3304.5, & N FPA 241 Section 10.8.

RESPONSE: *Noted.*

Provide access for ambulance pick up at the back/side of the building through easement from Tractor Supply. If a gate will be installed, provide access via a Strobe a siren, or other device approved by the Fire Code Official.



RESPONSE: The design team has reviewed and provided a design update to provide an 8'-0" wide path of travel from the rear facility door to an emergency ambulance exit and will provide an emergency gate on the security fence that is activated by an approved device (siren or strobe) as suggested by the FD. We will continue to work and have discussions with planning and the fire marshal regarding the exact specs and requests for the gate access device(s).

Follow up comments from Planning: The proposed southern curb cut allowing ambulance departures from the rear of the facility past Tractor Supply onto Airport Park Boulevard via the existing public accessway to 1252 Airport Park Boulevard is ideal. Sta supports this cross-parcel circulation and believes it will address UVFA concerns regarding pickup and turnaround. Please coordinate directly with Tractor Supply’s real estate staff regarding access and related improvements. If you need additional assistance, please let us know.

o Contact: Justin Wood, Sr. Construction Manager, Tractor Supply Co.
 PH: (615) 427-1046 | E: jwood@tractorsupply.com
 5401 Virginia Way, Brentwood, TN 37027

RESPONSE: Noted, the design team and civil engineer will reach out and work with the TSC team to develop this design element further.

GREAT REDWOOD TRAIL AGENCY

The Great Redwood Trail Agency is pleased to see the desire to have connectivity to the trail. We did not see specific plans for the trail lining, so when MCHC is ready to go to that point, please connect them to . . . The GRTA would still need to approve the engineering specs for the trail connection . . .

RESPONSE: Through discussions and review with the City of Ukiah Planning officials, MCHC finds it very difficult to provide a direct access to the trail from our facility. The rear of the facility will have security fencing and due to the parking needs of the facility, we find it nearly impossible to provide ADA access (code required) along with a stair access. The GRT Phase 4 design package indicates a trail access connection with stairs and ADA ramp in the adjacent parcel, to the north, which MCHC appreciates and would find that a great amenity for staff use during their breaks.

In summary, based on the site constraints and the nature of the facility we find adding a GRT trail access point directly on the property not feasible at this time.

Follow up to response (from Planning Official): Given the site constraints discussed, we can explore alternative access to the GRT, likely through the Panda Express encroachment. Please include bicycle parking, storage, and related improvements to support use of the GRT by employees and clients.

RESPONSE: Noted.

If MCHC has any need for use of the GRTA property not affiliated with the trail connection such as Right of Entry, construction laydown, or equipment staging, MCHC would have to apply for an encroachment permit for this.

RESPONSE: Noted.



PLANNING DEPARTMENT COMMENTS – JESSE DAVIS

Airport Compatibility Zones: Can interior uses within the clinic be separated between Zones 5 and 6? Specifically, are patient-facing uses and check-in areas primarily located within Zone 6?

RESPONSE: All patient services for Urgent Care are administered through the front door facing Airport Park Blvd (in zone 6), only staff and administration visitors (internal) would be utilizing the back entrance. In very rare instances, emergency ambulance patient routes would be through the 3rd back door near receiving.

Airport Compatibility calculations and the demarcation of Zone 5 and 6 have been added to the A1.01 sheet and we are well below the occupancy factors for each zone (with the building occupants split 50/50).

Reduced Parking Justification: Please provide additional justification, including expected patient volumes.

RESPONSE: HY Architects and MCHC are working through the parking requirements and reduction justification. We will have a follow-up on staffing and patient loads before the next hearing.

Solar Panels - Roof-mounted and parking lot solar panels are feasible, and similar facilities along Airport Park Boulevard feature substantial rooftop installations. The Design Review Board supports sustainable energy features and would consider solar carports toward shade coverage requirements. Attached is glare analysis from a comparable project with greater runway exposure. This type of analysis will help confirm that the proposed panels will not create conflicts with aviation uses at UKI. Given the site location, typical flight paths, and existing mature tree coverage this is not expected, but glare considerations would be incorporated into a conditioned aviation easement.

RESPONSE: HY Architects and MCHC are anticipating and designing full solar panel offset for the energy needs of the facility including solar panels on the roof and two solar shade structures as indicated on the site plan. Additionally we plan to design and install battery storage for emergency and non-daylight hour power usage. We appreciate the City of Ukiah's support for green energies and net-zero initiatives.

Signage and Landscaping - Increased signage to the maximum allowed by the Ukiah Municipal Code is acceptable, including directional signage. Adjusting frontage landscaping to maintain visibility is also appropriate. The site's mature landscaping should be preserved wherever possible..

RESPONSE: HY Architects has increased the monument sign at Airport Park Boulevard, in this latest revision to the square footage allowed by the zoning code (based on linear feet of frontage). The trees at the main road have been changed from redwoods to a lower profile deciduous tree for better visibility of the Urgent Care facility, from the road.



Ukiah Department of Community Development
Permit No. PA25-000019; Project No. 25-001114
Planning Review – First Submission
October 17, 2025

Submitted,

A handwritten signature in blue ink that reads "Kile Campbell".

Kile Campbell, Project Manager/Architect
Hibser Yamauchi Architects, Inc.

From: [Jesse Davis](#)
To: [Kile Campbell](#); [Tiffany Williams](#); [Steven Abramson](#); [Ken Yamauchi](#); [Chinh Nguyen](#)
Cc: [Katherine Schaefer](#)
Subject: RE: Mendocino Community Health Clinic – Urgent Care Conversion Project - Follow-Up
Date: Wednesday, October 22, 2025 3:51:31 PM
Attachments: [image001.png](#)

Hi Kile,

As referenced earlier, please see the comment below from our Electric Utility Department:

“I see on page E1-01 that the developer is showing the path of the conduit from the transformer running directly under the building (Utility Yard). We strongly recommend against this. If this is not an existing path of travel, the Electric Utility will require the contractor to keep all conduit within the parking lot. The reason is simple: if there’s a failure in the future, we don’t want to excavate conduit located inside the facility. Therefore, all new conduit pathways must avoid running beneath buildings (Scott Bozzoli; Electrical Engineering Technician 3).”

As noted, this is not an aesthetic item under the purview of the Design Review Board, but it will need to be addressed prior to Planning Commission review or incorporated as a Condition of Approval.

Please let me know if you have any questions or need anything further at this stage.

Best regards,
Jesse Davis

From: Jesse Davis
Sent: Tuesday, October 21, 2025 1:25 PM
To: Kile Campbell <kcampbell@hy-arch.com>; Tiffany Williams <twilliams@mchcinc.org>; Steven Abramson <abramsos2024@gmail.com>; Ken Yamauchi <kyamauchi@hy-arch.com>; Chinh Nguyen <cnguyen@hy-arch.com>
Cc: Katherine Schaefer <KSchaefer@cityofukiah.com>
Subject: RE: Mendocino Community Health Clinic – Urgent Care Conversion Project - Follow-Up

Hi Kile,

Thank you for providing these updates. I confirm receipt and note the various updates conveyed. I believe there was a response from our Electric Utility Department upon review, though it did not pertain to design matters. I’ll be sure to convey that message to your team’s attention.

From: [Matthew Keizer](#)
To: [Katherine Schaefer](#)
Subject: Re: Easement request for TSC property - Ukiah
Date: Tuesday, December 2, 2025 1:20:30 PM
Attachments: [image001.png](#)
[Outlook-1e5eg0db.png](#)
[Outlook-47F0C003.png](#)

- 1. Per CFC§ 503.1.2, Provide access for ambulance pick up at the back or side of the building, and provide a second fire access road on the south/west side of the property. The proposed southern curb cut allows the ambulance departures from the rear of the facility without having to make a 3-point turn at the vehicle and pedestrian crosswalk and driveway crossings.**
- 2. If a gate will be installed, provide access via a Strobe a siren, or other device approved by the Fire Code Official.**

503.1 Where required. Fire apparatus access roads shall be provided and maintained in accordance with Sections 503.1.1 through 503.1.3.

503.1.2 Additional access. The fire code official is authorized to require more than one fire apparatus access road based on the potential for impairment of a single road by vehicle congestion, condition of terrain, climatic conditions or other factors that could limit access.

SECTION D102

REQUIRED ACCESS

D102.1 Access and loading. Facilities, buildings or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved fire apparatus

access road with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing up to 75,000 pounds (34 050 kg).

Regards,



Matt Keizer, CBO, MCP, CFM
Chief Building Official
Chief Code Enforcement Officer
UVFA Fire Code Official

Email: mkeizer@cityofukiah.com

300 Seminary Ave

Ukiah, CA 95482

Office 707-467-5786

Desk 707-467-5718

Fax 707-463-6204

Inspection 707-463-6739

Please take our Survey: <https://www.surveymonkey.com/r/GQWYNYG>

<http://www.cityofukiah.com/community-development/>

<http://www.cityofukiah.com/uvfa/>

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December 4, 2025

**Community Development Department
 Planning Division
 300 Seminary Avenue, Ukiah, CA, 95482
 Email: planningdivision@cityofukiah.com
 Phone: (707) 463 -6207**

Re: 1240 Airport Park Boulevard: MCHC Urgent Care & Administration Building – Parking Analysis

To Whom it May Concern:

Please see attached graphic analysis of the intended staff and patient load for the new Urgent Care and Administration facility for Mendocino County Health Centers. This analysis was developed with input and understanding of the basic functionality and workflow of Urgent Care and the intended uses of the administrative offices on the second floor by MCHC.

Floor plans with descriptors and more in-depth summary of analysis are also attached for your review. We believe the proposed 50 parking spaces to be adequate for the anticipated employees and patients visiting and working at the new facility. MCHC and the design team are still in discussions with Best Properties, the property owner to the north, to find a reasonable solution for potential overflow parking in the off chance there are days with more parking needed.

Max Occupancy for Parking			
	No. of Staff	Multiplier	Total
Urgent Care			
Providers	3	1	3
MA's per Provider	2	3	6
Floats per Provider	1	3	3
Imaging Tech	1	1	1
Sterile/Lab Specialist	1	1	1
Clinic Manager	1	1	1
Receptionists	3	1	3
Urgent Care Total:			18
Administration			
Single Occupancy Offices	9	1	9
Open Workstations (Only 2 occupied per day)	2	1	2
Admin Total:			11
Staff Total:			29
Patients			
Exam Rooms	7	1	7
In queue patients per Exam Room	1.5	7	10.5
Patient Total:			17.5
Total Parking Required:			46.5
Provided Parking Spaces:			50

Thank you for your consideration,

Kile Campbell
 Associate
 HY Architects



IF THIS SHEET IS NOT 30"x42", IT IS A REDUCED PRINT SCALE ACCORDINGLY

LANDSCAPE PLANTS



*SEE LANDSCAPE DRAWING FOR MORE INFORMATION

PARKING ANALYSIS

PARKING SPACES PROVIDED:
 MEDICAL CLINIC (1 PARKING SPACE PER 200 SF)
 7,197 SF / 200 = 36 PARKING SPACES
 OFFICE (1 PARKING SPACE PER 250 SF)
 6,958 SF / 250 = 28 PARKING SPACES
 TOTAL REQUIRED PARKING SPACE:
 PARKING SPACES PROVIDED TO REQ'D:
50/64 SPACES

REQUIRED ACCESSIBLE PARKING SPACES:
 (51 TO 75 - PER CBC 11B-26.2)
3 PARKING SPACES

REQUIRED CLEAN-AIR VEHICLE PARKING SPACE:
 (51 TO 75 - PER CGBSC 5.106.5.3)
3 EVCS WITH EVSE
 13 EVCS

REQUIRED BICYCLE PARKING (PER CGBSC 5.106.4)
 SHORT TERM (5% OF REQUIRED PARKING): 4
 LONG TERM (5% OF REQUIRED PARKING): 4

EMERGENCY VEHICLE FIRE LANE:
12' - 0" WIDE

TOTAL AREA OF PARKING:
23,629 SF

BUILDING INFORMATION

ADDRESS: 1248 AIRPORT PARK BLVD UKIAH, CA
 1246 AIRPORT PARK BLVD UKIAH, CA

PARCEL NUMBER: 180-08-074
 180-08-075

ZONE: PLANNING DEVELOPMENT COMBINING (PD-COMMERCIAL)

LOT AREA: 50,537 ± SF (1.16 ACRES)

BUILDING COVERAGE: 6,958 SF (14%)

LANDSCAPE COVERAGE: 10,107 SF (10%)

EXISTING FLOOR AREA: 7,000 SF

FIRST FLOOR AREA: 7,217 SF
SECOND FLOOR AREA: 7,244 SF
TOTAL FLOOR AREA: 14,461 SF

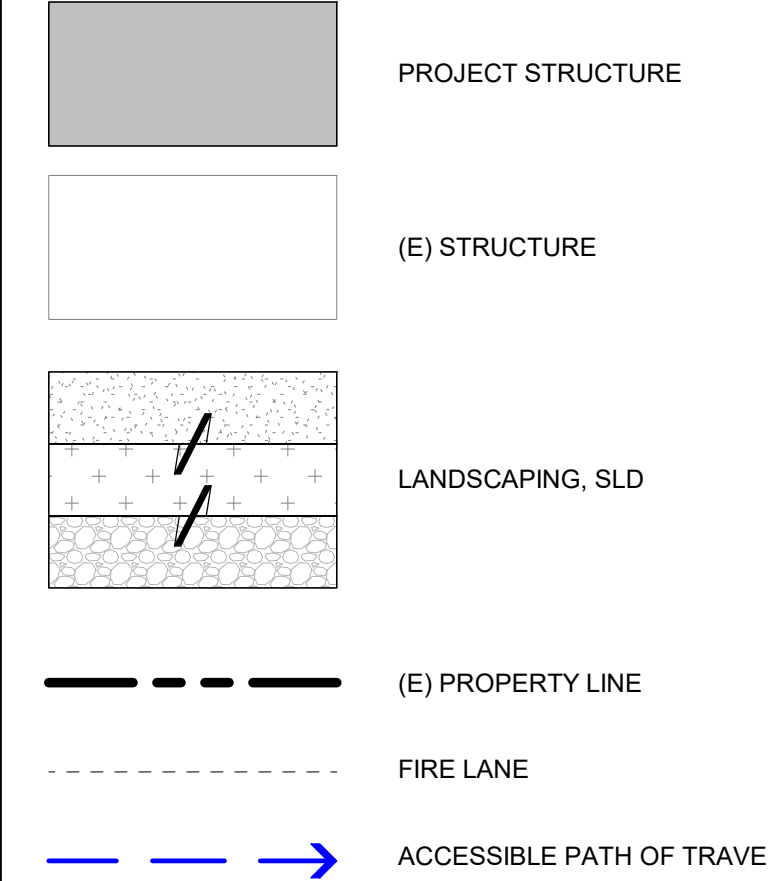
CONSTRUCTION TYPE: II-B

BUILDING HEIGHT: 36' - 4"

OCCUPANCY TYPE: B

FIRE PROTECTION: FULLY SPRINKLER AND FIRE ALARM SYSTEM

LEGEND



PLANNING GENERAL NOTES

- ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAX SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. AND AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. VERIFY SLOPE W/ 24" SMART LEVEL.
- ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80"
- REFER TO C, E, & L SERIES SHEETS FOR ADDITIONAL INFORMATION.

AIRPORT COMPATIBILITY

ZONE 5 SQUARE FOOTAGE = 18,779 SF OR 0.43 ACRES
 ZONE 6 SQUARE FOOTAGE = 31,759 SF OR 0.73 ACRES
 - HALF BUILDING SQUARE FOOTAGE IS IN ZONE 5 AND HALF IN ZONE 6
 - TOTAL BUILDING OCCUPANCY = 220 PEOPLE

ZONE 5:
 - MAX SITESIDE AVG INTENSITY (PPL/ACRE) = 100/ACRE
 - MAX SINGLE ACRE INTENSITY (PPL/ACRE) = 300/ACRE
 - ZONE 5 ACRES 0.43 ACRES X 300 PPL/ACRE = 129 PEOPLE;
 OCCUPANCY IN ZONE 5 = 110 PEOPLE < 129 PEOPLE

ZONE 6:
 - MAX SITESIDE AVG INTENSITY (PPL/ACRE) = 300/ACRE
 - MAX SINGLE ACRE INTENSITY (PPL/ACRE) = 1,200/ACRE
 - ZONE 6 ACRES 0.73 ACRES X 1200 PPL/ACRE = 876 PEOPLE
 OCCUPANCY IN ZONE 6 = 110 PEOPLE < 876 PEOPLE

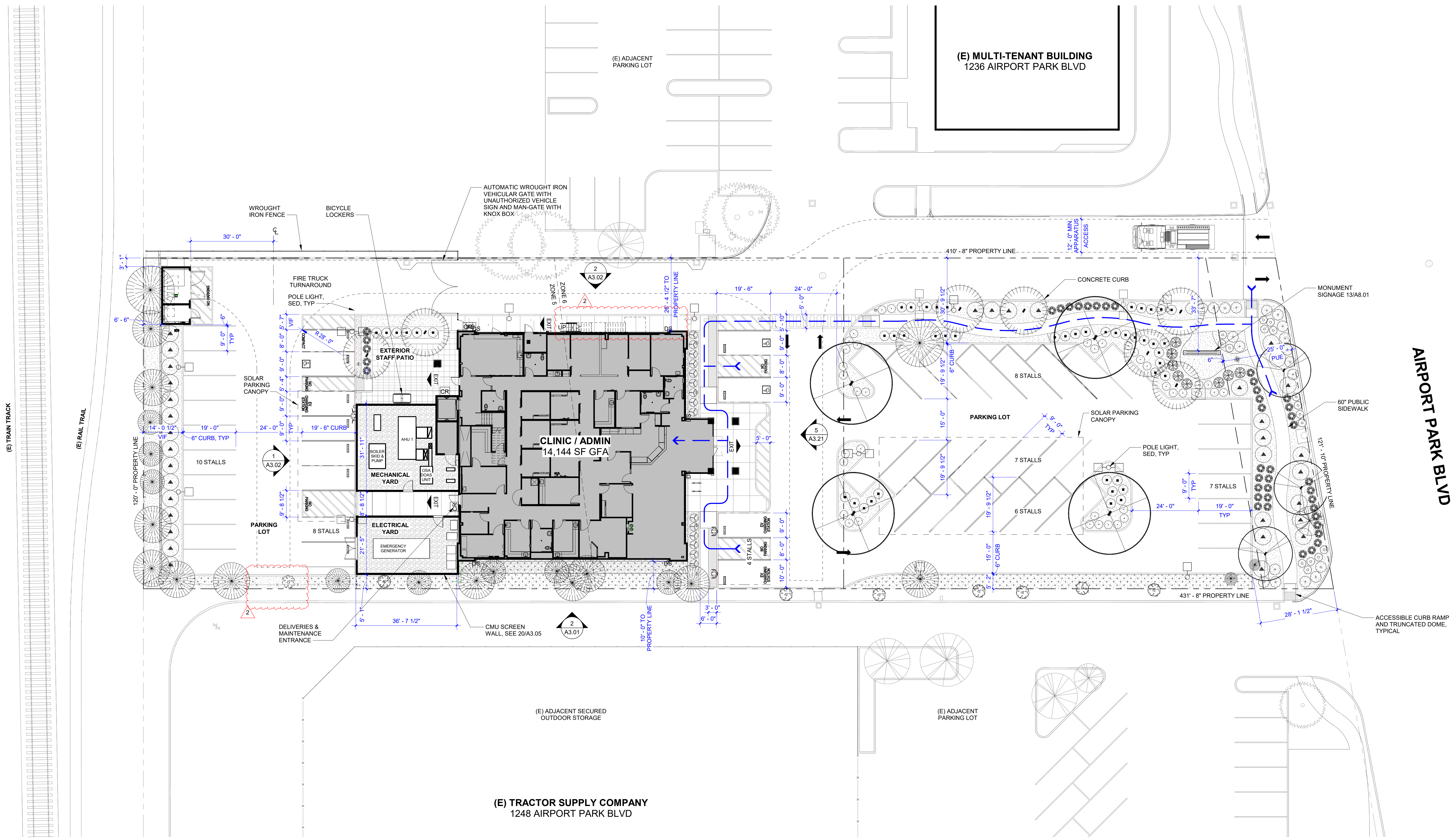


Delta	Date	Revisions	By
1	10/17/25	PLANNING & OWNER REVISIONS	KC
2	12/04/25	PLANNING & OWNER REVISIONS	KC

NOT FOR CONSTRUCTION

PLANNING

AGENCY APPROVAL



1 SITE PLAN - REMODEL
 1/16" = 1'-0"

HY HIBSER YAMAUCHI Architects, Inc.
 4602 2nd Street, Suite 3
 Davis, CA 95618
 530.758.1270 tel | 530.758.4789 fax

Facility: MCHC HEALTH CENTERS
 1240 Airport Park Blvd Ukiah, CA 95482

Project: Urgent Care Clinic & Administration Building

Sheet Title: SITE PLAN - REMODEL

Client Project Number:	6257
Scale:	As indicated
Drawn By:	Author
Checked By:	Checker
Issue Date:	12.03.2025
Revit Version:	2025
Sheet	A1.01
Sheet	2 of 200

C:\Users\kcampbell\Documents\6257 MCHC-Airport Park Urgent Care_R25_kcampbell\DWG\10.rvt 12/4/2025 4:10:18 PM



MCHC
HEALTH CENTERS

Revisions			
Delta	Date	Revisions	By
1	10/17/25	PLANNING & OWNER REVISIONS	KC

PLANNING GENERAL NOTES

1. ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAX. SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. AND AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. VERIFY SLOPE W/ 24" SMART LEVEL.
2. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM. AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80".
3. REFER TO C, E, & L SERIES SHEETS FOR ADDITIONAL INFORMATION.

PARTITION LEGEND

NOTE: FOR ANY PARTITION THAT IS NOT TAGGED ON THE PLAN, REFER TO ITS CORRESPONDING GRAPHIC IN THIS WALL LEGEND TO DETERMINE ITS TYPE

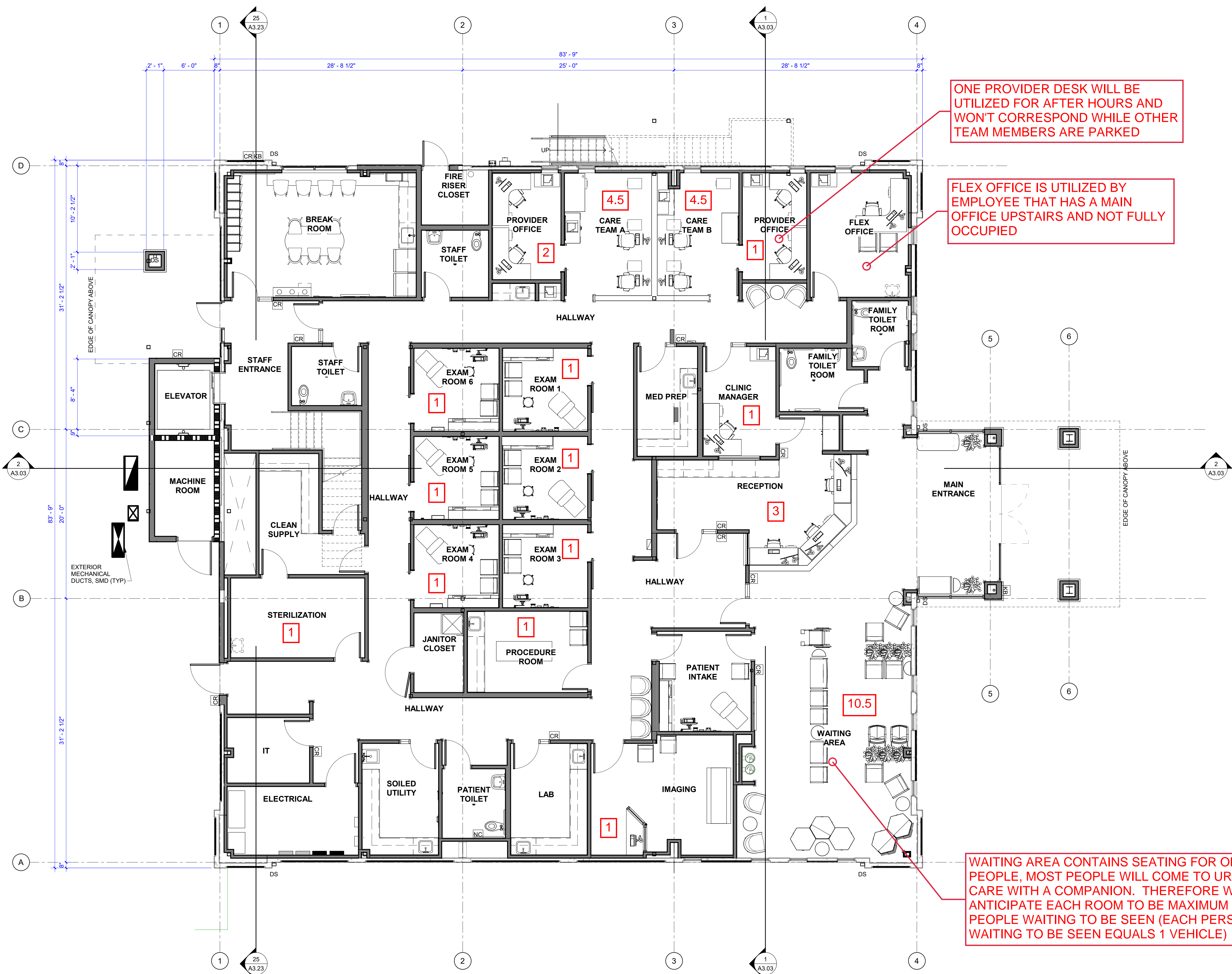
EXISTING WALL & PARTITION TYPES:

- (E) EXTERIOR WALL TO REMAIN
- (N) NON-RATED FIRE-RESISTIVE PARTITION W/ UNPROTECTED OPENINGS, TYP UON.
- PARTIAL HEIGHT WALLS

NOT FOR CONSTRUCTION

PLANNING

AGENCY APPROVAL

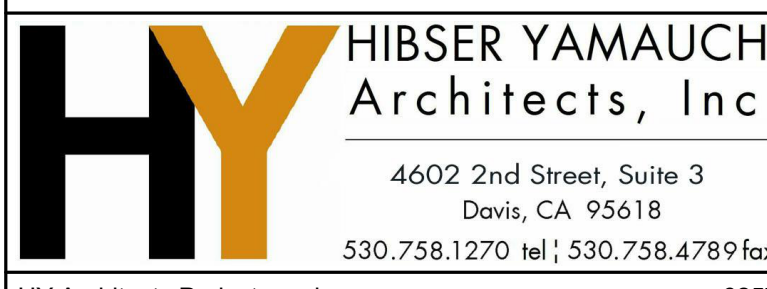


ONE PROVIDER DESK WILL BE UTILIZED FOR AFTER HOURS AND WON'T CORRESPOND WHILE OTHER TEAM MEMBERS ARE PARKED

FLEX OFFICE IS UTILIZED BY EMPLOYEE THAT HAS A MAIN OFFICE UPSTAIRS AND NOT FULLY OCCUPIED

WAITING AREA CONTAINS SEATING FOR ONLY 18 PEOPLE. MOST PEOPLE WILL COME TO URGENT CARE WITH A COMPANION. THEREFORE WE ANTICIPATE EACH ROOM TO BE MAXIMUM 1.5 PEOPLE WAITING TO BE SEEN (EACH PERSON WAITING TO BE SEEN EQUALS 1 VEHICLE)

1 OVERALL FIRST FLOOR PLAN - REMODEL
3/16" = 1'-0"



4602 2nd Street, Suite 3
Davis, CA 95618
530.758.1270 tel | 530.758.4789 fax

HY Architects Project number: 6257
Facility
MCHC HEALTH CENTERS
1240 Airport Park Blvd Ukiah, CA 95482

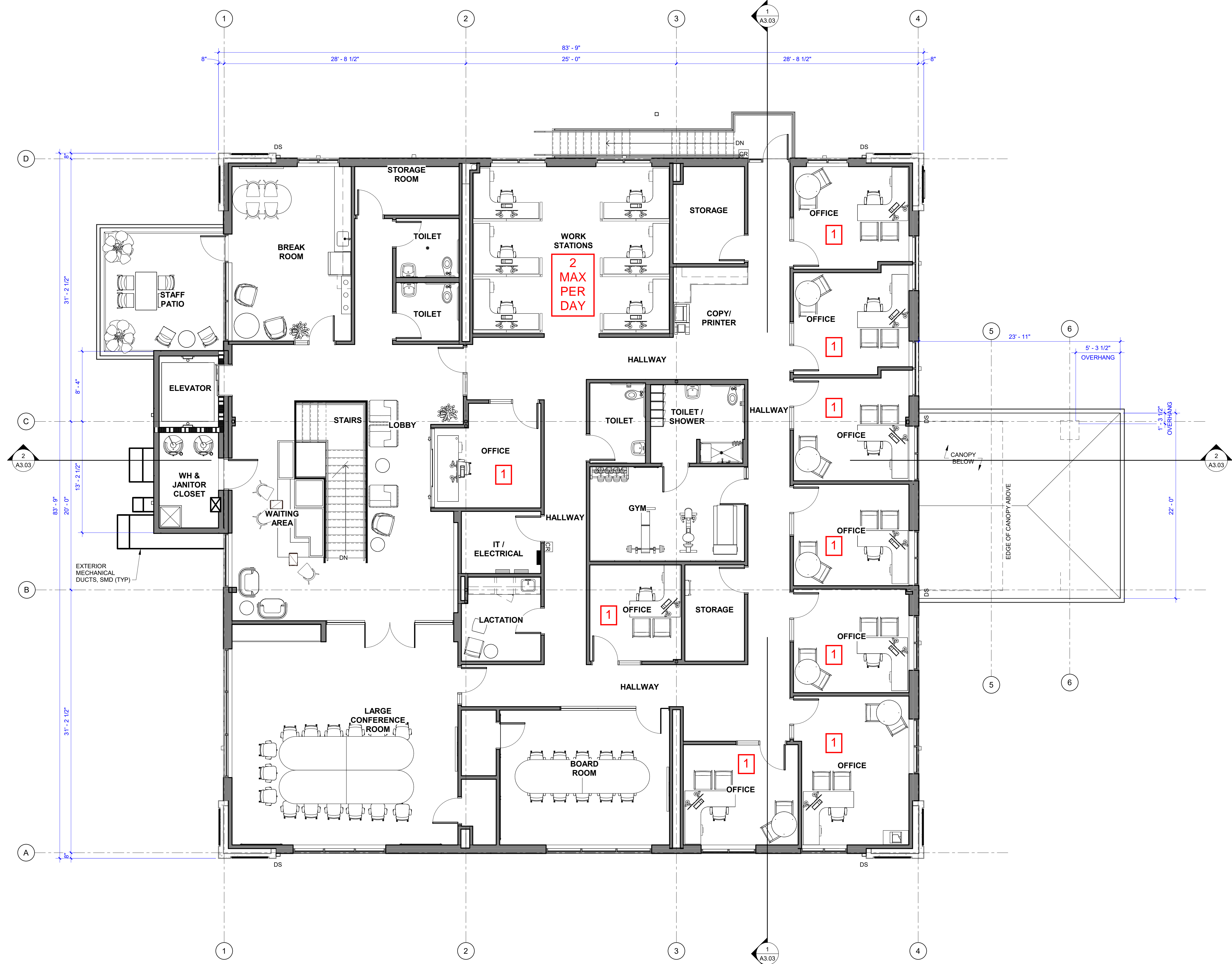
Project
Urgent Care Clinic & Administration Building

Sheet Title
OVERALL FIRST FLOOR PLAN - REMODEL

Client Project Number:	Scale: As indicated	Sheet
Drawn By: Author	Checked By: Checker	A2.02
Issue Date: 12.03.2025	Revit Version: 2025	
Sheet		2 of 200



IF THIS SHEET IS NOT 30"x42", IT IS A REDUCED PRINT SCALE ACCORDINGLY



PLANNING GENERAL NOTES

1. ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAX. SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. AND AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. VERIFY SLOPE W/ 24" SMART LEVEL.
2. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80".
3. REFER TO C, E, & L SERIES SHEETS FOR ADDITIONAL INFORMATION.

PARTITION LEGEND

- NOTE: FOR ANY PARTITION THAT IS NOT TAGGED ON THE PLAN, REFER TO ITS CORRESPONDING GRAPHIC IN THIS WALL LEGEND TO DETERMINE ITS TYPE
- EXISTING WALL & PARTITION TYPES:**
- (E) EXTERIOR WALL TO REMAIN
 - (N) NON-RATED FIRE-RESISTIVE PARTITION W/ UNPROTECTED OPENINGS, TYP UON.
 - PARTIAL HEIGHT WALLS



MCHC HEALTH CENTERS

Delta	Date	Revisions	By
1	10/17/25	PLANNING & OWNER REVISIONS	KC

NOT FOR CONSTRUCTION

PLANNING

AGENCY APPROVAL

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HY HIBSER YAMAUCHI Architects, Inc.
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 Davis, CA 95618
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HY Architects Project number: 6257

Facility
 MCHC HEALTH CENTERS
 1240 Airport Park Blvd Ukiah, CA 95482

Project
 Urgent Care Clinic &
 Administration Building

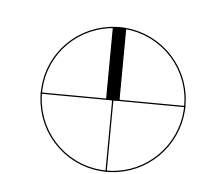
Sheet Title
OVERALL SECOND FLOOR PLAN - REMODEL

Client Project Number:	6257
Scale:	As indicated
Drawn By:	Author
Checked By:	Checker
Issue Date:	12.03.2025
Revit Version:	2025
Sheet	A2.03
Sheet	2 of 200

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12/4/2025 4:10:23 PM

1 OVERALL SECOND FLOOR PLAN - REMODEL
 3/16" = 1'-0"





MAJOR SITE DEVELOPMENT PERMIT; MAJOR USE PERMIT;
LOT MERGER
1240 Airport Park Boulevard

MENDOCINO COMMUNITY HEALTH CLINICS URGENT CARE & ADMINISTRATIVE OFFICE

FILE NO. 25-001114/PA25-000019

Planning Commission: 12/10/2025



1248 Airport Park Blvd.
Tractor Supply Co.

APN 180-080-74

1230 Airport Park Blvd.
Best Properties Inc.
(Sourdough & Co., Panda
Express, etc.)

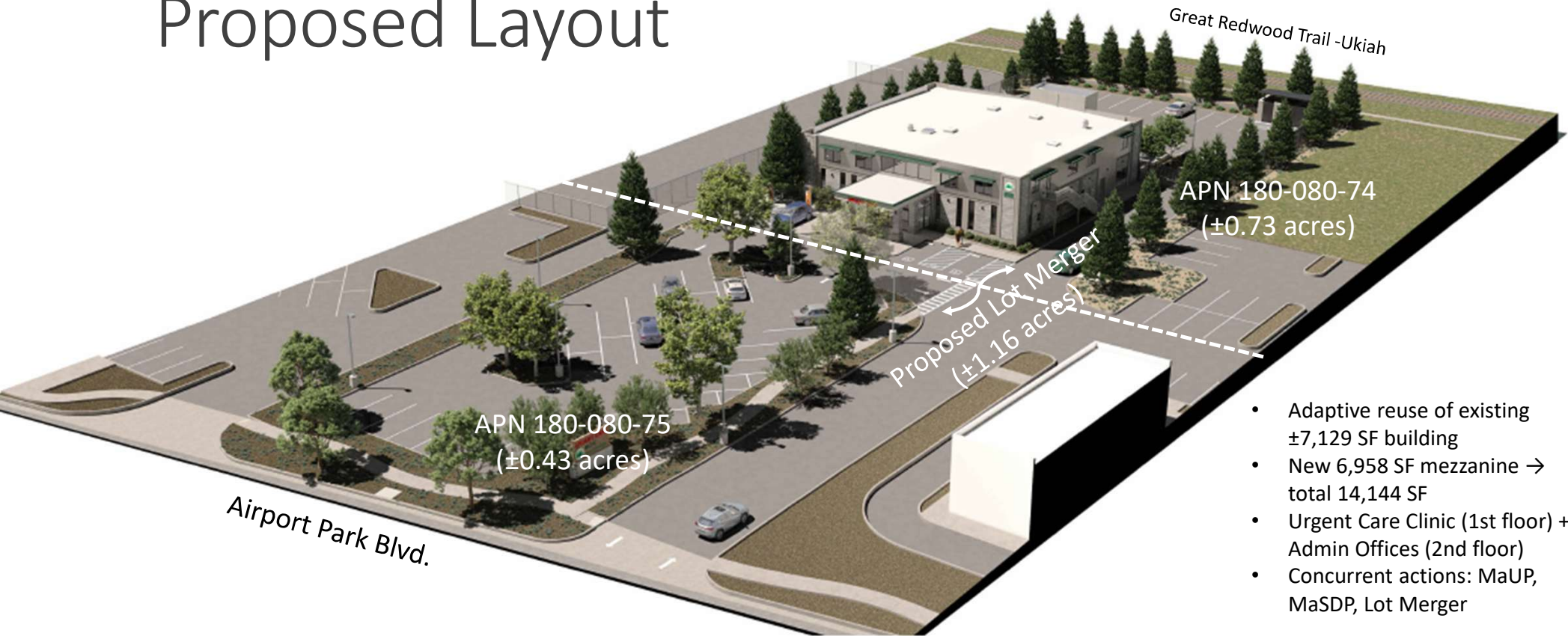
APN 180-080-75

FOR SALE or LEASE
Total Parcel: 8.48 Ac. (200000 sq. ft. of building)
Rear Parcel: 6.7 Ac. (100000 sq. ft. of building)
FOR SALE or LEASE
Front Parcel: 2.44 Ac. (200000 sq. ft. of building)
Rear Parcel: 2.7 Ac. (100000 sq. ft. of building)
Gary Nix
Lee Kraemer
Gary Nix
Lee Kraemer

1240 Airport Park Blvd.

Current Project Site
View from Airport Park Blvd.

Proposed Layout



- Adaptive reuse of existing ±7,129 SF building
- New 6,958 SF mezzanine → total 14,144 SF
- Urgent Care Clinic (1st floor) + Admin Offices (2nd floor)
- Concurrent actions: MaUP, MaSDP, Lot Merger

Proposed Actions

Major Use Permit (MaUP)

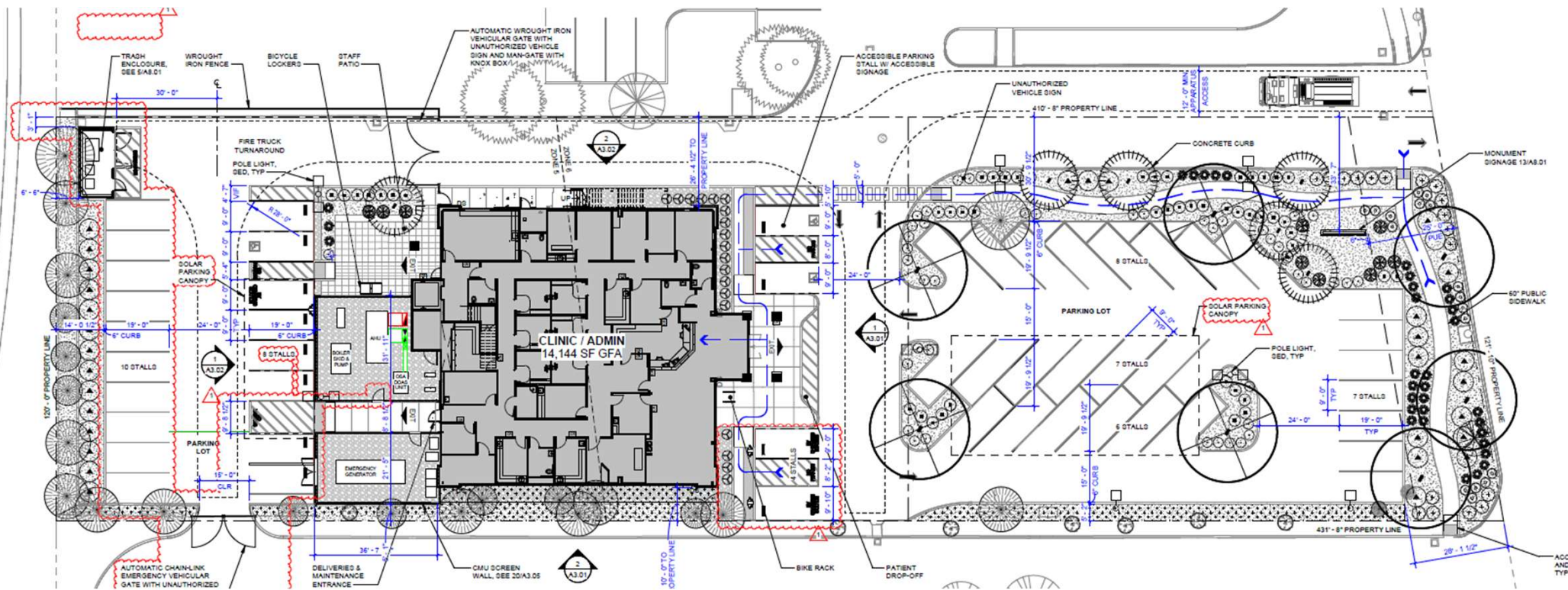
Required for operating an Urgent Care Clinic and Administrative Offices in the AIP-PD zone. Classified as Major due to change in use and increased parking demand.

Major Site Development Permit (MaSDP)

Required for new construction (mezzanine, elevator) and substantial exterior modification. Floor area increases from 7,129 SF to 14,144 SF.

Lot Merger

Merges APNs 180-080-74 and 180-080-75 into a single 1.16-acre parcel. Processed concurrently to support required parking and frontage improvements.



Site Improvements



Design Review Board

General support for architecture, site design, adaptive reuse

Recommended Conditional Approval

→ Requested additional data on staffing/patient volume for parking reduction



Parking Request

The Planning Commission may consider deviations from standard parking requirements on a case-by-case basis when supported by findings. These findings must demonstrate that the proposed use is a unique use, and that the deviation will not result in on-street parking congestion. -*AIP-PD Development Standards 14(d)*

Required	64 spaces
• Medical Clinic	36 spaces (7,129sf/200)
• Medical Offices	28 spaces (6,958sf/250)
Provided	50 spaces
<i>Deficit</i>	<i>14 spaces</i>






Agency Coordination

Ukiah Valley Fire Authority/Community Development Dep't Fire Prevention: Ambulance path, secondary fire access, gate activated by an approved device

Electric Utility: Underground service + easement dedication

Great Redwood Trail Agency: Trail access constraints acknowledged; bicycle amenities provided

Site Development Permit Findings

Findings 1, 4-8		Consistent
Finding 2 Pending		Safe circulation & access with UVFA-compliant emergency paths. Contingent on review/approval of staffing data to confirm safe circulation.
Finding 3 Pending		Lot merger creates area for 48 spaces + loading. AIP-PD allows PC to consider reduced parking. Consistent with Ukiah 2040 General Plan policies MOB-1.10 and MOB-2.2. Contingent on confirmation that reduced parking will avoid overflow + maintain safe access.

Staff Recommendation

Staff recommends that the Planning Commission:

- 1) Conduct a public hearing; and
- 2) Approve the Major Site Development Permit, Major Use Permit, and Lot Merger for a Conversion of an Existing Building into an 'Urgent Care and Administration Office' at 1240 Airport Park Boulevard (APNs 180-080-74 & 180-080-75). File No. 25-0011; Permit No. PA25-000019, based on the Findings in Attachment 1, and subject to the Conditions of Approval in Attachment 2.

Airport Compatibility

Zone 5 Compliant

- Zone 5 Site area: 0.43 acres
- Allowable single-acre intensity: 300 people/acre
- Max Intensity Allowed for Zone 5 area: 0.43 acres x 300 = **129 people**

Actual Occupancy = 55 people

Zone 6 Compliant

- Zone 6 Site area: 0.73 acres
- Allowable single-acre intensity: 1,200 people/acre
- Max Intensity Allowed for Zone 6 area: 0.73 acres x 1,200 = **876 people**

Actual Occupancy = 55 people

Sitewide Average Intensity Compliant

Total site area = 1.16 acres
Allowable sitewide average intensity

Zone 5: **100 people/acre**

Zone 6: **300 people/acre**

UKIALUCP total calculated occupancy = 110 people

Sitewide Average Intensity = 110/1.16 ~95 people/acre



Per Attachment 3, the Applicant states a **total building occupancy of 220 people**. The California Airport Land Use Planning Handbook allows office/medical/retail occupancies to be divided by 50% to reflect actual real-world usage. (UKIALUCP pg. D-1)



AGENDA SUMMARY REPORT

SUBJECT: Update to the Planning Commission on the Recommendations from the Downtown Zoning Code Ad Hoc Committee for Revisions to the Downtown Zoning Code in Accordance with Ukiah 2040 General Plan Policy LU-3.

DEPARTMENT: Community
Development

PREPARED BY: Jesse Davis, Chief Planning Manager

PRESENTER: Jesse Davis, AICP; Craig Schlatter, AICP

ATTACHMENTS:

1. Downtown Zoning Code Overview Presentation - 2011
2. Downtown Zoning Code Ordinance No. 1139 - 2012
3. Downtown Zoning Code - Maps, Figures & Parcels - 2025
4. Downtown Zoning Code - Alternative Regulating Plan - 2009
5. Downtown Zoning Code Map - Proposed
6. 14b Correspondence Received - Eileen Mitro
7. 14b Presentation given at meeting

Summary: This report provides an update to the Planning Commission on the recommendations from the Downtown Zoning Code Ad Hoc Committee for revisions to the Downtown Zoning Code in accordance with Ukiah 2040 General Plan policy LU-3.

Background:

In 2006, the City Council budgeted initial funds and directed staff to prepare a form-based zoning code for the Downtown and East Perkins Street areas. In 2007, the City of Ukiah completed a visioning process for these areas following a five-day public design charrette, officially commencing development of the Downtown Zoning Code (DZC). The design charrette collected community input to guide future development and redevelopment across both areas. Beginning in late 2009, the Planning Commission refined this early work and held a series of public workshops to review and revise the draft DZC.

As noted in the 2011 staff presentation (Attachment 1), the Commission completed its initial draft on January 12, 2011 and issued an informal recommendation that the City Council adopt the DZC. At the time, the Commission specifically emphasized the need for flexibility through an Exception process, greater regulatory clarity through specific site design, and improved usability with tables, example illustrations, and defined land uses. It also directed the recently formed Design Review Board to assist in codifying associated Design Guidelines for the zoning area. A joint City Council and Planning Commission workshop followed on April 27, 2011, and the multi-year effort concluded in October 2012 with the adoption of Ordinance 1139 (Attachment 2) and the associated rezoning identified in Attachment 3.

While not directly tied to the DZC itself, much of the early planning for these areas assumed the potential use of redevelopment funds to help deliver public improvements and support development. When redevelopment agencies were dissolved in 2012, the tools that cities like Ukiah had historically relied on for site assembly, infrastructure upgrades, and gap financing were no longer accessible. This shift resulted from a range of state-level budget and policy decisions, but the result was that previously shared costs shifted almost entirely to

private development, altering feasibility and expectations established in earlier planning efforts. For the Downtown Zoning Code, this meant that many of the identified street extensions and public improvements were more costly to developers.

To inform the associated Ad Hoc Committee, Planning Division staff have organized and digitized the available administrative record. Aside from minor amendments in 2017, 2021, and 2022 to address changes in State law and Housing Element obligations, the DZC has remained largely unchanged. Physically, since adoption, only one new standalone structure has been constructed under the DZC regulations at 536 East Perkins Street. Adaptive reuse activity has been limited as well, though recent projects have begun to increase momentum. Notable recent examples include TCW's adaptive reuse of the warehouse structure at 401 South State Street, which replaced the former Hospice Thrift Shop, and Redwood Credit Union's reuse of the former Savings Bank of Mendocino County Pear Tree branch at 414 East Perkins. Based on available information, new development has not occurred at a scale or intensity that reflects the expectations set during the original charrette during development of the Downtown Zoning Code or within the code's associated environmental review.

Attachment 3 identifies the DZC's three zoning districts: Urban Center, Downtown Core, and General Urban. The DZC spans 191 parcels across roughly 71 acres within the downtown area and the Perkins Street corridor. Boundary decisions were a recurring point of discussion throughout code development at the time. Ultimately, the zoning district allocation below was adopted for the DZC area:

Urban Center (UC): The Urban Center is the largest district with 107 parcels and about 48.62 acres, or nearly 68 percent of the total area.

General Urban (GU): The General Urban district contains 45 parcels totaling approximately 14.67 acres, or about 21 percent of the DZC.

Downtown Core (DC): The Downtown Core includes 37 parcels and roughly 5.21 acres, or about 7 percent of the total area.

A small number of miscellaneous commercial parcels remain outside these districts because of mapping errors or ownership issues tied to the North Coast Rail Authority right-of-way, which was not resolved until the City Council's final adoption in 2012. In general, the Urban Center (UC) zoning designation shows the widest variation, especially along Perkins Street, where the DZC was applied to parcels with very different sizes, frontages and shapes. In some cases the UC district was drawn across existing lots such as the Pear Tree Center, splitting larger commercial properties. This created boundaries that did not match actual parcel conditions or existing improvements, making it difficult to apply uniform zoning standards and contributing to many of the implementation problems of the past 13 years.

Attachment 4 shows early concepts for a more comprehensive corridor layout and street network that would have better supported the SMART-based planning principles behind the original 2009 DZC effort. While the concept did not advance in full, it highlights the core challenge the DZC attempted to address, which was to create a walkable environment within an area dominated by auto-centric properties. Some elements, such as the Clay Street extension, were incorporated into the DZC, but the cost of other proposed extensions was shifted to private development. Without the corresponding infrastructure, the DZC applied a single zoning framework to areas with major differences in parcel structure, ownership patterns, and urban form, but without the needed street/infrastructure build-out to make the district function as intended.

While the DZC has been effective in guiding notable public improvements, including Streetscape Phase 1 and Phase 2, the Urban Core Rehabilitation and Transportation Project, new Courthouse infrastructure, as well as coordinated street trees, it has not produced the anticipated level of private development or adaptive reuse of existing structures. Limited inquiries and subsequent permit applications suggest that, in practice, the code may be constraining reinvestment along the Perkins Street corridor and failing to offer a clear, predictable path for reuse within the downtown core.

Several components intended to create usability and predictability within the DZC have instead generated confusion and procedural delays. It is apparent that parcels within the DZC area vary widely in width, depth,

frontage, and access. Many standard tables and diagrams do not align with on-the-ground parcel conditions or existing structures, which forces applicants into exceptions or project-specific interpretation almost immediately. Given the numerous irregular parcels, use restrictions, and development patterns, it is unclear whether any project could be constructed without necessitating a minor or major exception and multiple public hearings. The layering of private development standards, visual requirements, footnotes, and form-based terminology has created a regulatory environment that is difficult for applicants, hearing bodies, and staff to navigate.

In summary, staff conveyed to the DZC Ad Hoc that several factors have contributed to the DZC's limited effectiveness:

- Lack of consistent design standards across the district and limited visual guidance for existing structures. The need for frequent exceptions and discretionary review.
- Misapplication of form-based standards along an auto-oriented corridor without corresponding infrastructure or subdivision policies.
- Dual regulatory burden where form-based regulations for irregular parcels are combined with conditional use permits, resulting in permits that are difficult to process without numerous exceptions.
- Loss of redevelopment funding, shifting tools for site assembly, infrastructure upgrades, and financing to private entities.

As part of the City's 2040 General Plan, the City adopted Policy LU 3, which focuses on improving and enhancing the appearance and overall vibrancy of Downtown Ukiah. The policy is supported by a set of action items and implementation programs designed to guide and facilitate efforts that create a high-quality environment for residents, businesses, and visitors. The efforts of the Downtown Zoning Code Ad Hoc Committee align with this policy effort and direction to implement the 2040 General Plan.

Discussion: A central tension within the DZC is the need to protect the established downtown character along State Street while also enabling new investment on larger underutilized parcels, particularly along Perkins Street. As noted by the DZC Ad Hoc Committee, a necessary first step is to clarify where form-based standards are appropriate and where they are not. This would allow staff, decision makers, and the public to evaluate each geographic area on its own terms and determine which regulatory tools or enhancements best support development in each respective area.

The Ad Hoc's recommendation expands the DZC in locations where form-based controls already align with the built environment. These include the adjacent Oak Street and Seminary Avenue corridors, which share the traditional block structure, parcel scale, and frontage conditions. In contrast, parcels along Perkins Street diverge from this pattern. They are larger, more irregular, and shaped by auto-oriented development. For these reasons, the Ad Hoc advised rezoning the Perkins corridor into a more flexible existing district, such as Community Commercial (C-1). The C-1 district now supports many outcomes sought in prior DZC reform efforts, including allowances for mixed-use development and a wider range of residential opportunities through objective design and development standards for multi-family and mixed-use projects. Rezoning would also return many Perkins Street parcels to their pre-downtown zoning code designation.

The Gobbi Street corridor illustrates how this zoning district can support new investment. Recent mixed-use residential projects demonstrate that the C-1 district can accommodate housing, neighborhood-serving commercial uses, and transitions between different parcel sizes without relying on rigid form-based prescriptions. The C-1 framework also provides clearer pathways for regulating formula businesses subject to UCC section 9224.9 Restaurant – Formula Fast Food and other drive-through restrictions that the DZC struggles to address consistently.

DZC Ad Hoc Recommendations

Commence a rezone process. As shown in Attachment 5, initial efforts should focus on placing each area into zoning districts that better reflect existing improvements, planned development, parcel size, and contextual

uses.

- Rezone the area east of Main Street as C-1, C-2, or its intended civic use, consistent with Attachment 5.
- Refine zoning districts to reflect recent and planned public infrastructure investments, including the new courthouse, the GRT Depot, and extensions of Hospital/Courthouse Drive and Clay Street.
- Extend the DZC to areas along Oak Street and Seminary Avenue.

Under this approach, new development along Perkins Street could be reviewed using objective design standards for mixed-use construction, similar to recent projects on Gobbi Street, Cleveland Lane and Cooper Lane. This allows parcel adjustments or consolidation to occur under a more adaptable zoning framework that accommodates varied parcel configurations without imposing a singular architectural form. Commercial development would remain subject to the Site Development process to ensure that incremental improvements continue to support walkability and mixed-use goals where appropriate.

A consistent point raised throughout Ad Hoc discussions was sequencing. The first step recommended is to complete the proposed rezoning. This aligns zoning districts with parcel scale, existing conditions, and development patterns while resolving the longstanding mismatch between the form-based DZC and the more auto-oriented parcels along Perkins Street. Many parcels identified for rezoning would return to the designations they held prior to the DZC's initial adoption.

The second phase and recommendation involves reworking the DZC itself. This effort should occur in parallel with Housing Element updates and historic preservation reform efforts. Coordinating these processes will support the development of downtown-specific regulations that emphasize adaptive reuse, infill, and flexibility for existing structures. Deferring regulatory revisions also gives the City an opportunity to incorporate ongoing discussions regarding the County Courthouse site and major rehabilitation efforts such as the Palace Hotel.

Proposed Timeline

- December 10, 2025: Present proposal to the Planning Commission and commence initial study and environmental review.
- January 2026: Initiate General Plan Amendment and Rezone actions with Mendocino County Airport Land Use Commission (ALUC), the Planning Commission, and the City Council.
- Ongoing: Integrate historic resource updates and clarify processes and protections within the DZC.
- Housing Element: Amend the DZC to support housing and adaptive reuse objectives, using targeted updates to strengthen Housing Element review related to objective design standards, as well as adaptive reuse.

Recommended Action: Staff recommends that the Planning Commission receive, discuss, and provide initial feedback to staff on the recommendations from the Downtown Zoning Code Ad Hoc Committee for updating the Downtown Zoning Code in accordance with Ukiah 2040 General Plan policy LU-3.

Welcome to ...

The Downtown Zoning Code

April 6, 2011

Introduction Overview

- ❑ Why was the Downtown Zoning Code Undertaken?
- ❑ Who was involved in preparing the Code?
- ❑ What was the process to prepare the Code?
- ❑ Where will the Code apply?
- ❑ What is the foundation of the Code?
- ❑ What is included in the Code?

Walgreen's Project



Walgreen's

- Site Planning
- Building Design
- Tree Preservation
- Process
- Uncertainty



Preparing the Code – The People

- Fisher and Hall SMART Code Consultants***
- Property owners***
- Business owners***
- Community, public***
- City Council***
- Planning Commission***
- Design Review Board***
- Staff***
- Regulatory agencies***

Preparing the Code – The Process

- ❑ **Charrette**

 - Visual preference survey**

 - Community Survey**

 - Design studio**

- ❑ **Public comment on first draft**

 - Issues and concerns**

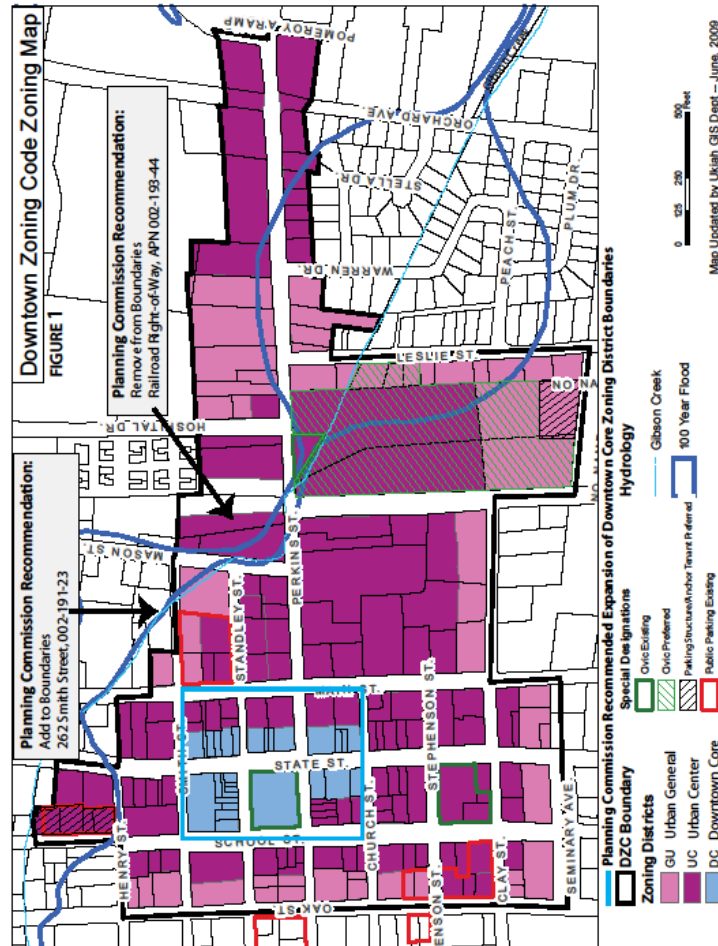
- ❑ **Staff revised draft**

 - Based on previous experience with Form-based codes in a developed City**

- ❑ **Planning Commission workshops**

- ❑ **City Council review**

Preparing the Code – The Place



Preparing the Code – The Foundation

Implement

Vision
Purpose

Resolve

Issues
Concerns

Create

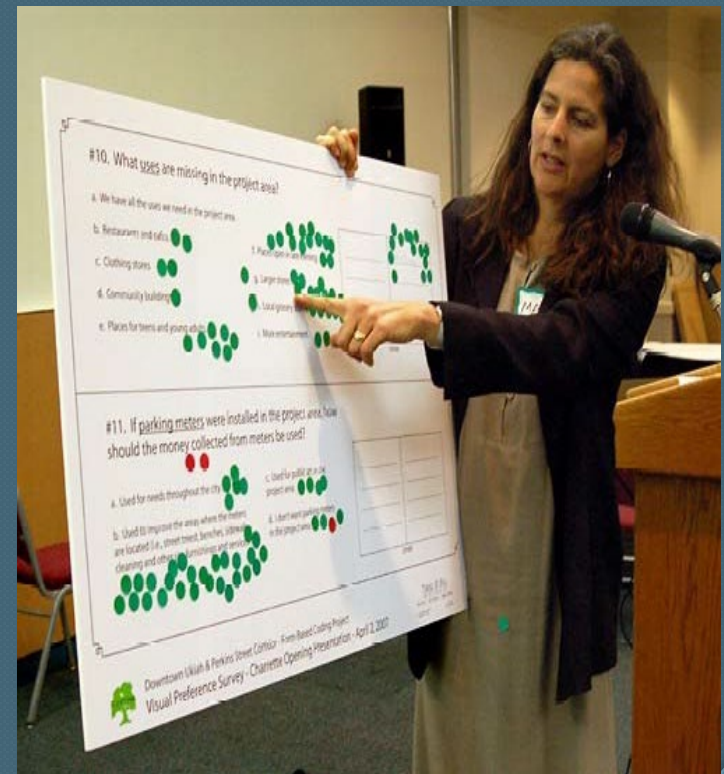
Usability
Certainty
Flexibility
Customization

Design Charrette



Visual Preference Survey

- Vibrant downtown
- Mixed use development
- Better walkability/ more pedestrian friendly
- More small stores and shops
- Storefronts close to the street
- Retain mix classic small town charm
- Allow a mix of architectural designs
- 3-4 stories or fewer



Visual Preference Survey Cont'd

- Expand feel of School Street to other street
- Façade and property improvements
- More street trees, landscaping, and green space
- Consolidated parking, easy to locate, visually obscured
- Sustainability - energy smart buildings, solar, rain catchment,

The Vision - State Street



Code Vision & Purpose

- ❑ Create a healthy, safe, diverse, compact walkable urban environment
- ❑ Allow a wide range of commercial and residential uses that result in a vibrant downtown
- ❑ Provide a scale and character of development that emulates the best elements of Ukiah and Ukiah's heritage ...
- ❑ Provide a circulation system that accommodates all modes of transportation ...
- ❑ Promote a sustainable community ...

First Draft Code Issues and Concerns

- Circulation
- Format and usability
- Non-conforming uses and structures
- Private property designations for civic uses, parking, circulation
- Relief from standards
- Review process
- Street trees and landscaping
- Other regulatory considerations - flood plain, airport, air quality, storm water

The Beginning- Workshop Walkabout

civic spaces



street trees



interesting, vibrant
shopfronts



walkable streets



Planning Commission Workshops



A Special Thank You – Don Larsen

workshops

walk-about

charrette



Framework for Workshop Review

- Visual Preference Survey
- Design Charrette
- Purpose Statements
- Customization
- Usability & Format
- Flexibility
- Certainty
- Process
- Resolve Issues & Concerns

Customization

Existing Built Environment

- Recognizes existing buildings & developed sites
- Circulation is based on the existing circulation pattern, opportunities for development, and the vision for small blocks, walkability, urban scale

Existing Uses

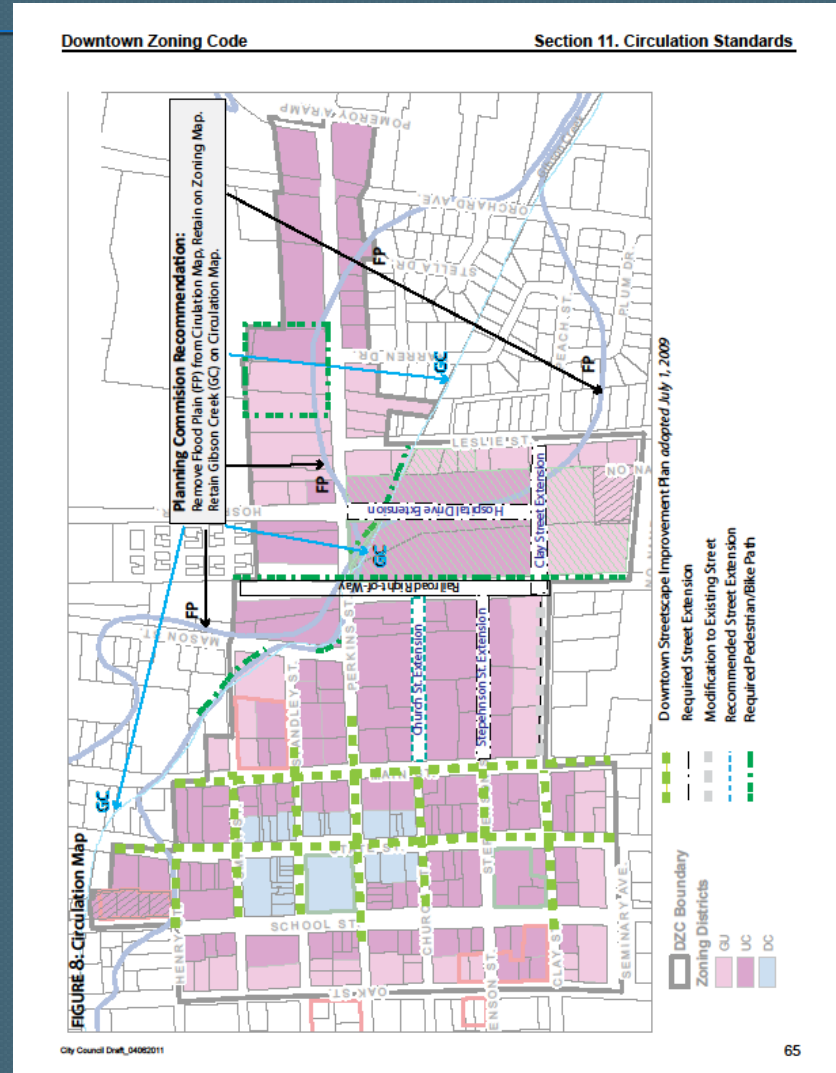
- Includes a process for uses that may become non-conforming

Design Preferences

- Creating Design Guidelines to reflect the best of Ukiah and the outcome of the charrette & visual preference survey

Customization - Circulation Map

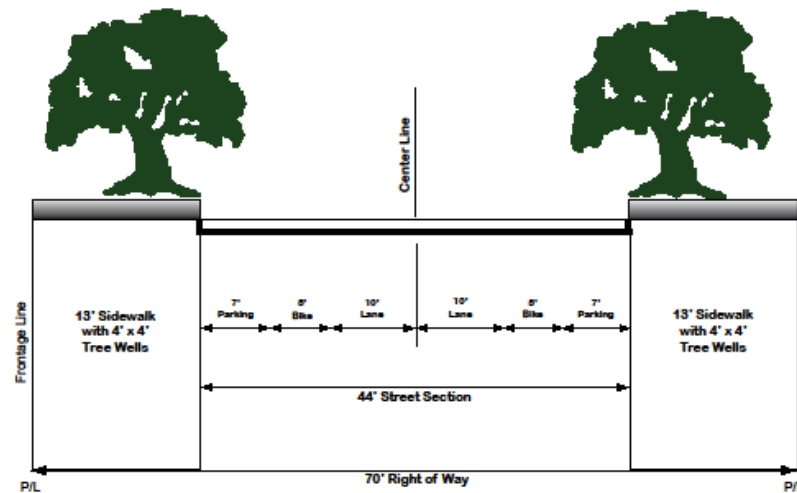
- ❑ Existing streets
- ❑ Street extensions
- ❑ Pedestrian/bike path
- ❑ Gibson Creek
- ❑ Downtown Streetscape Improvement Plan



Customized Illustrations

Provide improved clarity & understanding

Figure 11: Commercial Street with Parallel Parking and Bike Lanes



Thoroughfare Type	Commercial Street
Movement	Slow Movement
Speed	25 mph
Traffic Flow	Two Ways
Bike Lanes	5-foot Bike Lane on both sides
Curb Radius	15 feet, less at Bulb Outs
Sidewalk Width	13 foot Sidewalk
Planter Type	4-foot x 4-foot Tree Well
Street Trees	30-feet on Center Average

Customized Tables

include standards for
existing buildings and
developed sites

Table 6: Standards for Principal Buildings				
STANDARDS (1) (2)	GENERAL URBAN GU	URBAN CENTER UC	DOWNTOWN CORE DC	MODIFICATION TO STANDARD (3)
BUILDING SITING (SETBACKS)				
Front	0 ft. minimum 10 ft. maximum	0 ft. maximum	0 ft. maximum	Major Exception
Front with sidewalk cafe/ shopfront	12 ft. maximum	12 ft. maximum	12 ft. maximum	Major Exception
Side	0 ft. minimum 10 ft. maximum	0 ft. minimum 10 ft. maximum	0 ft. minimum 6 ft. maximum	Major Exception
Rear	6 ft. minimum	6 ft. minimum	6 ft. minimum	Major Exception
Rear - corner lot no alley (4)	6 ft. maximum	6 ft. maximum	6 ft. maximum	Major Exception
Rear - with alley (5)	14 ft. from center line	14 ft. from center line	14 ft. from center line	Major Exception
FRONTAGE BUILDOUT				
Courtyard building (6)	70% minimum	70% minimum	80% minimum	Major Exception
Rear yard building (6)	60% minimum	70% minimum	80% minimum	Major Exception
Side yard building (6)	40% minimum	40% minimum	Prohibited Building Type	Major Exception
COURTYARD BUILDING				
Minimum area of courtyard	15% of total lot area			Major Exception
Minimum dimensions of courtyard	40 ft. when long axis of courtyard is oriented east-west 30 ft. when long axis of the courtyard is oriented north-south			Minor Exception
FRONTAGE TYPE (See Table 8)				
Terrace/Light Court	Allowed	Allowed	Prohibited	Major Exception
Forecourt	Allowed	Allowed	Allowed	Major Exception
Stoop	Allowed	Allowed	Allowed	Major Exception
Shopfront/Awning	Allowed (7)	Allowed (7)	Allowed (7)	Major Exception
Gallery	Allowed (7)	Allowed (7)	Allowed (7)	Major Exception
Arcade	Prohibited	Allowed (7)	Allowed (7)	Major Exception
Other	Prohibited	Prohibited	Prohibited	Major Exception
BUILDING HEIGHT (8) (9) Subject to Airport Zone Restrictions				
New building	2 stories minimum 2 stories maximum	2 stories minimum 3 stories maximum	3 stories minimum 4 stories maximum	Major Exception
NUMBER OF BUILDINGS				
Principal building	1	1	1	Minor Exception
Accessory building	1	1	Prohibited	Minor Exception
EXISTING BUILDING				
Setbacks	Additions not exceeding 1,000 square feet of gross floor area or 50% of the of the gross floor area of the existing building whichever is less may continue the setbacks of the existing building.			Major Exception
Height	Additions not exceeding 1,000 square feet of gross floor area or 50% of the of the gross floor area of the existing building whichever is less may continue the existing building height. Building height is also subject to Airport Zone restrictions.			Major Exception
Frontage type	Exterior modifications (including additions) to buildings with non-conforming frontage types that will affect the building Frontage shall utilize an allowed Frontage Type as required above.			Major Exception
1. Encroachment into the public right-of-way requires approval of an encroachment permit from the Public Works Department. 2. See Section 13: Glossary for an explanation of terms. 3. See Section 12: Administration and Procedures. 4. Corner lots have two frontages, one rear and one side. The rear and side shall be determined as part of the project review process. 5. Rear alleys shall not provide the primary or only access to any lot or building. All access shall comply with all fire and emergency access requirements. 6. See Table 5: Building Types for additional information and examples of each building type. 7. See Figure 9: Special Designations Map for locations of "Required Storefront Frontages." 8. Building heights may be superseded by the Mendocino County Airport Comprehensive Land Use Plan height restrictions. 9. See Figures 2A and 2B: Building Height.				

Usability

- ❑ Table format
- ❑ Defined uses and terms
- ❑ Illustrations
- ❑ References to relevant City Code sections
- ❑ Footnotes for additional information and considerations

Customized Use Tables

Complete list of uses
 Comparison of the use in
 each zoning district
 References to other
 relevant Code sections
 Foot notes for additional
 information

Downtown Zoning Code

Section 4. Building and Site Uses

Table 3: Allowed Uses and Permit Requirements				
Use Categories and Specific Uses (1)	General Urban GU	Urban Center UC	Downtown Core DC	Additional Zoning Requirements by Code Section
A Use Allowed by Right				
AC Use Allowed Accessory to a Principal Use				
MIUP Use Allowed with a Minor Use Permit				
MAUP Use Allowed with a Major Use Permit				
- Use Prohibited				
RETAIL (2)				
Adult cabaret	-	-	-	
Adult entertainment business	MAUP	MAUP	MAUP	UCC §9176(D)
Alcoholic beverage sales	-	-	-	
Artisan shop	A(3)(4)	A(3)(4)	A(3)(4)	
Bar, cocktail lounge, night club	-	MAUP	MAUP	
Farmers market - certified	A	A	A	
Fueling, gas station	-	MAUP	-	
Furniture, furnishings, and appliance stores	-	A(3)	A(3)	
General retail	A(4)	A(4)	A(4)	
Grocery/specialty food store	A(4)	A(4)	A(4)	
Mobile Food Vendor	MIUP	MIUP	MIUP	
Mobile Food Vendor - Stationary	MIUP	MIUP	MAUP	
Outdoor sales establishment	MIUP	MIUP	MIUP	UCC §9184
Restaurant, cafe, coffeehouse	A(4)	A(4)	A(4)	
Restaurant - formula fast food	-	-	-	
Restaurant - outdoor dining	MIUP(8)	MIUP(8)	MIUP(8)	
Second hand store, thrift store	MIUP	MAUP	MAUP	
Shopping center	-	MAUP	-	
Smoke shop	-	-	-	
Tasting room	MAUP	MAUP	MAUP	Section 5.100
SERVICES - BUSINESS, FINANCIAL, PROFESSIONAL (2)				
Administrative services	A(3)	A(3)	A(3)	
Business services	MIUP	MIUP	-	
Community care facility - 6 or fewer clients	A(3)(4)	A(3)(4)	-	
Community care facility - 7 to 12 clients	A(3)(4)	A(3)(4)	-	
Convalescent services, rest home, residential medical facility	MAUP	MAUP	-	
Financial services	A(3)	A(3)	A(3)	
Medical services - clinic, urgent care	MAUP	A(3)	A(5)	
Medical services - major	-	MIUP	MIUP	
Office - business service	A(3)	A(3)	A(3)	
Office - government	A(3)	A(3)	A(3)	
Office - medical, dental	A(3)	A(3)	A(3)	
Office - processing	A(3)	A(3)	A(3)	
Office - professional	A(3)	A(3)	A(3)	
Veterinary office or services - small animal	A(5)	A(5)	A(5)	
1. A business license may be required. Contact the City of Ukiah Administrative Office to determine if a business license is required. 2. Site Development Permit may be required (see Section 12: Administration and Procedures). 3. A Minor Use Permit is required to exceed 5,000 gross square feet of floor area or 100 lineal feet on the ground floor (street level) frontage when a Storefront frontage type is required by Figure 9: Special Designations Map. 4. A Major Use Permit is required to exceed 15,000 gross square feet of floor area on the ground floor (street level). 5. A Major Use Permit is required to exceed 5,000 gross square feet or 100 lineal feet on the ground floor (street level). 6. Allowed accessory to a residential use. 7. Allowed accessory to a single-family residence. 8. Allowed accessory to an allowed or permitted restaurant use. 9. Allowed on floors above the ground floor or behind a ground floor use. A Major Use Permit is required to allow on the street frontage of the ground floor. 10. Allowed accessory to a principal building and subject to the requirements of Table 7: Standards for Accessory Buildings. 11. Allowed accessory to a principal use and consistent with the requirements of Table 9: Development Standards for All Land Uses.				

Certainty

- ❑ Clear standards for development
- ❑ Provide certainty to property owners, developers, decision makers, the community and staff
- ❑ Removes uncertainty of current zoning requirements
- ❑ Replaces existing Design Guidelines which are “suggestions” rather than requirements

SMART Code

Frontage Type Table provides illustration and description Implements the vision of the Visual Preference Survey and Charrette

6.060: Private Frontage Types. Table 8: Private Frontage Types illustrates the various frontage types allowed by this Code. The specific frontage types allowed is determined by Table 6: Principal Building Standards and based on the zoning of the parcel.

Table 8: Private Frontage Types

	SECTION		PLAN		ZONE
	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	
<p>a. Terrace or Light Court: The facade is set back from the frontage line by an elevated terrace or a sunken light court. This type buffers residential use from urban sidewalks and removes the private yard from public encroachment. The terrace is suitable for conversion to outdoor cafes.</p>					GU UC
<p>b. Forecourt: A portion of the facade is close to the frontage line and the central portion is set back. The forecourt created is suitable for vehicular drop-offs. This type should be allocated in conjunction with other frontage types. Large trees within the forecourts may overhang the sidewalks.</p>					GU UC DC
<p>c. Stoop: The facade is aligned close to the frontage line with the first story elevated from the sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor residential use.</p>					GU UC DC
<p>d. Shopfront and Awning: The facade is aligned close to the frontage line with the building entrance at sidewalk grade. This type is conventional for retail use. It has a substantial glazing on the sidewalk level and an awning that may overlap the sidewalk to the maximum extent possible to within 2 feet of the curb.</p>					GU UC DC
<p>e. Gallery: The facade is aligned close to the frontage line with an attached cantilevered shed or a lightweight colonnade overlapping the sidewalk. This type is conventional for retail use. The gallery shall be no less than 10 feet wide and may overlap the whole width of the sidewalk to within 2 feet of the curb.</p>					GU UC DC
<p>f. Arcade: The facade is a colonnade that overlaps the sidewalk, while the facade at sidewalk level remains at the frontage line. This type is conventional for retail use. The arcade shall be no less than 12 feet wide and may overlap the whole width of the sidewalk to within 2 feet of the curb.</p>					UC DC

Customized Tables

Architectural Standards table includes standards for existing buildings and developed sites
Includes references to Frontage Type Table

Section 7: Architectural Standards

Table 11: Frontage Type and Storefront Standards

STANDARDS (1) (2)	GENERAL URBAN GU	URBAN CENTER UC	DOWNTOWN CORE DC	MODIFICATION TO STANDARD (3)
FACADE ORIENTATION				
Relationship to Frontage Line	Parallel to Principal Frontage Line(s)	Parallel to Principal Frontage Line(s) for 70% of its length	Parallel to Principal Frontage Line(s) for 80% of its length	Minor Exception
Location of Principal Pedestrian Entrance	On the Frontage Line (4)	On the Frontage Line (4)	On the Frontage Line (4)	Major Exception
Corner Treatment	Ground floor located behind the sidewalk shall wrap the corner in circular, chamfered, or similar manner. Turrets are encouraged for corner buildings.			Major Exception
Existing Building (5)	Exterior modifications and additions to existing buildings with non-conforming facade orientation shall utilize an allowed frontage type as required by Table 6: Standards for Principal Buildings.			Major Exception
STOREFRONT FRONTAGES (6) - GROUND LEVEL				
Entrance - Corner Building	Primary entry facing the corner. Additional (secondary entries) may be located along the frontage lines.			Major Exception
Entrance - Height	Flush with sidewalk grade except as required for compliance with Flood Plain Management requirements (Ukiah City Code, Chapter 6)			Minor Exception
Expression Lines (2)	Required for Mixed-use buildings			Minor Exception
Facade Width	In order to break up wide buildings and to make them appear as individual smaller buildings, the maximum width of a single facade style shall be 75 feet. <i>See Design Appendix</i>			Minor Exception
Floor Height - Minimum	12-foot clear measured from the surface of the floor to bottom of the ceiling. Story height shall not exceed 14 feet.			Minor Exception
Door Spacing on Frontage(s) (7)	Operable front doors spaced a maximum of 30 feet apart along the block face. (8)			Minor Exception
Glazing	Clear glass over a minimum of 70% of the ground level facade(s). Prohibited: opaque or mirrored glazing			Minor Exception
AWNINGS, GALLERIES, AND ARCADES				
Materials	Metal, cloth, wood Prohibited: Acrylic (hard)			Minor Exception
Functionality	When located on the south or west elevation, located to provide shading of the interior of the building.			Minor Exception
Existing Awning	An existing frame that does not comply with the functionality requirement may be recovered. Materials shall comply with the materials noted above.			Minor Exception
ENCROACHMENTS				
Arcade, Awning, Gallery	Allowed to occupy all or part of the required setback (9)			None (10)
Balcony, French Balcony	Allowed to occupy all or part of the required setback (9)			None (10)
Bay Window	Allowed to occupy all or part of the required setback (9)			None (10)
Sloop	Allowed to occupy all or part of the required setback			None (10)
<p>1. Encroachment into the public right-of-way requires approval of an encroachment permit from the Public Works Department. 2. See Section 13: Glossary for an explanation of terms. 3. See Section 12: Administration and Procedures. 4. On corner lots, orientation of the principal pedestrian entrance shall be to the corner. 5. Existing buildings with non-conforming frontage types may retain the existing facade when making interior modifications that do not affect the exterior of the building. 6. Refer to Figure 9: Special Designations Map for locations of "Required" and "Recommended" Storefront Frontages. 7. Where Shopfront Frontage is required by Figure 9: Special Designations Map. 8. Doors shall be installed as required. All doors are not required to be operable. Compliance with the location of the primary entrance for corner building is required and this door shall be operable. 9. Encroachment into the public right-of-way may be allowed with approval of the review authority and the Public Works Department. 10. An exception is not required in order to encroach into the setback. Approval of the Planning Department, Public Works Department, and Electric Department is required.</p>				

Flexibility

- ❑ Code allows a deviation from the standard
- ❑ Process is called an Exception (from the standard)
- ❑ An Exception requires an application, public notice, public hearing, and findings of fact
- ❑ An Exception requires additional review since the deviation from the standard may not be consistent with the purpose and vision of the Code

Exception Process Table

Table 29: Exception Procedures (1)		
Permit Type	Minor Exception	Major Exception
Type	Two (2) or fewer minor exceptions As allowed by Tables 4, 6, 7, 9, 10, 11, 12, 13, 14, 16, 23	More than two (2) minor exceptions As allowed by Tables 4, 6, 7, 9, 10, 11, 12, 13, 14, 16, 18, 19, 20, 21, 22, 24, 25 Exceptions as determined by the Zoning Administrator (6)
Application & Filing Submittal Requirements (2)	Planning Permit Application Form Application Fees Detailed plot plan of the subject property and surrounding land uses Elevation drawings Other information deemed necessary by the Planning Director	Planning Permit Application Form Application Fees Detailed plot plan of the subject property and surrounding land uses Elevation drawings Other information deemed necessary by the Planning Director
Approval Authority (3)	Zoning Administrator (5)	Planning Commission
Public Notice	As prescribed by UCC Section 9264(B)	As prescribed by UCC Section 9264(B)
Findings for Grant of Permit (4)	The request is consistent with the intent of this Code and the Utah General Plan. The project is compatible with the neighborhood and design intent of this Code. The project provides appropriate connections, transitions, and relationships between buildings and the street, adjacent properties and one another. The project provides adequate and appropriate pedestrian facilities and connections. The project would not impair the desirability of investment, employment, or residence in the neighborhood. The project is not detrimental to the public's health, safety and general welfare. Special circumstances or conditions apply to the site, building, improvement or use, such as the preservation of natural resources (creek, tree preservation), providing enhanced pedestrian facilities or enhanced outdoor areas (outdoor seating, enhanced landscaped areas).	The request is consistent with the intent of this Code and the Utah General Plan. The project is compatible with the neighborhood and design intent of this Code. The project provides appropriate connections, transitions, and relationships between buildings and the street, adjacent properties and one another. The project provides adequate and appropriate pedestrian facilities and connections. The project would not impair the desirability of investment, employment, or residence in the neighborhood. The project is not detrimental to the public's health, safety and general welfare. Special circumstances or conditions apply to the site, building, improvement or use, such as the preservation of natural resources (creek, tree preservation), providing enhanced pedestrian facilities or enhanced outdoor areas (outdoor seating, enhanced landscaped areas).
Appeal	As prescribed by UCC Section 9266	As prescribed by UCC Section 9266
Effective Date	As prescribed by UCC Section 9264(F)	As prescribed by UCC Section 9264(F)
Expiration/Revocation	As prescribed by UCC Section 9264(G)	As prescribed by UCC Section 9264(G)
Renewal	As prescribed by UCC Section 9264(H)	As prescribed by UCC Section 9264(H)
California Environmental Quality Act (CEQA)	Planning Director shall determine the type of environmental review required or if the application is exempt from CEQA	Planning Director shall determine the type of environmental review required or if the application is exempt from CEQA
<ol style="list-style-type: none"> 1. Applications for multiple permits are subject to the requirements of Section 12.100: Concurrent Permits. 2. Submittal requirements for an Exception depend on the standard (building, site, architectural, tree) from which the Exception is requested. 3. Any Exception application reviewed by the Zoning Administrator or the Planning Commission may be approved, conditionally approved, or denied. 4. Approval authority has made all applicable findings based on project plans and the documentation provided as part of the application and said findings are not vague and conclusory. The findings shall be sufficiently detailed to apprise a reviewing court of the basis for the action by bridging the gap between the evidence and the decision-maker's conclusions and shall be based upon evidence contained in the administrative record. 5. If any other entitlement required for the project requires Planning Commission review and approval, then the Minor Exception will also be subject to Planning Commission review and approval as part of review of the entire project. 6. The Zoning Administrator refer any application to the Planning Commission for public hearing and decision. 		

Discretionary Review Process

- ❑ Reduced and more rapid discretionary review process when the project is consistent with all Code requirements
- ❑ Increased square footage threshold for project review
- ❑ Discretionary review required for Exceptions

Planning Commission Workshop

“Hot Topics”

- Boundaries
- Circulation
- Tree planting and landscaping
- Tree preservation
- Use tables
- Formula fast food restaurants
- Non-conforming uses

Next Steps

- ❑ **Joint City Council/Planning Commission Workshop**
schedule for April 27, 2010?
- ❑ **Design Guidelines Appendix**
being developed by the Design Review Board
- ❑ **Environmental Review (CEQA)**
being conducted by staff
- ❑ **Airport Comprehensive Land Use Plan**
will be referred to the Airport Land Use Commission as required by the Public Utilities Code

ORDINANCE NO. 1139**ORDINANCE OF THE CITY COUNCIL OF THE CITY OF UKIAH
AMENDING DIVISION 9 (PLANNING AND DEVELOPMENT,
CHAPTER 2 (ZONING) OF THE UKIAH CITY CODE BY ADDING
ARTICLE 18 ENTITLED DOWNTOWN ZONING CODE**

The City Council hereby ordains as follows.

SECTION ONE – FINDINGS AND DECLARATIONS

The City Council hereby finds and declares as follows.

1. In 2006, the City Council budgeted the appropriate funds and directed staff to prepare a form based zoning code for the Downtown and East Perkins Street areas.
2. In 2007, the City conducted a five-day public workshop charrette to solicit ideas from the public and to develop a vision for the future development and redevelopment of the Downtown and East Perkins Street areas.
3. The Planning Commission reviewed the draft form based Downtown Zoning Code through a series of public workshops from the end of 2009 through early 2011. In April of 2011, the City Planning Commission and City Council conducted a joint public workshop to review and discuss the draft form based Downtown Zoning Code. The City Council conducted a series of public workshops from May, 2011 through September, 2011 to review and discuss the Code.
4. In September, 2011, the City Council preliminarily approved the draft Zoning Code for the Downtown and East Perkins Street corridor, and directed staff to 1) prepare the required environmental document to comply with the California Environmental Quality Act; and 2) refer the draft document to the Mendocino County Airport Land Use Commission for a consistency review with the County Airports Comprehensive Land Use Plan.
5. On March 22, 2012, the Mendocino County Airport Land Use Commission reviewed the draft Downtown Zoning Code and found it consistent with the Mendocino County Comprehensive Land Use Plan provided 1) a note was added to Table 4 indicating that lot sizes are subject to airport zone restrictions; and 2) a note was added to Table 6 indicating that any buildings in the B2 airport compatibility zone proposed for more than two stories would be subject to review and approval by the Mendocino County Airport Land Use Commission. The notes have been added.
6. On June 4, 2012, City Staff completed an Initial Study of potential environmental impacts resulting from implementation of the draft Downtown Zoning Code and concluded that a Mitigated Negative Declaration was appropriate for the project. The document was sent to the State Clearinghouse for State Agency review and comment, and it was publicly noticed review and comment. At the close of the review and comment period, two written comments were received – 1) State Public Utilities Commission, who did not question the appropriateness of the Mitigated Negative Declaration or suggest language modifications or additional environmental review work; and 2) State Department of Transportation, who similarly did not question the appropriateness of the Mitigated

Negative Declaration or suggest language modifications or additional environmental review work. Responses to comments were provided to both State Agencies.

7. On August 8, 2012, the City Planning Commission conducted a public hearing to consider making formal recommendations to the City Council concerning the Mitigated Negative Declaration and ordinance amending the City Code to add the Downtown and East Perkins Street Corridor Zoning code standards.
8. On August 8, 2012, the City Planning Commission voted 2-1 to recommend City Council approval of the Mitigated Negative Declaration and adoption of the Code.
9. On September 5, 2012, the City Council conducted a public hearing and voted 3/0 to adopt the Mitigated Negative Declaration based on the findings listed in the Staff Report, and to introduce the ordinance by title only.

SECTION TWO

Article 18 entitled "DOWNTOWN ZONING CODE," is hereby added to Division 9 (Planning and Development), Chapter 2 (Zoning) of the Ukiah City Code pursuant to the attached Exhibit A.

SECTION FOUR

1. **SEVERABILITY.** If any provision of this ordinance or the application thereof to any person or circumstance is held invalid, the remainder of the ordinance and the application of such provision to other persons or circumstances shall not be affected thereby. The City Council hereby declares that it would have adopted this Ordinance and any section, subsection, sentence, clause or phrase thereof irrespective of the fact that any one or more sections, subsections, sentences, clauses or phrases be declared unconstitutional or otherwise invalid.

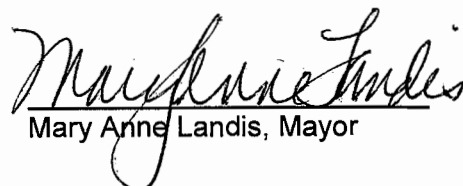
2. **EFFECTIVE DATE.** This Ordinance shall be published as required by law in a newspaper of general circulation in the City of Ukiah, and shall become effective thirty (30) days after its adoption.

Introduced by title only on September 5, 2012, by the following roll call vote:

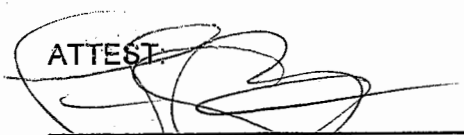
AYES: Councilmember Thomas, Rodin, and Mayor Landis
NOES: None
ABSENT: Councilmembers Baldwin, and Crane
ABSTAIN: None

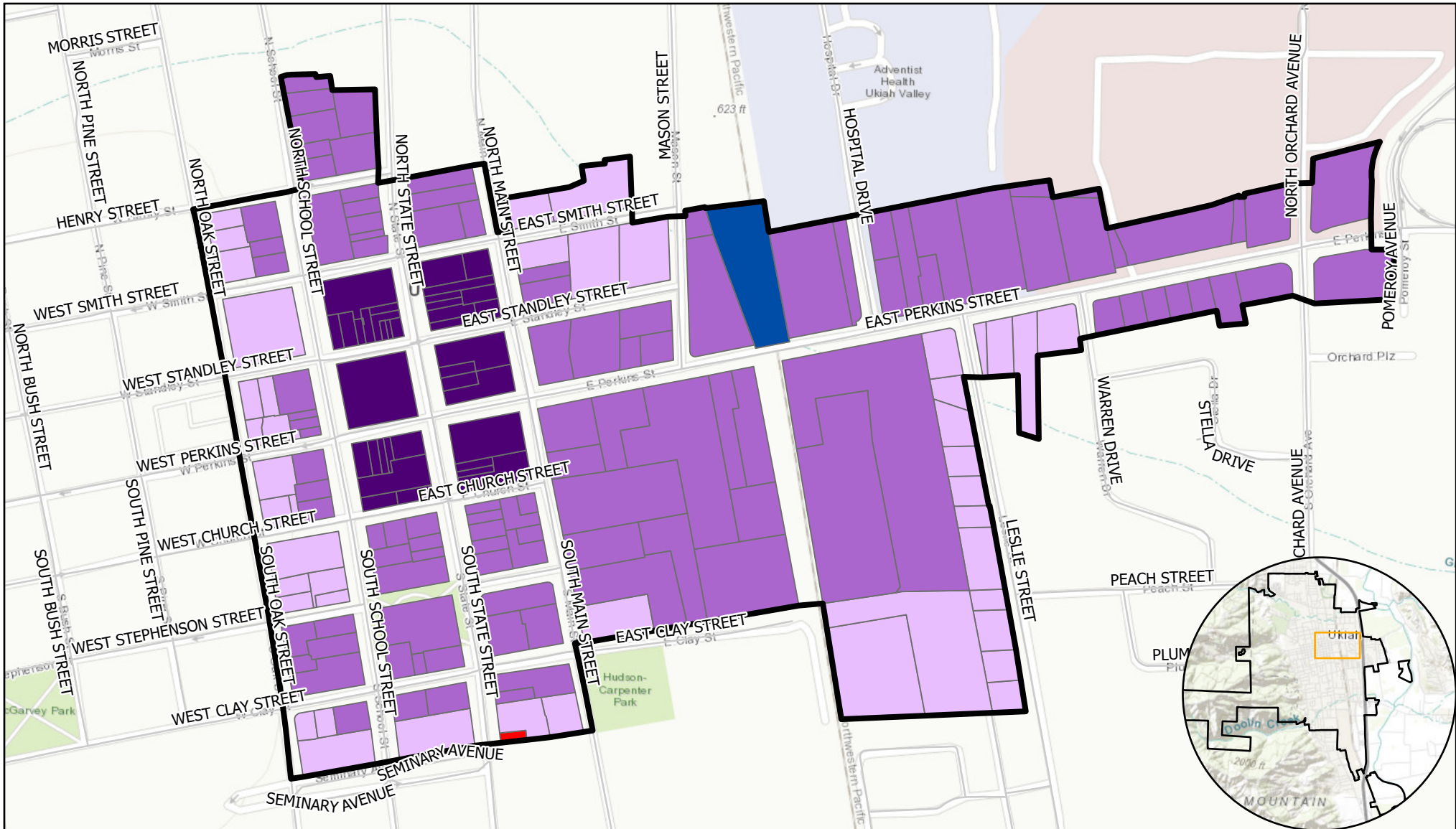
Adopted on October 3, 2012 by the following roll call vote:

AYES: Councilmember Thomas, Rodin, and Mayor Landis
NOES: None
ABSENT: Councilmember Baldwin, and Crane
ABSTAIN: None









Mary Anne Landis, Mayor

ATTEST:


Linda Brown, City Clerk



Legend

-  Roads
-  Existing DZC Boundary
-  C1 - Community Commercial
-  C2 - Heavy Commercial
-  DC - Downtown Core
-  GU - General Urban
-  UC - Urban Center

Bureau of Land Management, Esri, HERE, Garmin, USGS, NGA, EPA, USDA, NPS, Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P, USGS, EPA, USDA

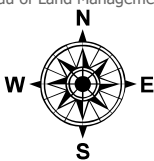
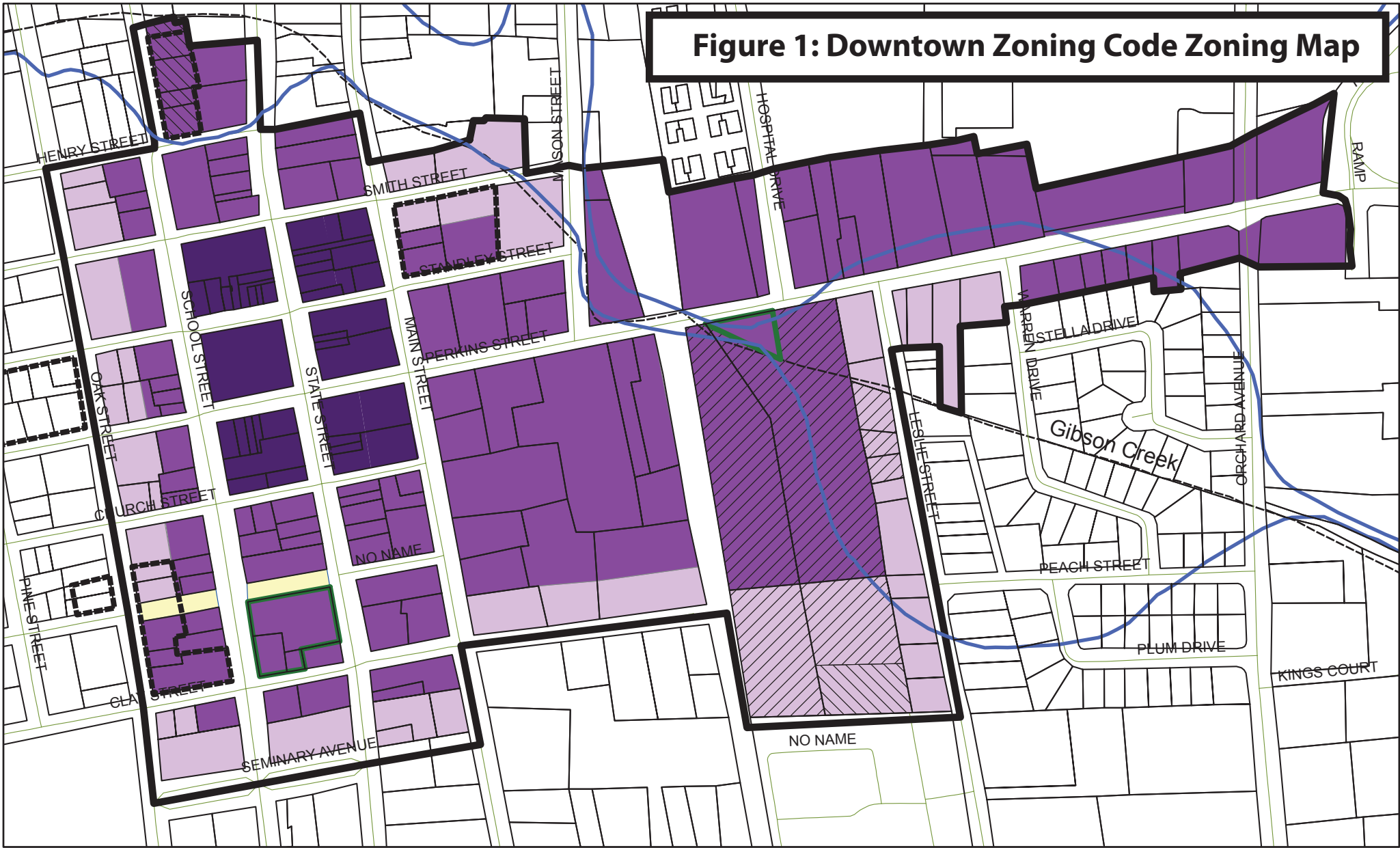


Figure 1: Downtown Zoning Code Zoning Map



DZC Boundary

Zoning Districts

- UC
- DC
- GU

Special Designations

- Public Parking Existing
- Civic Existing
- Civic Preferred
- Parking Structure Preferred
- Public Facilities

Hydrology

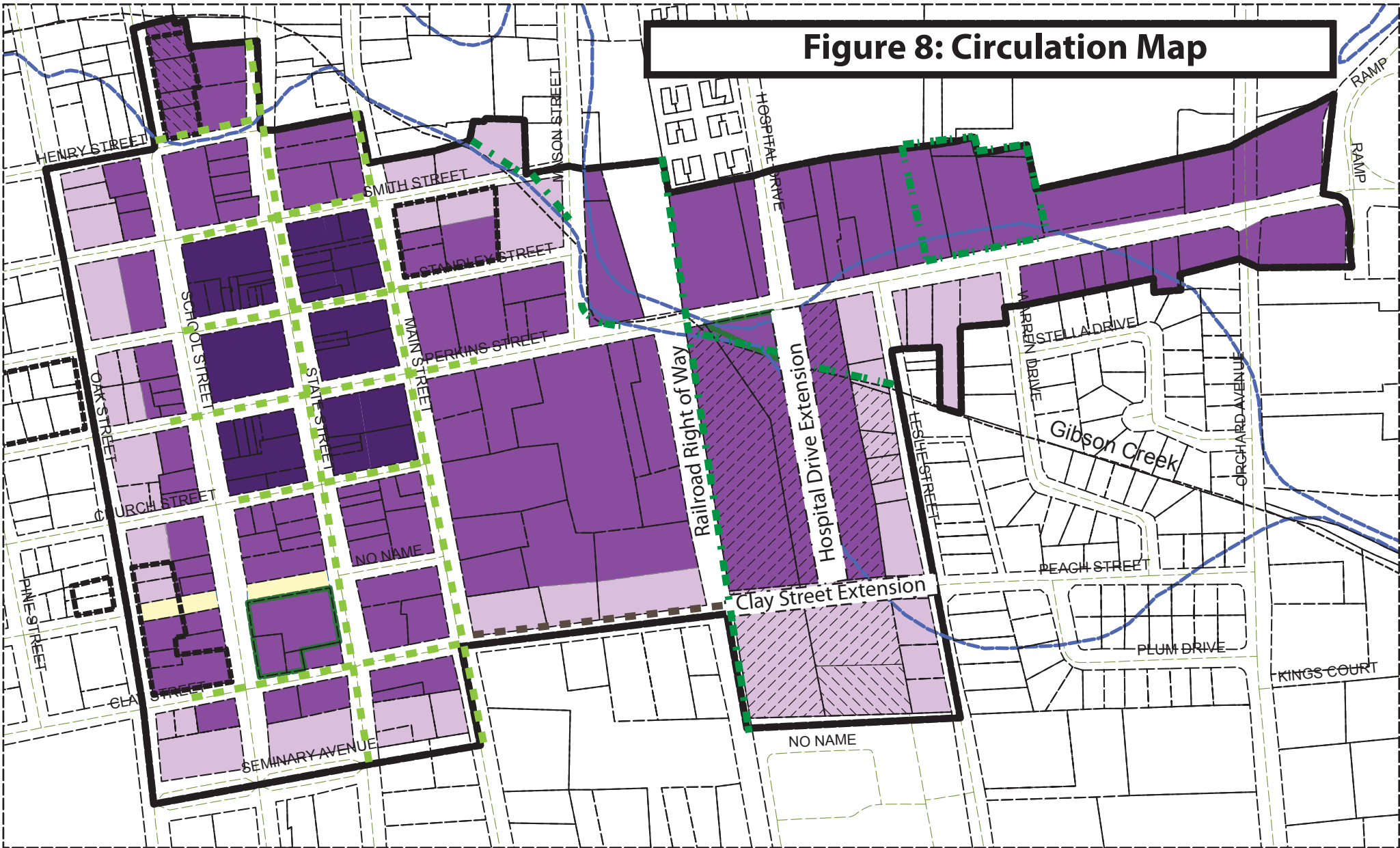
- 100 Year Flood
- Gibson Creek

0 125 250 500
 Feet



Map Updated - May, 2012

Figure 8: Circulation Map



DZC Boundary

Zoning Districts

- UC
- DC
- GU

Special Designations

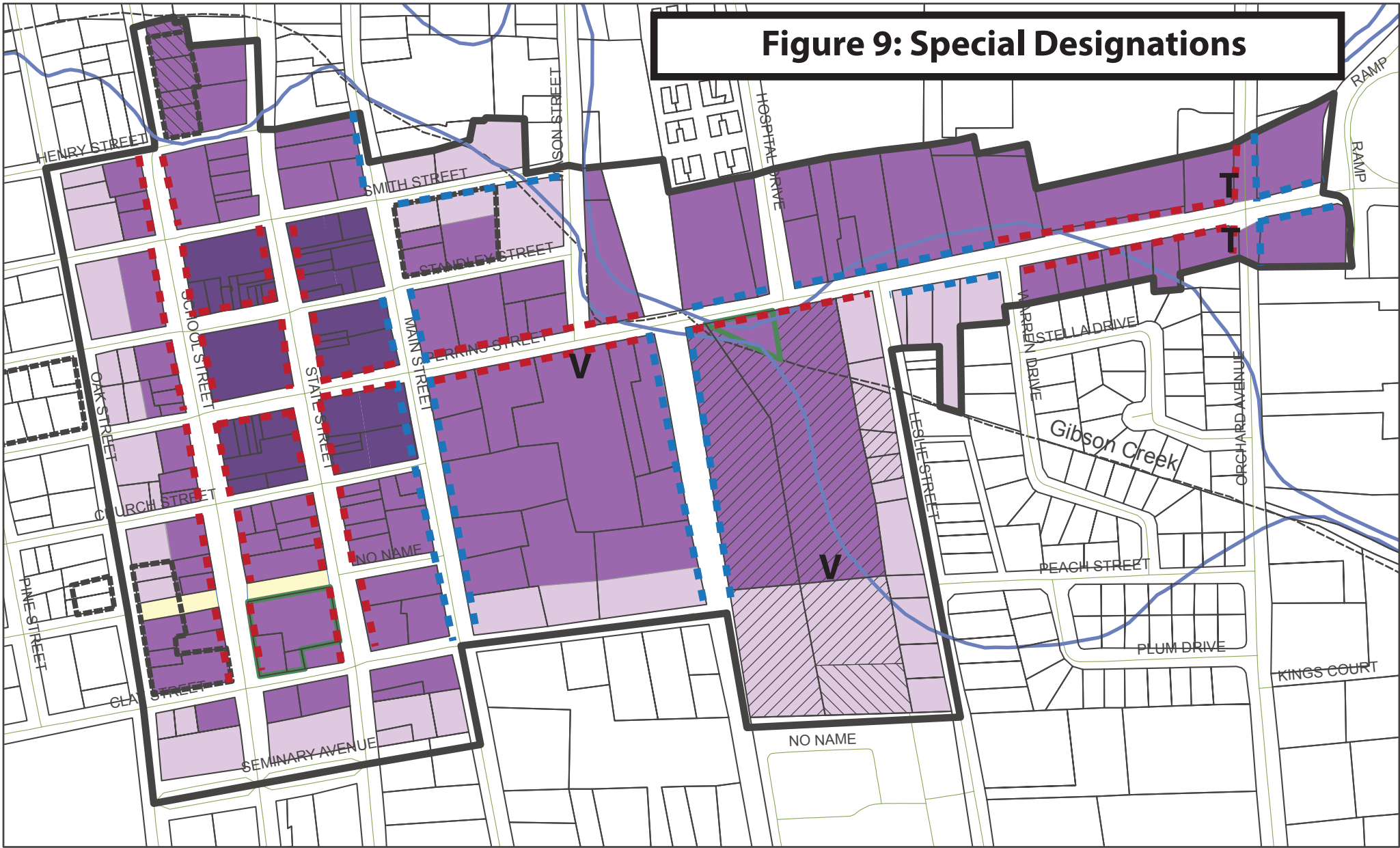
- Public Parking Existing
- Civic Existing
- Civic Preferred
- Parking Structure Preferred
- Public Facilities

Hydrology

- 100 Year Flood
- Gibson Creek

- Downtown Streetscape Improvement Plan *adopted July 1, 2009*
- Required Street Extension
- Required Pedestrian/Bike Path
- Modification to Existing Street

Figure 9: Special Designations



DZC Boundary

Zoning Districts

- UC
- DC
- GU

Special Designations

- Public Parking Existing
- Civic Existing
- Civic Preferred
- Parking Structure Preferred
- Public Facilities

Hydrology

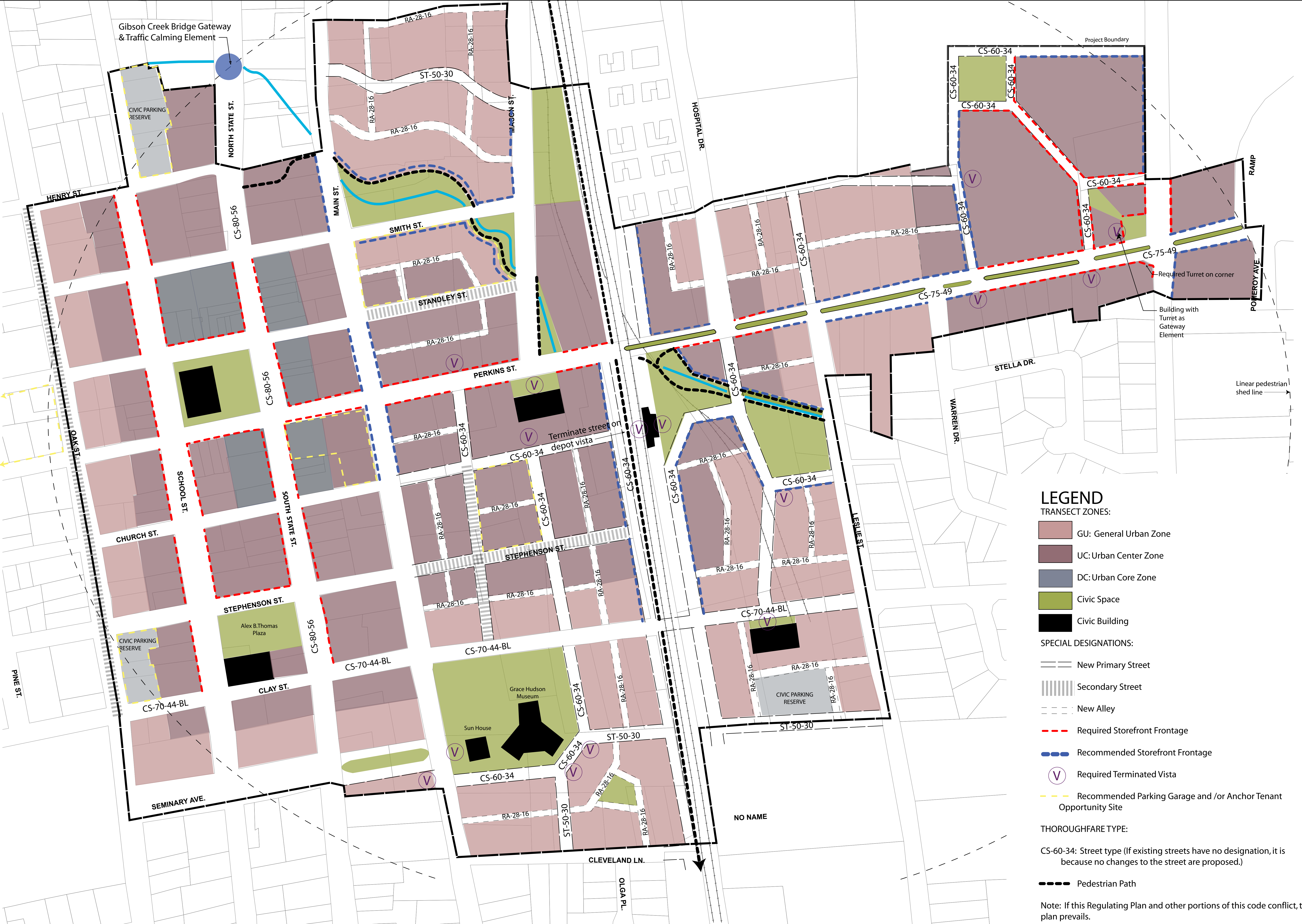
- 100 Year Flood
- Gibson Creek

- Required Storefront Frontage Type
- Recommended Storefront Frontage Type
- Required Terminated Vista
- Recommended Turret Location

APN	SITUS_ADD	OWNER	ADDRESS	CITY	STATE	ZIP	LAND VALUE ASSESSMENT	IMPROVEMENT VALUE	Zone_Class	GP_2040	Acreage	Airport Compatibility Zone
00226909	415 S STATE ST	MCKENNEY ENTERPRISES LLC	415 S STATE ST	UKIAH	CA	95482	160963	128768	C1 - Community Commercial	CC	0.046	4
00219344	NONE	NORTH COAST RAILROAD AUTHO	419 TALMAGE DR STE M	UKIAH	CA	95482	0	0	C2 - Heavy Commercial	DC	2.559	6
00222501	100 N STATE ST	COUNTY OF MENDOCINO		UNKNOWN ADDRESS			0	0	DC - Downtown Core	DC	0.846	4
00222709	NONE	JOHNSON MELISSA	937 SCHOOL WAY	REDWOOD VALLEY	CA	95470	75108	0	DC - Downtown Core	DC	0.085	4
00222707	221 N STATE ST	I O F LODGE NO 174	122 RACE ST	SAN JOSE	CA	95126	49968	90715	DC - Downtown Core	DC	0.122	4
00222904	113 S STATE ST	HOOVER CHARLES AND JUNE FANG	PO BOX 204	CLOVERDALE	CA	95425	62883	248803	DC - Downtown Core	DC	0.042	4
00222614	102 S STATE ST	SOUSA PAUL	23701 EASTSIDE RD	WILLITS	CA	95490	318362	1002841	DC - Downtown Core	DC	0.138	4
00222905	115 S STATE ST	HARRINGTON BRIDGET O	131 CALVERT CT	UKIAH	CA	95482	188877	364104	DC - Downtown Core	DC	0.276	4
00222907	111 S STATE ST	SANCHEZ JOSE MARIN TTEE /	3200 ROAD I	REDWOOD VALLEY	CA	95470	167875	105537	DC - Downtown Core	DC	0.055	4
00222403	120 W STANDLEY ST	SCHAT ZACHARY Y AND MELISSA	202 W PERKINS ST STE C	UKIAH	CA	95482	136703	421052	DC - Downtown Core	DC	0.091	4
00222405	116 W STANDLEY ST	HUGHEY BRIAN	602 A N STATE ST	UKIAH	CA	95482	116727	101755	DC - Downtown Core	DC	0.037	4
00222714	115 E SMITH ST	MMUNITY FOUNDATION FO MENDOCINO CO	204 S OAK ST	UKIAH	CA	95482	38089	67758	DC - Downtown Core	DC	0.131	4
00222710	NONE	EDGELINE INVESTMENTS LLC	520 FRANZ VALLEY RD	CALISTOGA	CA	94515	54323	0	DC - Downtown Core	DC	0.095	4
00222608	116 S STATE ST	TRIPPEER GARY	PO BOX 1234	PALM DESERT	CA	92261	265302	384687	DC - Downtown Core	DC	0.086	4
00222607	199 S SCHOOL ST	LINCOLN AND NORTH LLC	5059 DEERWOOD DR	SANTA ROSA	CA	95403	171240	839146	DC - Downtown Core	DC	0.088	4
00222613	109 W PERKINS ST	PORZIO TTEE FRANK	1220 SEQUOIA PLAZA	UKIAH	CA	95482	25383	27510	DC - Downtown Core	DC	0.037	4
00222603	113 W PERKINS ST	SCHAT ZACHARY Y AND MELISSA	PO BOX 708	REDWOOD VALLEY	CA	95470	49169	162908	DC - Downtown Core	DC	0.043	4
00222602	113 W PERKINS ST	SCHAT ZACHARY Y AND MELISSA	PO BOX 708	REDWOOD VALLEY	CA	95470	62562	44443	DC - Downtown Core	DC	0.062	4
00222713	295 N STATE ST	THURSTON TTEE DENNIS	2900 N STATE ST	UKIAH	CA	95482	81542	76212	DC - Downtown Core	DC	0.218	4
00222409	252 N STATE ST	CANOVA JOSEPH ANTHONY AND RI	PO BOX 1756	UKIAH	CA	95482	68267	91023	DC - Downtown Core	DC	0.041	4
00222413	272 N STATE ST	TWIN INVESTMENTS LLC	494 KENWOOD DR	UKIAH	CA	95482	218727	0	DC - Downtown Core	DC	0.466	4
00222805	101 N STATE ST	NORTH STATE PARTNERS LLC	500 BICENTENNIAL WAY #310	SANTA ROSA	CA	95403	277377	394547	DC - Downtown Core	DC	0.267	4
00222802	111 N STATE ST	SCHAPMIRE JR TTEE TODD A	1124 KIDD RD	WINDSOR	CA	95492	84771	146601	DC - Downtown Core	DC	0.069	4
00222806	125 N STATE ST	101 SO MAIN STREET LLC	1124 KIDD RD	WINDSOR	CA	95492	62424	5202	DC - Downtown Core	DC	0.084	4
00222909	107 S STATE ST	COUNTY OF MENDOCINO	841 LOW GAP RD	UKIAH	CA	95482	0	0	DC - Downtown Core	DC	0.513	4
00222708	201 N STATE ST	ALLEN TTEE KENNETH D	405 IMPERIAL DR	CLOVERDALE	CA	95425	208080	416160	DC - Downtown Core	DC	0.051	4
00222801	125 N STATE ST	101 SO MAIN STREET LLC	1124 KIDD RD	WINDSOR	CA	95492	152955	151987	DC - Downtown Core	DC	0.363	4
00222415	108 W STANDLEY ST	SCHAT ZACHARY Y AND MELISSA	202 W PERKINS ST UNIT C	UKIAH	CA	95482	149477	611302	DC - Downtown Core	DC	0.066	4
00222402	130 W STANDLEY ST	WILLIAMS BRUCE E	18250 FOX GLEN	RIVERVIEW	MI	48193	50747	170171	DC - Downtown Core	DC	0.068	4
00222416	100 W STANDLEY ST	RUFF STANDLEY STREET LLC	PO BOX 708	HOPLAND	CA	95449	34838	435422	DC - Downtown Core	DC	0.016	4
00222408	106 W STANDLEY ST	MCCOWEN JOHN	617 W CLAY ST	UKIAH	CA	95482	42206	25318	DC - Downtown Core	DC	0.021	4
00222705	255 N STATE ST	CUEVAS RUBEN GUERRERO	PO BOX 5053	SANTA ROSA	CA	95402	109363	153109	DC - Downtown Core	DC	0.112	4
00222406	110 W STANDLEY ST	POWIS TTEE ERIN	390 W STANDLEY ST STE 1	UKIAH	CA	95482	119087	157975	DC - Downtown Core	DC	0.056	4
00222417	200 N STATE ST	AZIMUS PROPERTY HOLDINGS LLC	951 BOONVILLE RD	UKIAH	CA	95482	200000	340000	DC - Downtown Core	DC	0.039	4
00222606	165 S SCHOOL ST	COUNTY OF MENDOCINO	260 FIFTH ST	SAN FRANCISCO	CA	94103	0	0	DC - Downtown Core	DC	0.328	4
00222411	NONE	HUGHEY BRIAN	602 A N STATE ST	UKIAH	CA	95482	0	0	DC - Downtown Core	DC	0.001	4
00222711	247 N STATE ST	CUEVAS RUBEN GUERRERO	PO BOX 5053	SANTA ROSA	CA	95402	111550	16731	DC - Downtown Core	DC	0.046	4
00222601	105 S SCHOOL ST	SUN VALLEY INVESTMENTS LLC	101 N STATE ST STE A	UKIAH	CA	95482	170672	711141	DC - Downtown Core	DC	0.1	4
00222712	239 N STATE ST	EDGELINE INVESTMENTS LLC	520 FRANZ VALLEY RD	CALISTOGA	CA	94515	108649	138832	DC - Downtown Core	DC	0.047	4
00224101	401 E PERKINS ST	WILSON CINDY L	60 RANCHO GRANDE DR	UKIAH	CA	95482	92205	135634	GU - General Urban	DC	0.089	6
00224107	495 E PERKINS ST	WHITMIRE FRED H TTEE	197 WARREN DR	UKIAH	CA	95482	18070	240359	GU - General Urban	DC	0.341	6
00224103	407 E PERKINS ST	WAIDELICH NOBLE AND NANCY	4501 E HWY 20	UKIAH	CA	95482	93813	92876	GU - General Urban	DC	0.49	6
00228205	140 LESLIE ST	GARCIA JAVIER	3437 SOL LN	UKIAH	CA	95482	84503	0	GU - General Urban	DC	0.189	6
00228204	138 LESLIE ST	FOSTER JOHN R AND MYRNA E TT	136 NELSON RANCHO DR	UKIAH	CA	95482	84503	14470	GU - General Urban	DC	0.194	6
00228203	134 LESLIE ST	GADEA V H MARTIN SR AND LIND	575 SPANISH CANYON DR	UKIAH	CA	95482	259643	122984	GU - General Urban	DC	0.26	6
00224102	403 E PERKINS ST	WILSON CINDY L	60 RANCHO GRANDE DR	UKIAH	CA	95482	107577	159281	GU - General Urban	DC	0.273	6
00228202	NONE	BARTOLOMEI SUCCTTEE RORY C	2300 MCCLURE SUBDIVISION RD	UKIAH	CA	95482	13698	911	GU - General Urban	DC	0.132	6
00226904	412 S MAIN ST	MCKENNEY JAMES G	412 S MAIN ST	UKIAH	CA	95482	231787	77257	GU - General Urban	DC	0.245	4
00226908	405 S STATE ST	MCKENNEY ENTERPRISES LLC	415 S STATE ST	UKIAH	CA	95482	321932	186720	GU - General Urban	DC	0.298	4
00226108	290 S SCHOOL ST	M P MOUNTANOS INC	605 N STATE ST	UKIAH	CA	95482	150108	187635	GU - General Urban	DC	0.075	4
00226105	NONE	UKIAH CITY OF	203 S SCHOOL ST	UKIAH	CA	95482	0	0	GU - General Urban	DC	0.108	6
00223211	NONE	CITY OF UKIAH	300 SEMINARY AVE	UKIAH	CA	95482	0	0	GU - General Urban	DC	0.189	6
00223210	NONE	CITY OF UKIAH	300 SEMINARY AVE	UKIAH	CA	95482	0	0	GU - General Urban	DC	0.188	6
00219122	301 N MAIN ST	GITLIN ROBERT AND KARLA	13400 TOMKI RD	REDWOOD VALLEY	CA	95470	263983	412076	GU - General Urban	DC	0.255	4
00219201	289 N MAIN ST	CITY OF UKIAH	300 SEMINARY AVE	UKIAH	CA	95482	0	0	GU - General Urban	DC	0.258	4
00219214	280 E STANDLEY ST	UKIAH CITY OF	300 SEMINARY AVE	UKIAH	CA	95482	0	0	GU - General Urban	DC	0.577	6
00219123	262 E SMITH ST	GITLIN ROBERT S AND KARLA S	7221 EVAN AVE	SEBASTOPOL	CA	95472	231990	241652	GU - General Urban	DC	0.627	4
00223205	122 LESLIE ST	BARTOLOMEI SUCCTTEE RORY C	2300 MCCLURE SUBDIVISION RD	UKIAH	CA	95482	17452	26178	GU - General Urban	DC	0.405	6
00218304	294 W SMITH ST	SAVINGS BANK OF MENDOCINO	PO BOX 3600	UKIAH	CA	95482	278152	494492	GU - General Urban	DC	0.216	6
00223204	124 LESLIE ST	GOLDEN GATE PETROLEUM CO	1340 ARNOLD DR STE 231	MARTINEZ	CA	94553	48137	6196	GU - General Urban	DC	0.139	6
00219211	NONE	UKIAH CITY OF	300 SEMINARY AVE	UKIAH	CA	95482	0	0	GU - General Urban	DC	0.584	4
00222305	NONE	POMA DAVID 1/3	204 N BUSH ST	UKIAH	CA	95482	6602	0	GU - General Urban	DC	0.038	6
00222304	107 S OAK ST	ORTEGA CARLOS AND MARIA DELR	PO BOX 157	UKIAH	CA	95482	162479	324960	GU - General Urban	DC	0.156	6
00223207	120 LESLIE ST	COOK NANETTE SANCHEZ- SUCC	2796 NISENAN VALLEY DR	LINCOLN	CA	95648	31362	88453	GU - General Urban	DC	0.177	6
00223209	NONE	CITY OF UKIAH	300 SEMINARY AVE	UKIAH	CA	95482	0	0	GU - General Urban	DC	0.258	6

APN	SITUS_ADD	OWNER	ADDRESS	CITY	STATE	ZIP	LAND VALUE ASSESSMENT	IMPROVEMENT VALUE	Zone_Class	GP_2040	Acreege	Airport Compatibility Zone
00218302	359 N OAK ST	LIGGETT NANCY K	965 DOMINCAN WAY	UKIAH	CA	95482	130050	348534	GU - General Urban	DC	0.141	6
00226603	406 S STATE ST	ECO INN LLC	406 S STATE ST	UKIAH	CA	95482	344690	1212810	GU - General Urban	DC	0.519	4
00226304	290 SEMINARY AVE	JOHNSON JOHN RALPH TTEE /	4190 HWY 20	UKIAH	CA	95482	278877	418317	GU - General Urban	DC	0.472	6
00226307	NONE	PALMA DAVID	487 N STATE ST	UKIAH	CA	95482	111550	0	GU - General Urban	DC	0.1	6
00226107	260 S SCHOOL ST	NIX JAMES R AND ANNE M TTEES	280 S SCHOOL ST	UKIAH	CA	95482	203283	389916	GU - General Urban	DC	0.159	4
00226104	209 S OAK ST	UKIAH CITY OF	300 SEMINARY AVE	UKIAH	CA	95482	0	0	GU - General Urban	DC	0.117	6
00222211	216 W PERKINS ST	SCHELLER TTEE EDNA	1025 SIMMONS LN	NOVATO	CA	94945	222742	937472	GU - General Urban	DC	0.076	6
00226308	205 W CLAY ST	PALMA DAVID	487 N STATE ST	UKIAH	CA	95482	111550	167325	GU - General Urban	DC	0.099	6
00218301	387 N OAK ST	RIDDELL MICHAEL W AND JUANIT	PO BOX 4	CALPELLA	CA	95418	64379	122223	GU - General Urban	DC	0.118	6
00226109	200 S SCHOOL ST	CITY OF UKIAH	300 SEMINARY AVE	UKIAH	CA	95482	0	0	GU - General Urban	DC	0.474	6
00222212	212 W PERKINS ST	HENNESSEY TTEE BRIAN A	1689 MCMAHON LN	LAKEPORT	CA	95456	75047	234380	GU - General Urban	DC	0.148	6
00222111	200 N SCHOOL ST	SAVINGS BANK OF MENDOCINO	PO BOX 3600	UKIAH	CA	95482	343259	9061544	GU - General Urban	DC	0.888	6
00222308	215 W PERKINS ST	ABELL MASONIC TEMPLE ASSOC	PO BOX 1636	UKIAH	CA	95482	84688	74110	GU - General Urban	DC	0.278	6
00222202	209 W STANDLEY ST	HODGES SCOTT R 1/2	207 W STANDLEY ST	UKIAH	CA	95482	231787	212475	GU - General Urban	DC	0.113	6
00222201	215 W STANDLEY ST	BARNES JACOB ANTHONY	1080 HELEN AVE	UKIAH	CA	95482	108203	138871	GU - General Urban	DC	0.135	6
00223206	325 E PERKINS ST	REDWOOD EMPIRE BANCORP	PO BOX 1200	SUISUN CITY	CA	94585	217040	521876	GU - General Urban	DC	0.288	6
00223116	375 S MAIN ST	HOSKINS TTEE ROY H Jr	1299 DESPINA DR	UKIAH	CA	95482	42491	137612	GU - General Urban	DC	0.476	4
00228221	309 E PERKINS ST	STATE OF CALIFORNIA	455 GOLDEN GATE AVE 8TH FLOOR	SAN FRANCISCO	CA	94102	0	0	GU - General Urban	DC	1.446	6
00228220	200 E CLAY ST	NORTH COAST RAILROAD AUTHO	419 TALMAGE RD STE M	UKIAH	CA	95482	0	0	GU - General Urban	DC	1.864	6
00226805	315 S STATE ST	MENDOZA STEVEN	315 S STATE ST	UKIAH	CA	95482	119466	59728	UC - Urban Center	DC	0.277	4
00226905	401 S STATE ST	NELSON HENRY K AND MARGARET	95566 AMELIA NATIONAL PKWY	FERNANDINA BEACH	FL	32034	241338	234544	UC - Urban Center	DC	0.333	4
00226504	320 S STATE ST	SANDERS CARL L AND BEVERLY M	640 DORA AVE	UKIAH	CA	95482	156019	242703	UC - Urban Center	DC	0.15	4
00220032	NONE	PEAR TREE REH LLC	2727 LBJ FREEWAY STE 806	DALLAS	TX	75234	12368	0	UC - Urban Center	DC	0.041	6
00220034	NONE	PEAR TREE REH LLC	2727 LBJ FREEWAY STE 806	DALLAS	TX	75234	26691	0	UC - Urban Center	DC	0.106	6
00226806	NONE	HOSKINS TTEE ROY H Jr	1299 DESPINA DR	UKIAH	CA	95482	59154	6780	UC - Urban Center	DC	0.255	4
00219353	NONE	VALENTIC TTEE JOHN P	1541 MEADOW DR	UKIAH	CA	95482	150357	296203	UC - Urban Center	DC	0.337	6
00224205	543 E PERKINS ST	WESTERN SEQUOIA HOLDINGS L	PO BOX 9863	FOUNTAIN VALLEY	CA	92728	108160	84122	UC - Urban Center	DC	0.142	6
00224204	529 E PERKINS ST	WEI TTEE SABRINA YUXIN	537 JEAN MARIE DR	SANTA ROSA	CA	95403	116732	254689	UC - Urban Center	DC	0.143	6
00220040	115 N ORCHARD AVE	MCDONALDS CORPORATION	ONE MCDONALDS PLAZA	OAK BROOK	IL	60523	664966	1517548	UC - Urban Center	DC	0.807	6
00224202	505 E PERKINS ST	WHITMIRE FRED H TTEE	197 WARREN DR	UKIAH	CA	95482	46579	74110	UC - Urban Center	DC	0.175	6
00220036	410 E PERKINS ST	ZACHARIAH JERUSHA	9051 EAST RD	REDWOOD VALLEY	CA	95470	257484	0	UC - Urban Center	DC	0.7	6
00220035	402 E PERKINS ST	NGUYEN KEVIN TTEE /	2001 WICHY SPRINGS RD	UKIAH	CA	95482	227562	597354	UC - Urban Center	DC	0.69	6
00224206	557 E PERKINS ST	WESTERN SEQUOIA HOLDINGS L	PO BOX 9863	FOUNTAIN VALLEY	CA	92728	126758	132794	UC - Urban Center	DC	0.142	6
00224207	571 E PERKINS ST	WESTERN SEQUOIA HOLDINGS L	PO BOX 9863	FOUNTAIN VALLEY	CA	92728	132794	120724	UC - Urban Center	DC	0.244	6
00224203	515 E PERKINS ST	MORONEY TTEE STACEY A	PO BOX 63	REDWOOD VALLEY	CA	95470	185711	175099	UC - Urban Center	DC	0.144	6
00224701	605 E PERKINS ST	REDWOOD OIL COMPANY INC	50 PROFESSIONAL CNTR STE 100	ROHNERT PARK	CA	94928	683285	1477697	UC - Urban Center	DC	0.691	6
00220038	596 E PERKINS ST	BEST WESTSIDE PROPERTIES LLC	2424 RIDGE RD	ROCKWALL	TX	75087	364140	1779084	UC - Urban Center	DC	0.446	6
00224217	585 E PERKINS ST	TESORO SIERRA PROPERTIES L	PO BOX 592809	SAN ANTONIO	TX	78259	432072	308670	UC - Urban Center	DC	0.329	6
00226602	105 W CLAY ST	PERSKY JAMES	105 W CLAY ST	UKIAH	CA	95482	172186	266116	UC - Urban Center	DC	0.198	4
00226807	301 S STATE ST	COMMUNITY CARE MANAGEMENT	301 SOUTH STATE ST	UKIAH	CA	95482	181201	933918	UC - Urban Center	DC	0.296	4
00226902	403 S STATE ST	LU FENG YU	403 S STATE ST	UKIAH	CA	95482	107220	106148	UC - Urban Center	DC	0.08	4
00226509	300 S STATE ST	CITY OF UKIAH	300 SEMINARY AVE	UKIAH	CA	95482	0	0	UC - Urban Center	DC	0.637	4
00226601	401 S SCHOOL ST	WU MEI HSIU HSU	390 W STANDLEY ST	UKIAH	CA	95482	97705	25059	UC - Urban Center	DC	0.159	4
00219225	245 E STANDLEY ST	ROHRER TIMOTHY P	14 WILDWOOD PLACE	PLEASANT HILL	CA	94523	127500	10200	UC - Urban Center	DC	0.279	6
00219224	214 E PERKINS ST	ROHRER TIMOTHY P	14 WILDWOOD PLACE	PLEASANT HILL	CA	94523	331500	448800	UC - Urban Center	DC	0.533	4
00219218	105 N MAIN ST	UKIAH CITY OF	300 SEMINARY AVE	UKIAH	CA	95482	0	0	UC - Urban Center	DC	0.402	4
00218426	NONE	LEVY TTEE THELMA J	502 WALNUT AVE	UKIAH	CA	95482	67029	0	UC - Urban Center	DC	0.325	Other Airport Environs
00226510	369 S SCHOOL ST	CITY OF UKIAH	300 SEMINARY AVE	UKIAH	CA	95482	0	0	UC - Urban Center	DC	0.16	4
00222210	102 N SCHOOL ST	SCHAT ZACHARY AND MELISSA	PO BOX 708	REDWOOD VALLEY	CA	95470	131722	253585	UC - Urban Center	DC	0.032	4
00219345	404 E PERKINS ST	UKIAH ADVENTIST HOSPITAL	275 HOSPITAL DR	UKIAH	CA	95482	616344	1251631	UC - Urban Center	DC	1.027	6
00219315	400 E PERKINS ST	UKIAH ADVENTIST HOSPITAL	275 HOSPITAL DR	UKIAH	CA	95482	341697	5886	UC - Urban Center	DC	0.755	6
00218614	NONE	CAMINITI WENDY J TTEE /	4190 HWY 20	UKIAH	CA	95482	96497	25730	UC - Urban Center	DC	0.135	4
00226401	203 S SCHOOL ST	VEGA MARIA D /	4428 FIRST AVE	UKIAH	CA	95482	97373	221282	UC - Urban Center	DC	0.077	4
00219354	135 HOSPITAL DR	AVISTA ENTERPRISES LLC	135 HOSPITAL DR	UKIAH	CA	95482	167325	557758	UC - Urban Center	DC	0.215	6
00219312	185 MASON ST	HILL DONALD PHILLIPS Jr	25690 PHLO GREENWOOD RD	ELK	CA	95432	150223	264397	UC - Urban Center	DC	0.121	6
00219352	NONE	WALGREEN CO	PO BOX 1159	DEERFIELD	IL	60015	211872	0	UC - Urban Center	DC	0.232	6
00219317	169 MASON ST	MENDO REALTY INVESTMENT LL	PO BOX 1389	UKIAH	CA	95482	485975	1486869	UC - Urban Center	DC	0.977	6
00219355	320 E PERKINS ST	CHO PETER Y	531 TEHUACAN RD	UKIAH	CA	95482	227221	563307	UC - Urban Center	DC	0.274	6
00219314	326 E PERKINS ST	UKIAH ADVENTIST HOSPITAL	PO BOX 619135	ROSEVILLE	CA	95661	94258	0	UC - Urban Center	DC	0.201	6
00219202	NONE	UKIAH CITY OF	300 SEMINARY AVE	UKIAH	CA	95482	0	0	UC - Urban Center	DC	0.131	4
00219203	NONE	CITY OF UKIAH	300 SEMINARY AVE	UKIAH	CA	95482	0	0	UC - Urban Center	DC	0.213	4
00226704	207 S STATE ST	PHILLIPS PATRICE E	502 N PINE ST	UKIAH	CA	95482	167325	390430	UC - Urban Center	DC	0.088	4
00222306	110 S SCHOOL ST	SMITH RAYMOND D	29 ORINDA WAY STE 773	ORINDA	CA	94563	167325	557758	UC - Urban Center	DC	0.111	4
00226507	108 W CLAY ST	COALE ANSLEY J JR	108 W CLAY ST	UKIAH	CA	95482	122984	314302	UC - Urban Center	DC	0.046	4
00226709	203 S STATE ST	SMITH RAYMOND D	29 ORINDA WAY STE 773	ORINDA	CA	94563	111550	217524	UC - Urban Center	DC	0.066	4

APN	SITUS_ADD	OWNER	ADDRESS	CITY	STATE	ZIP	LAND VALUE ASSESSMENT	IMPROVEMENT VALUE	Zone_Class	GP_2040	Acreage	Airport Compatibility Zone
00226702	205 S STATE ST	MENDOCINO BALLET	205 SOUTH STATE ST	UKIAH	CA	95482	86463	225901	UC - Urban Center	DC	0.105	4
00226706	295 S STATE ST	VASILOPOULOS IOANNIS THEOD	2353 BRISBANE ST	WEST SACRAMENTO	CA	95691	66580	174217	UC - Urban Center	DC	0.134	4
00218616	387 N STATE ST	CAMINITI WENDY J TTEE /	4190 HWY 20	UKIAH	CA	95482	144745	303968	UC - Urban Center	DC	0.21	4
00226402	111 W CHURCH ST	SAKANE YOSHIKI AND NAKO	111 W CHURCH ST	UKIAH	CA	95482	180862	275505	UC - Urban Center	DC	0.102	4
00218306	469 N SCHOOL ST	SAVINGS BANK OF MENDOCINO	PO BOX 3600	UKIAH	CA	95482	85819	6784	UC - Urban Center	DC	0.118	4
00222307	198 South School ST	POMA DAVID 1/3	204 N BUSH ST	UKIAH	CA	95482	66580	71113	UC - Urban Center	DC	0.127	4
00226710	201 S STATE ST	SMITH RAYMOND D	29 ORINDA WAY STE 773	ORINDA	CA	94563	111550	217524	UC - Urban Center	DC	0.06	4
00219321	308 E PERKINS ST	WALGREEN CO	PO BOX 1159	DEERFIELD	IL	60015	1634269	2292086	UC - Urban Center	DC	1.262	6
00226403	200 S STATE ST	TAGZ PROPERTIES LLC	PO BOX 1373	UKIAH	CA	95482	227563	868161	UC - Urban Center	DC	0.122	4
00218513	344 N STATE ST	SUNROOM LLC	53 LIBERTY ST	SAN FRANCISCO	CA	94110	79404	170673	UC - Urban Center	DC	0.113	4
00219222	228 E PERKINS ST	EDWARDS WILLIAM	PO BOX 149	UKIAH	CA	95482	109363	218727	UC - Urban Center	DC	0.177	6
00219217	228 E PERKINS ST	EDWARDS WILLIAM	PO BOX 149	UKIAH	CA	95482	82021	191386	UC - Urban Center	DC	0.114	4
00226708	185 E CHURCH ST	LIDEN THOMAS M TTEE	1050 N OAK ST	UKIAH	CA	95482	86665	78002	UC - Urban Center	DC	0.065	4
00226707	145 E CHURCH ST	BARBA GILBERTO /	4428 FIRST AVE	UKIAH	CA	95482	136703	229664	UC - Urban Center	DC	0.141	4
00218510	177 W SMITH ST	WIPF ERNEST M AND EILEEN M T	PO BOX 234	UKIAH	CA	95482	91040	141834	UC - Urban Center	DC	0.468	4
00226204	351 S OAK ST	CITY OF UKIAH	300 SEMINARY AVE	UKIAH	CA	95482	0	0	UC - Urban Center	DC	0.081	6
00226205	NONE	CITY OF UKIAH	300 SEMINARY AVE	UKIAH	CA	95482	0	0	UC - Urban Center	DC	0.386	6
00218512	328 N STATE ST	SUNROOM LLC	53 LIBERTY ST	SAN FRANCISCO	CA	94110	30086	85335	UC - Urban Center	DC	0.044	4
00218305	479 N SCHOOL ST	SAVINGS BANK OF MENDOCINO	PO BOX 3600	UKIAH	CA	95482	71708	19385	UC - Urban Center	DC	0.096	4
00218507	304 N STATE ST	CHRISTIANSEN C ROSS	5575 LAKE RIDGE DRIVE	UKIAH	CA	95482	159305	628736	UC - Urban Center	DC	0.111	4
00226203	207 W STEPHENSON ST	PIDGEON POINT LLC	22 BATTERY ST	SAN FRANCISCO	CA	94111	171666	348534	UC - Urban Center	DC	0.131	4
00226208	NONE	UKIAH CITY OF	300 SEMINARY AVE	UKIAH	CA	95482	0	0	UC - Urban Center	DC	0.162	6
00226408	208 S STATE ST	CARDENAS JUAN ALBERTOSANDOVAL	5350 AGNES LN	UKIAH	CA	95482	98648	139266	UC - Urban Center	DC	0.081	4
00218430	NONE	LEVY TTEE THELMA J	502 WALNUT AVE	UKIAH	CA	95482	33503	0	UC - Urban Center	DC	0.194	Other Airport Environs
00218417	411 N SCHOOL ST	UKIAH CITY OF	300 SEMINARY AVE	UKIAH	CA	95482	0	0	UC - Urban Center	DC	0.101	Other Airport Environs
00226207	308 S SCHOOL ST	CARTER DAVID A TTEE /	509 JONES ST	UKIAH	CA	95482	108203	180360	UC - Urban Center	DC	0.177	6
00218502	NONE	SUNROOM LLC	53 LIBERTY ST	SAN FRANCISCO	CA	94110	159295	0	UC - Urban Center	DC	0.096	4
00218612	367 N STATE ST	CAMINITI WENDY J TTEE /	4190 HWY 20	UKIAH	CA	95482	155468	721055	UC - Urban Center	DC	0.212	4
00218418	406 N STATE ST	HEWETT DONALD KEITH	406 N STATE ST	UKIAH	CA	95482	246766	132871	UC - Urban Center	DC	0.292	Other Airport Environs
00218511	362 N STATE ST	SUNROOM LLC	53 LIBERTY ST	SAN FRANCISCO	CA	94110	66862	164983	UC - Urban Center	DC	0.095	4
00226407	208 S SCHOOL ST	CEJA CELSO	896 N STATE ST	UKIAH	CA	95482	135450	98508	UC - Urban Center	DC	0.13	4
00226405	210 S STATE ST	LEE JACQUELINE M TTEE	438 N PINE ST	UKIAH	CA	95482	67796	135602	UC - Urban Center	DC	0.058	4
00218419	405 N SCHOOL ST	HEWETT DONALD KEITH	406 N STATE ST	UKIAH	CA	95482	167325	39041	UC - Urban Center	DC	0.139	Other Airport Environs
00222303	102 S SCHOOL ST	ABELL MASONIC TEMPLE ASSOC	PO BOX 1636	UKIAH	CA	95482	97168	374528	UC - Urban Center	DC	0.172	4
00226303	404 S SCHOOL ST	CAVALIN GREGORY G AND LISA L	404 S SCHOOL ST	UKIAH	CA	95482	153688	148253	UC - Urban Center	DC	0.172	4
00218303	310 N SCHOOL ST	THAYER NICHOLAS FORBES	310 N SCHOOL ST	UKIAH	CA	95482	188273	191279	UC - Urban Center	DC	0.228	4
00218613	307 N STATE ST	NEW STATE HOTEL OF UKIAH	PO BOX 221755	SACRAMENTO	CA	95822	65644	237902	UC - Urban Center	DC	0.328	4
00226406	290 S STATE ST	SELIM FRANCINE CRANE TTEE	500 S SPRING ST	UKIAH	CA	95482	173948	399483	UC - Urban Center	DC	0.344	4
00222209	106 N SCHOOL ST	HERI AND MICHAELYN P COOPER REVOCABL	PO BOX 419	UKIAH	CA	95482	136703	273408	UC - Urban Center	DC	0.054	4
00218410	441 N SCHOOL ST	LEVY TTEE THELMA J	502 WALNUT AVE	UKIAH	CA	95482	26537	0	UC - Urban Center	DC	0.14	Other Airport Environs
00218415	NONE	UKIAH CITY OF	300 SEMINARY AVE	UKIAH	CA	95482	0	0	UC - Urban Center	DC	0.252	Other Airport Environs
00222208	108 N SCHOOL ST	MASON TTEE SUSAN L	585 OAK KNOLL RD	UKIAH	CA	95482	88935	170672	UC - Urban Center	DC	0.039	4
00222203	114 N SCHOOL ST	CHEUNG CHUNPO AND ESTHER C Y	2045 BURKE RD	UKIAH	CA	95482	328423	727696	UC - Urban Center	DC	0.267	4
00223109	203 S MAIN ST	LS HEALTH PROPERTIES LLC	3101 S STATE ST	UKIAH	CA	95482	523967	1004413	UC - Urban Center	DC	1.271	4
00223129	247 E PERKINS ST	GONG KENNETH 1/2	66 HUNTINGTON DR	SAN FRANCISCO	CA	94132	163307	199122	UC - Urban Center	DC	0.57	6
00223128	245 E PERKINS ST	MAYFIELD TTEE JAMES	1501 RECREATION RD	UKIAH	CA	95482	130281	374588	UC - Urban Center	DC	0.412	6
00223121	225 E PERKINS ST	CONTRERAS MARIBEL SAHAGUN	719 MYRON PLACE	UKIAH	CA	95482	326400	285600	UC - Urban Center	DC	0.511	4
00223101	101 S MAIN ST	REDWOOD CREDIT UNION	3033 CLEVELAND AVE	SANTA ROSA	CA	95403	357000	357000	UC - Urban Center	DC	0.454	4
00223102	119 S MAIN ST	LELAND LOWELL AND PAMELA TTE	801 RIVERSIDE DR	UKIAH	CA	95482	193468	442080	UC - Urban Center	DC	0.27	4
00223130	245 E PERKINS ST	MAYFIELD JAMES M AND BARBARA	1501 RECREATION RD	UKIAH	CA	95482	89561	42301	UC - Urban Center	DC	0.448	6
00223124	276 E CLAY ST	MAYFIELD TTEE JAMES	1501 RECREATION RD	UKIAH	CA	95482	357972	138159	UC - Urban Center	DC	1.219	6
00223127	213 S MAIN ST	CINCO ESTRELLAS LLC	213 S MAIN ST	UKIAH	CA	95482	341347	527950	UC - Urban Center	DC	0.499	4
00223123	235 E PERKINS ST	MAYFIELD JAMES M AND BARBARA	1501 RECREATION RD	UKIAH	CA	95482	585112	823677	UC - Urban Center	DC	1.888	6
00226713	218 S MAIN ST	SUNBEAM AARON	124 FORD ST	UKIAH	CA	95482	66925	128283	UC - Urban Center	DC	0.102	4
00223215	309 E PERKINS ST	NORTH COAST RAILROAD AUTHO	419 TALMAGE RD STE M	UKIAH	CA	95482	0	0	UC - Urban Center	DC	3.921	6
00226714	218 S MAIN ST	295 GROUP LLC	17613 W EAGLE DR	GOODYEAR	AZ	85338	72508	0	UC - Urban Center	DC	0.145	4
00223214	309 E PERKINS ST	STATE OF CALIFORNIA	455 GOLDEN GATE AVE 8TH FLOOR	SAN FRANCISCO	CA	94102	0	0	UC - Urban Center	DC	2.629	6
00223131	307 S MAIN ST	MAYFIELD TTEE JAMES	1501 RECREATION RD	UKIAH	CA	95482	296599	154316	UC - Urban Center	DC	0.911	4
00223132	East CLAY ST	MAYFIELD TTEE JAMES	1501 RECREATION RD	UKIAH	CA	95482	150836	8575	UC - Urban Center	DC	0.604	4
00220029	534 E PERKINS ST	PEAR TREE REH LLC	2727 LBJ FREEWAY STE 806	DALLAS	TX	75234	2971096	12913837	UC - Urban Center	DC	0.86	6
00220044	534 E PERKINS ST	PEAR TREE REH LLC	2727 LBJ FREEWAY STE 806	DALLAS	TX	75234	2971096	12913837	UC - Urban Center	DC	10.086	6
00220044	534 E PERKINS ST	PEAR TREE REH LLC	2727 LBJ FREEWAY STE 806	DALLAS	TX	75234	2971096	12913837	UC - Urban Center	DC	10.086	6



LEGEND

TRANSECT ZONES:

- GU: General Urban Zone
- UC: Urban Center Zone
- DC: Urban Core Zone
- Civic Space
- Civic Building

SPECIAL DESIGNATIONS:

- New Primary Street
- Secondary Street
- New Alley
- Required Storefront Frontage
- Recommended Storefront Frontage
- Required Terminated Vista
- Recommended Parking Garage and /or Anchor Tenant Opportunity Site

THOROUGHFARE TYPE:

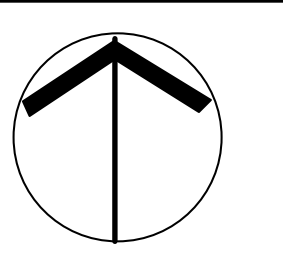
- CS-60-34: Street type (If existing streets have no designation, it is because no changes to the street are proposed.)
- Pedestrian Path

Note: If this Regulating Plan and other portions of this code conflict, this plan prevails.

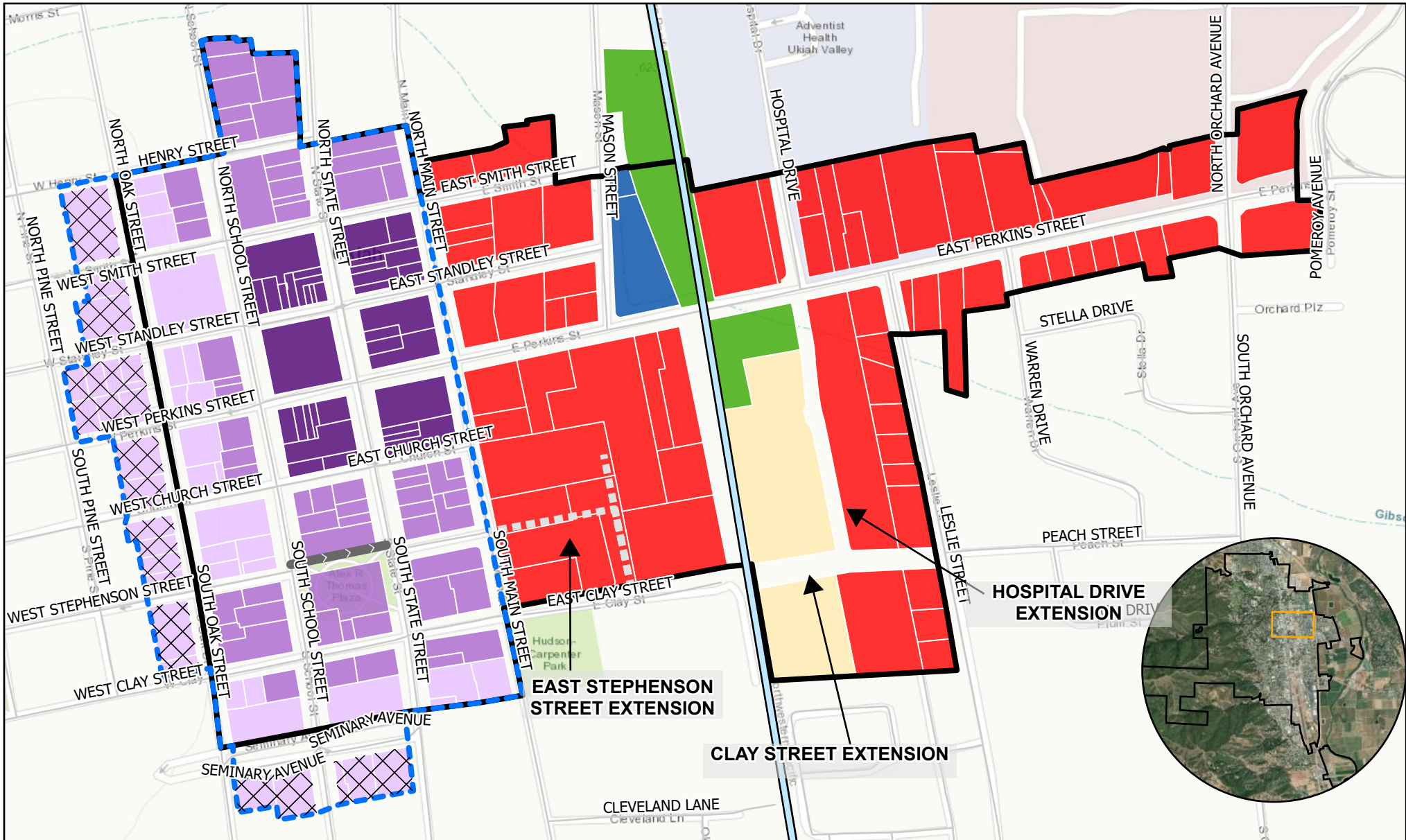
REGULATING PLAN

rev. August 2007

DOWNTOWN UKIAH & PERKINS STREET CORRIDOR



Proposed Downtown Zoning Code



Legend

Proposed DZC Zoning

- C1 - Community Commercial
- C2 - Heavy Commercial
- DC - Downtown Core
- GU - General Urban
- UC - Urban Center
- PF - Public Facility
- REC/PF - Recreation/ Public Facility
- Roads
- Proposed DZC Boundary
- Alternative 1 Parcels
- East Stephenson Street Extension
- Great Redwood Trail Status
- Existing
- Stephenson and State Walkway

Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P, USGS, METI/NASA, EPA, USDA, Earthstar Geographics



THIS MAP AND DATA ARE PROVIDED WITHOUT WARRANTY OF ANY KIND.

THIS MAP SERVES AS A VISUAL INTERPRETATION AND APPROXIMATION OF LEGAL AND ASSESSED DESCRIPTIONS THAT MAY NOT BE 100% ACCURATE. BOUNDARIES MAY NOT BE DEPICTED.

Kristine Lawler

Subject: 14b Correspondence Received - Eileen Mitro

-----Original Message-----

From: Eileen Mitro <climateactionmendocino@gmail.com>
Sent: Monday, December 8, 2025 4:32 PM
To: Meeting <meeting@cityofukiah.com>
Subject: Planning Commission meeting Item 14b Downtown Zoning

To the City of Ukiah Planning Commission:

We want East Perkins St. to be a warm welcome to Ukiah. East Perkins should encourage visitors who have, by chance, stopped to have a bite to eat or charge their car to stay a bit longer. There should be areas where it is easy to park, to sit in the shade in the summer, easily discover restaurant and coffee establishments and even places to visit a rest room. Let Ukiah become a noted spot on Yelp or Trip Advisor.

But Ukiah should also be a place that satisfies residents who may be out shopping or doing other business. We can imagine using the new bike paths and Great Redwood Trail to bike down East Perkins. The street/sidewalk will undoubtedly be busy, though. An even better image is for bike paths that wind or meander from the GRT behind offices or businesses on property lines (?) that would take the cyclist or pedestrian on paths with tree cover and landscaping and possibly a bench or two to stop and drink some water. Think about a Saturday, perhaps, where family or friends go to the Farmers Market, shop for some items, then bike down to Pear Tree Shopping Center or the CVS Shopping Center, pick up a few things and head back home with maybe a stop somewhere for some lunch or coffee. A fine day had by all, even perhaps a weekend routine.

That's the kind of town we need to be.

Eileen Mitro
Climate Action Mendocino
707 234 0380



Downtown Zoning Code (DZC)
Review and Ad Hoc
Recommendations

December 10, 2025
Planning Commission – Regular Meeting
Item 14b

Ad Hoc Members
Douglas F. Crane
Mari Rodin
Mark Hilliker (Planning Commission)

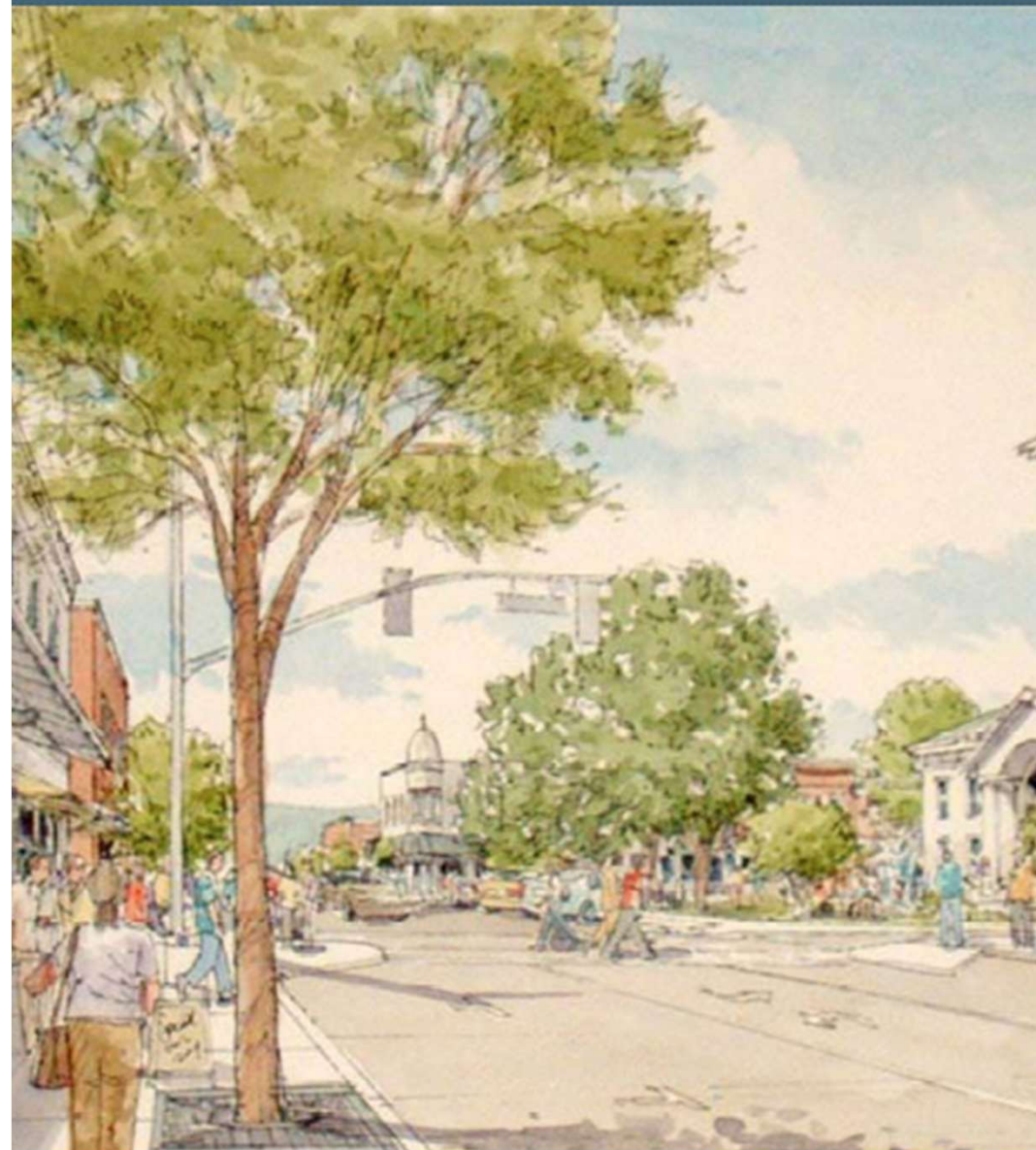
PRE-DOWNTOWN ZONING CODE

Early Direction (2006–2012)

- 2006: City Council funded and directed creation of a form-based zoning code for Downtown and East Perkins Street.
- 2007: Five-day public design charrette produced the community vision for the Downtown Zoning Code (DZC).
- 2009–2011: Planning Commission refined the draft; held public workshops.
- 2012: Adoption of Ordinance 1139 and associated rezoning.

Key Features - 2011 Draft

- Need for a flexible 'Exception' process.
- Desire for clearer site design standards, tables, illustrations, and defined uses.
- Direction for the new Design Review Board to help formalize Design Guidelines.



POST-DOWNTOWN ZONING CODE

Loss of Redevelopment (2012)

- Redevelopment agency dissolution removed funding for public improvements and site assembly.
- Costs shifted to private development.
- Many street extensions and infrastructure concepts became infeasible.

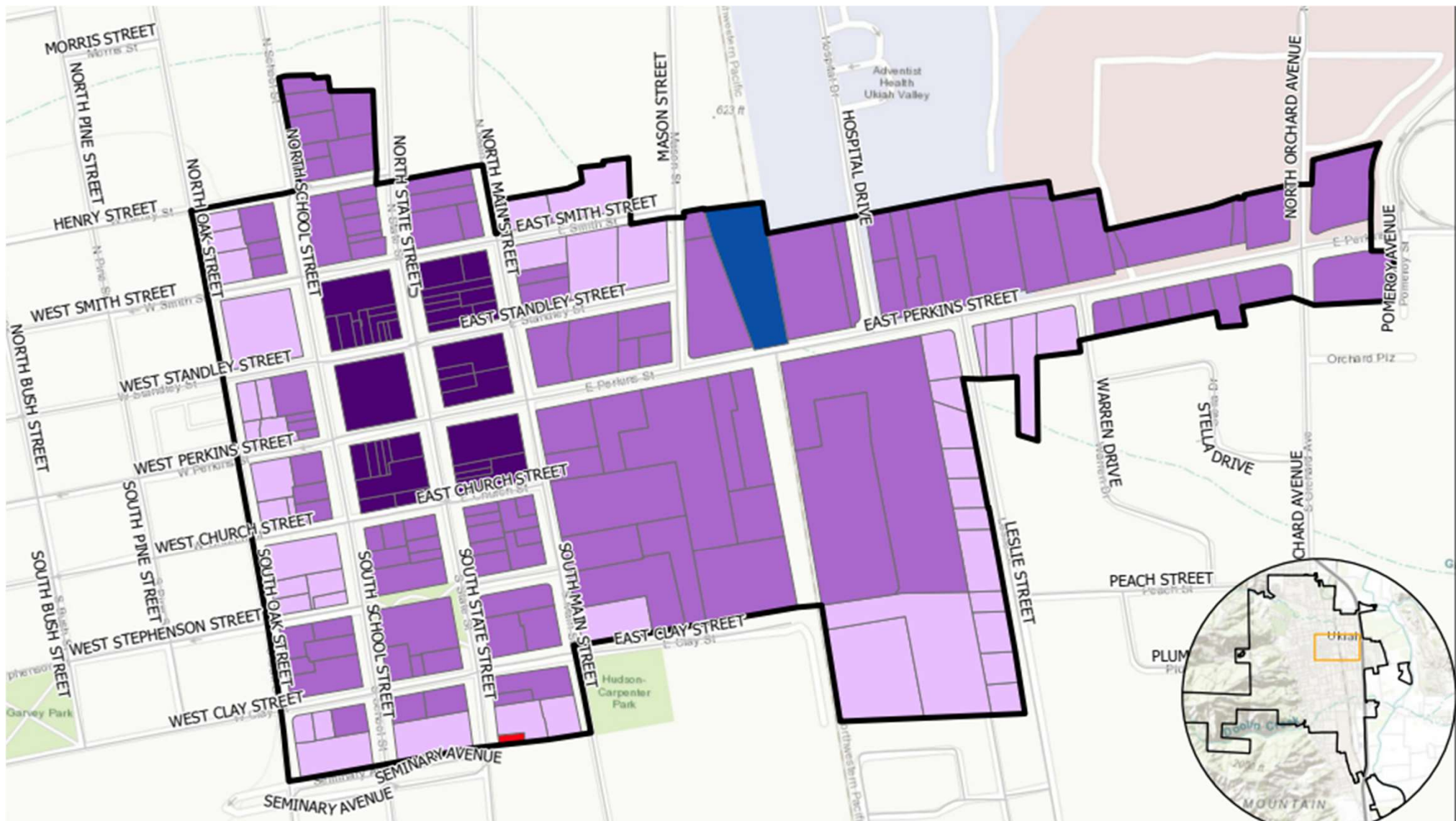
Post Adoption DZC (2012-2019)

- Expectations set by early charrette and environmental review were no longer realistic.
- More burden on private projects to deliver public improvements.
- Limited new commercial development and population growth.



Municipal Pivot (2019-2025)

- Downtown Streetscape Phases 1 & 2
- Urban Core Rehabilitation Project (Perkins, Main Street)
- Bicycle Infrastructure – GRT Phases 3 & 4
- Street Trees (State Street) – Phases 1 & 2
- County Courthouse – Downtown Retention



Downtown Zoning Code Considerations

Standards Match Conditions

- Irregular parcel shapes and sizes; diverse built-environment; limited market demand
- Tables and diagrams only partially apply, requiring additional analysis and interpretation.
- Exceptions required for most projects

Form-Based Code Applied Without Necessary Infrastructure

- Early DZC concepts assumed new streets and connections, but most were never built.
- Adaptive reuse was burdened by nonconforming considerations for most structures.
- Standalone DZC definitions limit updates and code refresh (e.g. ADUs)
- Limited visual precedent to inform design consistency

Triple Regulatory Burden

- Form-based rules, CUPs, and multiple overlays stack up, driving discretionary review.

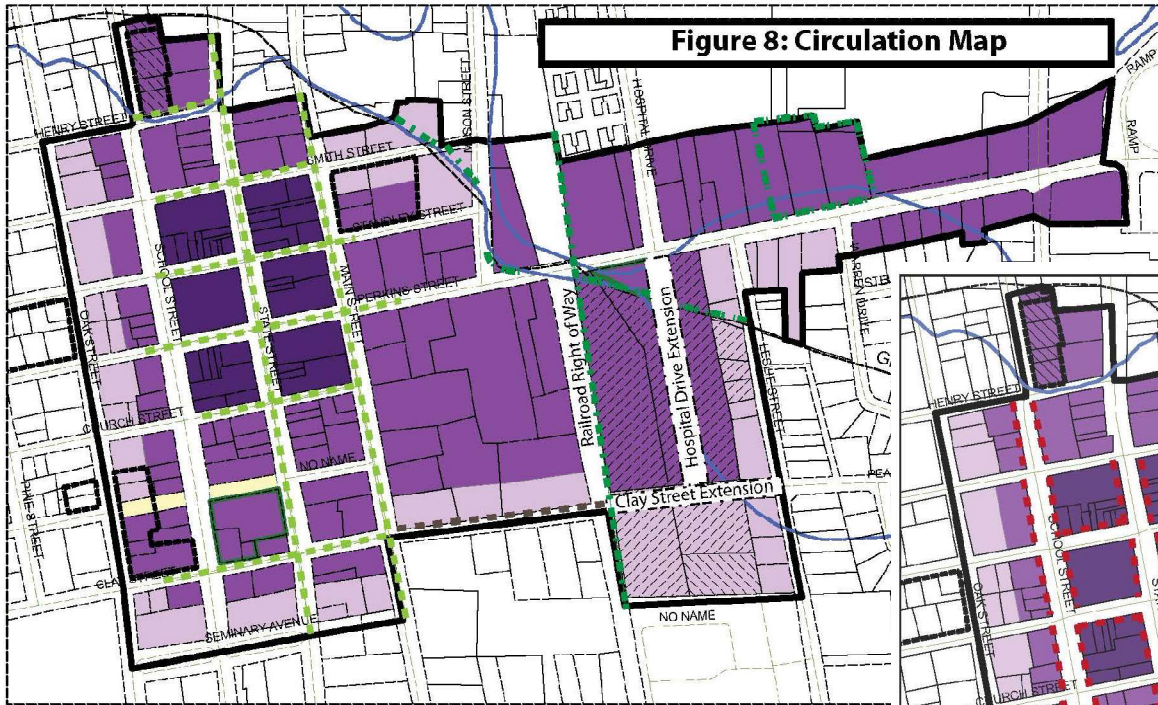
Two Different Development Patterns



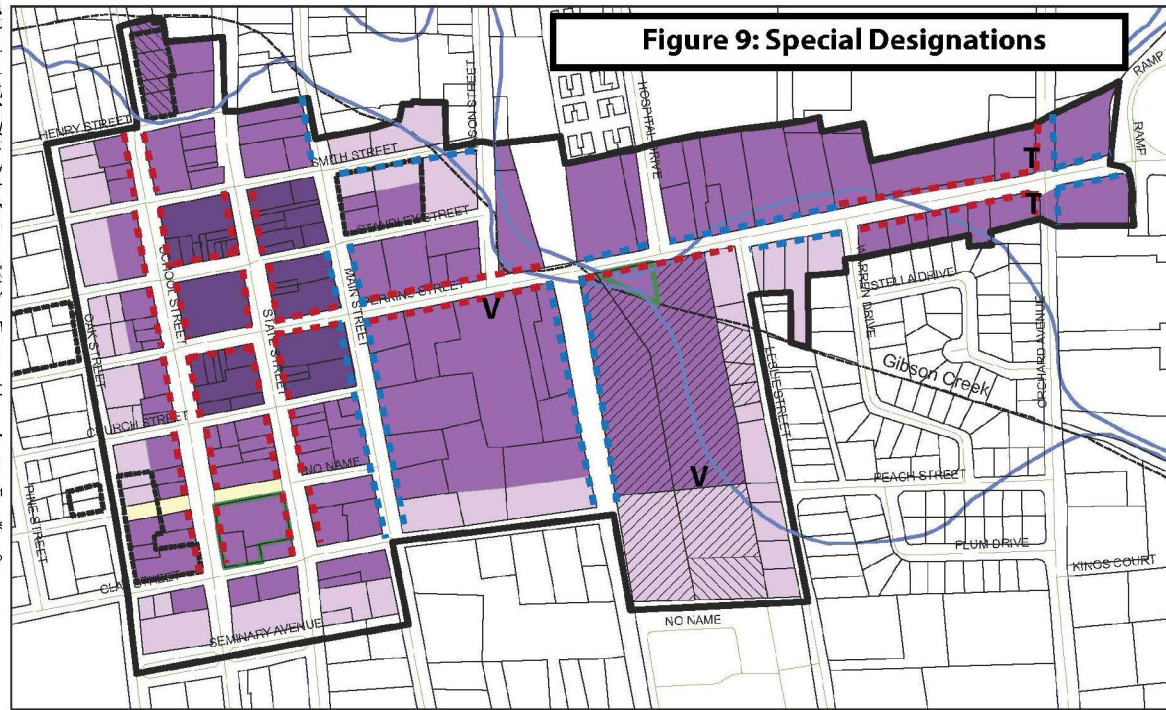
State Street:
Traditional blocks, smaller parcels, historic character.



Perkins Street:
Larger, irregular, auto-oriented sites.



- | | | | |
|-------------------------|-----------------------------|------------------|-------------|
| DZC Boundary | Special Designations | Hydrology | Downtown |
| Zoning Districts | Public Parking Existing | 100 Year Flood | Required St |
| UC | Civic Existing | Gibson Creek | Required Pr |
| DC | Civic Preferred | Modification | |
| GU | Parking Structure Preferred | | |
| | Public Facilities | | |



- | | | | |
|-------------------------|-----------------------------|------------------|--------------------------------------|
| DZC Boundary | Special Designations | Hydrology | Required Storefront Frontage Type |
| Zoning Districts | Public Parking Existing | 100 Year Flood | Recommended Storefront Frontage Type |
| UC | Civic Existing | Gibson Creek | T Required Terminated Vista |
| DC | Civic Preferred | | V Recommended Turret Location |
| GU | Parking Structure Preferred | | |
| | Public Facilities | | |

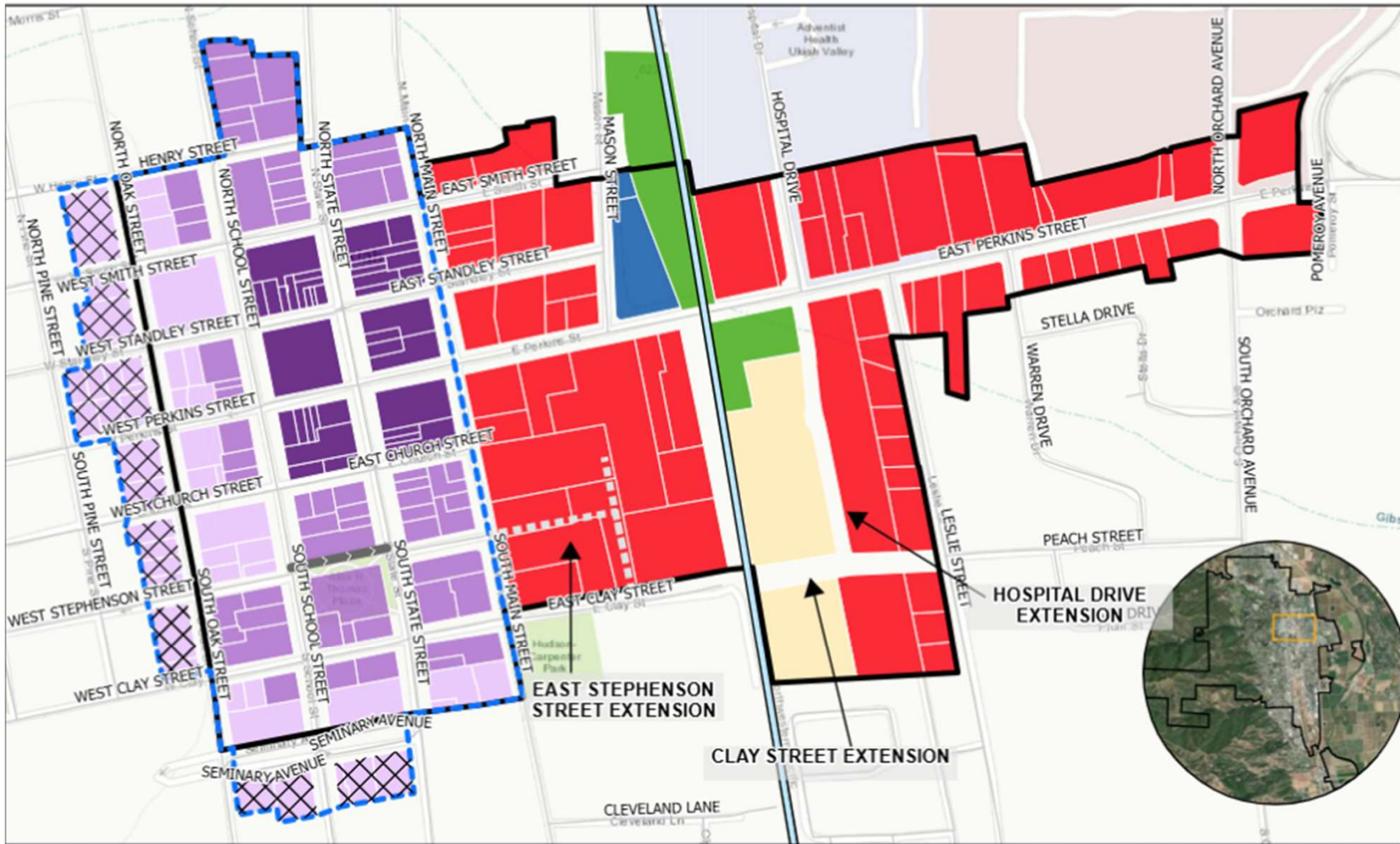


REGULATING PLAN

rev. August 200

DOWNTOWN UKIAH & PERKINS STREET CORRIDOR





Legend

Proposed DZC Zoning

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- PF - Public Facility
- REC/PF - Recreation/ Public Facility

- Roads
- Proposed DZC Boundary
- X Alternative 1 Parcels
- East Stephenson Street Extension
- Clay Street Extension
- Stephenson and State Walkway

Great Redwood Trail Status

- Existing

Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P, USGS, METINASA, EPA, USDA, Earthstar Geographics

0 720 Feet

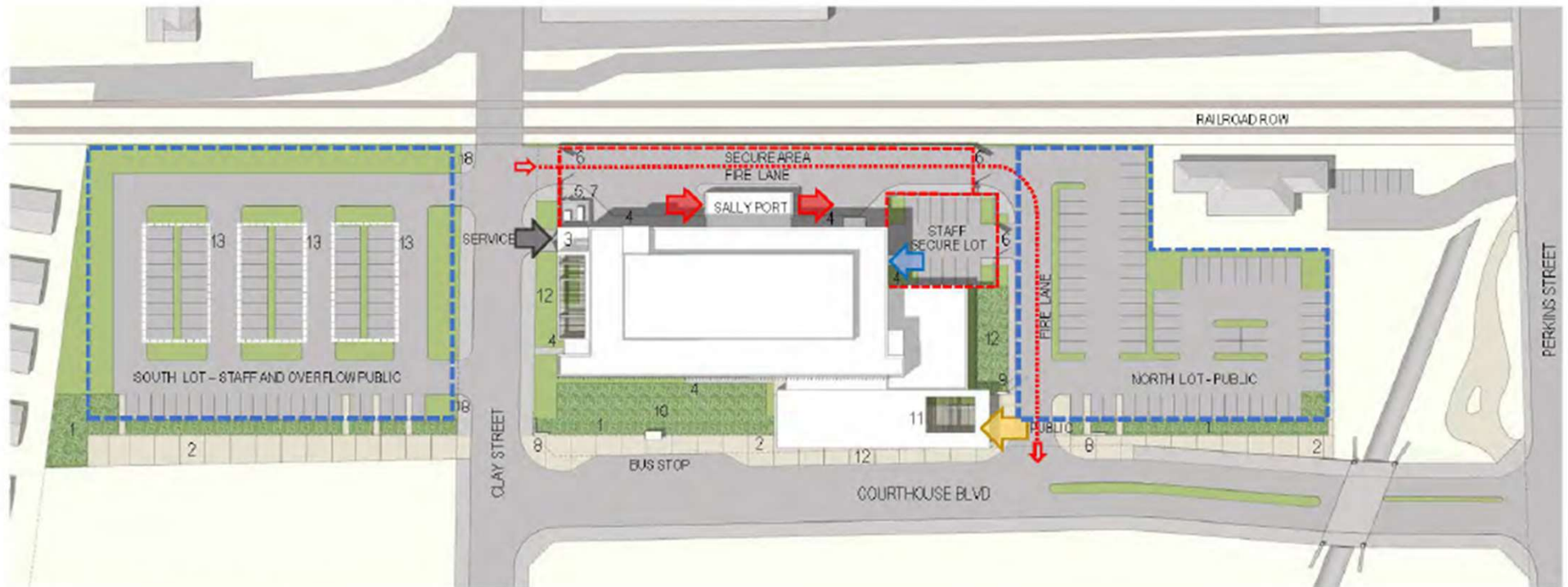


Under C-1, commercial development would remain subject to the Site Development process to ensure that incremental commercial improvements continue to support walkability and mixed-use goals where appropriate.

Under this approach, new development along Perkins Street could be reviewed using objective design standards for mixed-use construction, similar to recent projects on Gobbi Street, Cleveland Lane and Cooper Lane.

Downtown

- LU-3** *To improve and enhance the appearance and vibrancy of Downtown Ukiah to create a high-quality place for residents, businesses, and visitors. (Source: Existing GP Goal CD-9, modified)*



Process and Timelines

Phase 1: Rezone (Near-Term Priority)

Realign zoning districts across Downtown and the Perkins Street corridor

Phase 2: Revise the DZC Itself

Coordinate:

- Housing Element updates.
- Historic resource protections.
- Courthouse and Palace Hotel planning

Focus:

- Adaptive reuse incentives.
- Infill.
- Flexibility for existing buildings.
- Clear, usable design standards.

December 10, 2025

- Present proposal to Planning Commission.
- Commence environmental review.

January 2026

- Initiate General Plan Amendment and Rezone actions with:
 - ALUC
 - Planning Commission
 - City Council x 2

Ongoing

- Integrate historic resource updates.
- Refine processes within the DZC.

Housing Element Work

- Amend DZC to support adaptive reuse and housing.
- Strengthen objective design standards where needed.

